

# TOWN OF DANVILLE

Danville Plan Commission  
November 8, 2021  
7:00 PM

## AGENDA

**I. Call Meeting to Order**

- Pledge of Allegiance
- Establish Quorum
- Approve Minutes

**II. Old Business:**

- A. The Bevy, Final plat approval for a 66 lot major subdivision, located on the north side of 10<sup>th</sup> Street, west of County Road 200 East, 20.88 acres.  
(Nathan White, Benchmark Consulting)**

**III. New Business:**

- A. Public Hearing: The Bevy, Variance of the Stormwater Technical Standards, Section 6.D to allow a maximum of 3:1 slope on all pond banks, 6' safety ledge with no maintenance ledge or fence.  
(Nathan White, Benchmark Consulting)**
- B. Site Plan Review, Faith Baptist Church, Parking Lot Expansion, located at 3860 East Main Street, 24.8 acres.  
(Innovative Engineering & Consulting)**
- C. Northwood Haven, Section 2, Final Plat approval for an 83 lot major subdivision, located on the north side of 10<sup>th</sup> Street east of Money Lane, 25.87 acres.  
(American Structurepoint, Inc.)**

**IV. Other Business:**

**V. Report of Officers, Committees and Staff**

**VI. Adjourn**

**Next Meeting:**

**December 13, 2021**



**DANVILLE PLAN COMMISSION  
MINUTES  
October 12, 2021  
7:00 PM**

Members Present: Sue Rempert, Jill Howard, Greg VanLaere, and Barry Lofton  
Members Absent: Loris Thompson, Adam Harvey, Chris Gerald  
Staff Present: Lesa Ternet and Mark Morgan  
Guests: Richard Henderson, John Moore, Mike Eaton, Stu Huckelberry, Drew Zimmerman, John Layne, Deborah Ruston

A quorum was established, the meeting was called to order by Greg VanLaere. J. Howard made a motion to approve the September 13, 2021 minutes. B. Lofton second the motion. Motion passed 4-0.

**Old Business:** None

**New Business:**

**A. Site Plan Review, Kensington, Section 3, Amenity Area, Common Area #3-1, located on the south side of Kensington Drive, east of the main entrance, 1.47 acres.**

S. Rempert asked about the size of the pool and if there were plans to put in a playground. S. Huckelberry responded there are plans to put in a playground and the pool would be a bit smaller than a pool in a school. B. Lofton asked where the staging area would be located. L. Ternet stated it was her understanding it would be in the parking lot. S. Huckelberry confirmed it would be in the parking lot. S. Rempert made a motion to approve the site plan review for the Amenity Area. J. Howard seconded the motion. Motion passed 4-0.

**B. The Bevy, Final plat approval for a 66 lot major subdivision located on the north side of 10th Street, west of County Road 200 East, 20.88 acres.**

L. Ternet stated the applicant was requesting a 30-day continuance in order to file for a waiver of the Stormwater Technical Standards. J. Howard made a motion to continue for 30 days. B. Lofton seconded the motion. Motion passed 4-0.

**C. Public Hearing: Preliminary Plat approval for a major subdivision to be known as Miles Farm, located on the north side of West Main and east side of County Road 200 West, 958 lots, 387.85 acres.**

J. Moore approached the Commission and gave a power point presentation on the proposed development. He gave a brief summary of the density and open space calculations and locations of the parks, commercial and residential areas as shown on the concept plan. He further stated the only change was the right of way for the Mackey Road extension had been increased from fifty (50) feet to eighty-five (85) feet at the request of the Indiana Department of Transportation (INDOT) for a future north/south connector.

G. VanLaere opened the public hearing for comments.



M. Eaton stated his concerns were the lots appeared to be smaller than the concept plan, increased traffic, and inadequate sewer capacity. He also asked about the economic study done during the rezone.

J. Layne asked about the Mackey Road extension and his concern with traffic adjacent to Wildwood Estates. He also asked where the water tower would be located.

D. Rushton stated she was opposed to a road/highway being located next to her subdivision and asked that it be relocated.

G. VanLaere closed the public hearing.

J. Moore stated the villas were the same size as approved during the rezone, and indicated where the water tower would be located on the plan. He further stated there was adequate capacity for wastewater with some of the improvements the Town has made in the last year and improvements that the developer would be contributing.

S. Rempert made a motion to approve subject to compliance with the PUD ordinance and response to staff comments. J. Howard seconded the motion. Motion passed 4-0.

**D. Quail West, Final plat approval for a 168 lot major subdivision, located on the east side of County Road 200 East, north of East Main Street, 59.70 acres.**

R. Henderson gave a brief presentation of the project and stated he had addressed all concerns of the staff. G. VanLaere asked if there would be a playground. R. Henderson stated there would be a playground and an area for a pavillion. S. Rempert made a motion to approve subject to the letter dated 9.23.21 from Banning Engineering. J. Howard seconded the motion. Motion passed 4-0.

The meeting was adjourned at 8:21 p.m.

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Greg VanLaere, Acting President

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Barry Lofton, Secretary



# CASE SUMMARY

## *Final Plat Approval*

**Case:** #2021-2079  
Pyatt Builders, LLC, petitioner  
Nathan White, Benchmark Consulting, Inc.

**Request:** Final plat approval for a 66 lot Residential PUD (The Bevy)

**Location:** North side of 10<sup>th</sup> Street – approximately 500 feet west of County Road 200 East

**Acreage:** 20.88 acres

**Zoning:** PUD

### **Preliminary Plat Request:**

The petitioner is requesting final plat approval for “The Bevy” subdivision. This subdivision received preliminary plat approval on June 14, 2021. The petitioner is also requesting a waiver of the Stormwater Technical Standards Section 6.D, to allow a maximum 3:1 slope on all pond banks, a six (6) foot safety ledge, and to eliminate the maintenance ledge and fence requirement. The petitioner has stated the 3:1 slope is very typical in most towns/cities. Further, the petitioner is requesting the safety ledge be reduced from ten (10) to six (6) feet in width. There is a fence and heavy tree line on the east and north property lines around the proposed pond and the petitioner believes this will discourage access to it.

Staff recommends approval of the final plat request based on the following:

1. Compliance with the PUD ordinance that was approved.
2. Petitioner's response to comments made by the Technical Advisory Committee on September 23, and October 21, 2021.
3. Placement of water valves along 10<sup>th</sup> street will be determined prior to the pre-construction meeting with the Water Department.
4. Approval letter from the town's engineer, Joe Miller, Banning Engineering.
5. An Operations and Maintenance Manual (O&M) has not been submitted. Any necessary changes required must be completed prior to the pre-construction meeting with the Stormwater Administrator.

Further, staff recommends approval of the Stormwater Technical Standards waiver but is not in favor of wetland plantings in the proposed pond (Common Area A).

**Plan Commission Action:**  
*Approve Final Plat Request*  
*Approve Final Plat Request with Conditions*  
*Deny Final Plat Request*





**Pedestrian Circulation:**

- Pedestrian circulation between parking areas and buildings has been provided.

**Signage:**

- There is no signage proposed as part of this site plan.

Staff recommends approval of the site plan subject to the comments listed above.

**Plan Commission Action on Site Plan:**

*Approve Site Plan*

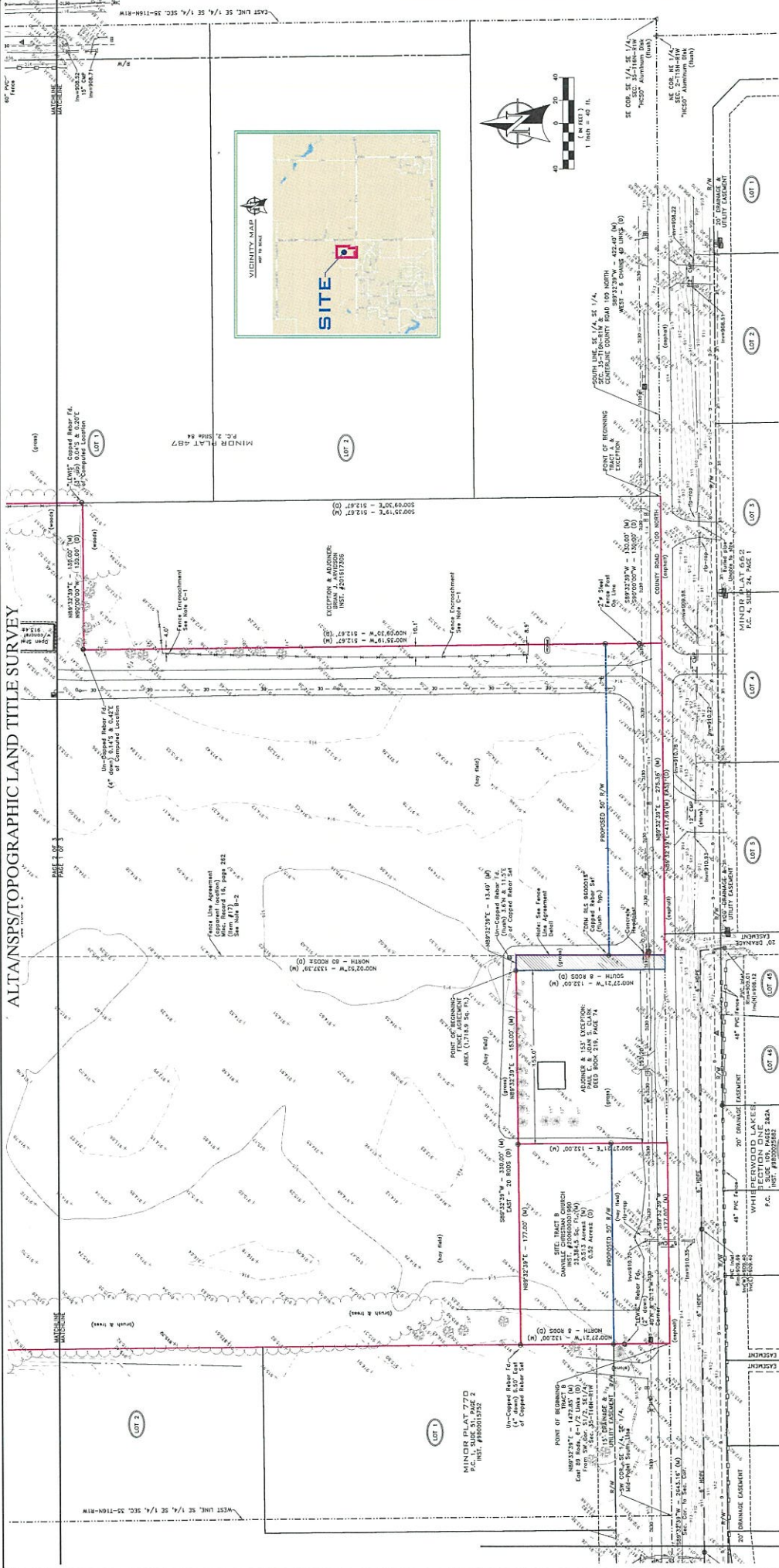
*Deny Site Plan*

*Approve Site Plan with conditions*





ALTA/NPS/TOPOGRAPHIC LAND TITLE SURVEY



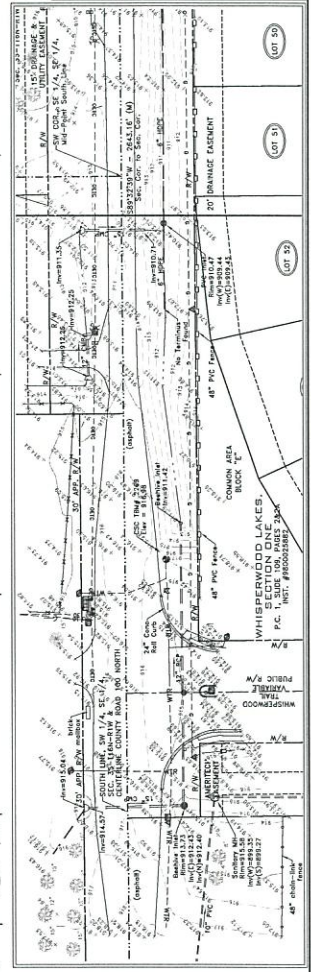
PREPARED FOR:  
**BENCHMARK CONSULTING, INC.**  
 69 AUGUSTA DRIVE  
 BROWNSBURG, INDIANA 46112

PREPARED BY:  
**CENTRAL STATES CONSULTING, LLC**  
 DONALD R. AGRESTA  
 BROWNSBURG, INDIANA 46112  
 PHONE: 317-958-8668 FAX: 317-958-8678

**ALTA/NPS/TOPOGRAPHIC LAND TITLE SURVEY**  
 1928 10th STREET  
 DANVILLE, INDIANA 46122

PROJECT NUMBER: 2D-135  
 DATE: 01/18/2023  
 DRAWN BY: JLM  
 SCALE: 1" = 40'

**CENTRAL STATES CONSULTING, LLC**  
 SURVEYING & LAND PLANNING



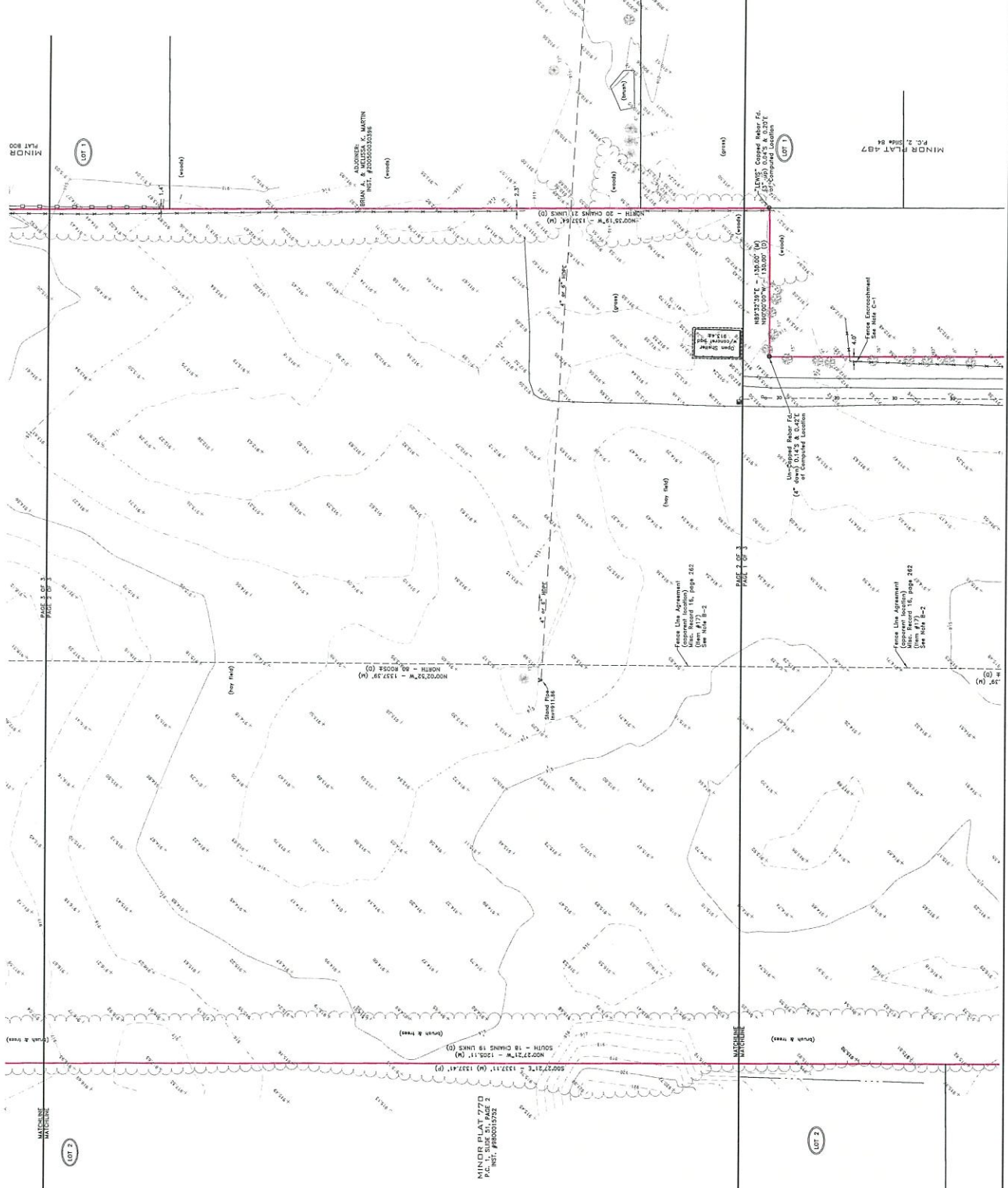
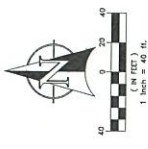
**VERTICAL DATUM:**  
 ELEVATION 858.08 (NAVD 83)  
 A. BUSINESS STREET 200 IN A VERTICAL P.C. WITH A 1000' C.P. 1.8 MILES EAST OF THE CENTERLINE OF COUNTY ROAD 100 NORTH AND 74' FEET EAST OF THE WEST END OF A FENCE (N 39°45'37" W 60.65'±) (NAD 83)  
 CDE TBM #1979 ELEVATION 916.84  
 A. WHO WAS SET IN THE WEST SIDE OF A COMBINATION POLE 18 FEET EAST OF THE CENTERLINE OF COUNTY ROAD 100 NORTH AND 74' FEET NORTH OF THE CENTERLINE OF WHISKEYWOOD LAKES  
 ELEVATION 916.89  
 CDE TBM #2189 ELEVATION 916.89  
 CUT "X" ON THE CORNER/SET CORNER BULL OF THE FIRE HYDRANT 20 FEET EAST OF THE CENTERLINE OF WHISKEYWOOD LAKES  
 ELEVATION 916.89

**UTILITY STATEMENT:**  
 The underground utilities shown have been located from field survey. The background utilities comprise all such utilities in the area, either as-perceivable or as shown on utility maps. The surveyor is not responsible for the accuracy of the utility information shown on utility maps. The surveyor has not physically located the underground utilities.

# ALTANSPSTOPOGRAPHIC LAND TITLE SURVEY

**LEGEND:**

RECEPTION	
○	SIGN / PLY SIGN
○	WATER VALVE/TIE HO/WATER
○	TILE / GAS MANHOLE
○	GAS METER / MAST
○	STAIRWELL
○	TOILET ROOM/TOILET
○	ELEC. PANEL
○	SHARD POINT / FIRE ALARM
○	AIR CONDENSED / CONDENSER
○	MECHANICAL ROOM
○	FRANK STATION
○	TRUNK / BRANCH / DRAIN HOLE
○	CONFERENCE ROOM
○	STATIONARY FIRE & SIZE
○	FRANK MANHOLE
○	COMMUNICATIONS OR MANHOLE
○	REFRIGERATION/COOLING UNIT
○	SOY MTR / GROUND LIGHT
○	INDOOR WATER USE
○	INDOOR GAS LINE
○	INDOOR ELECTRIC LINE
○	INDOOR TELE & TEL.
○	OVERHEAD TEL. & GAS
○	OVERHEAD ELECTRIC
○	OVERHEAD TELEPHONE
○	PANTRY OR CLOSET
○	TOILET



PREPARED FOR: **BENCHMARK CONSULTING, INC.**  
 BROWNSBURG, INDIANA 46112  
 PREPARED BY: **CENTRAL STATES CONSULTING, LLC**  
 250 NORTH GREENE STREET  
 DANVILLE, INDIANA 46122  
 PHONE: 317.435.0662 FAX: 317.435.0672

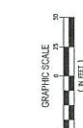
ALTMANSPSTOPOGRAPHIC  
**CENTRAL STATES CONSULTING, LLC**  
**LAND TITLE SURVEY**  
 250 NORTH GREENE STREET  
 DANVILLE, INDIANA 46122  
 PHONE: 317.435.0662 FAX: 317.435.0672

CHECKED BY:	DATE:	SHEET:	OF:
JLM	11-11-10	20	3
DRAWN BY:	DATE:		
JLM	11-11-10		
CHECKED BY:	DATE:		
JLM	11-11-10		
DRAWN BY:	DATE:		
JLM	11-11-10		



Symbol	Description	Symbol	Description
▲	Four Core Meter Post	○	Electric Service Units
▲	Telephone Meter Post	□	Electric Transformer
▲	Utility Meter	□	Telephone Service Lines
▲	Telephone Meter	□	Communications Service Line
▲	Electric Meter	□	Gas Service Line
▲	Electric Transformer	○	Gas Meter
▲	Pick-Up Wire	○	Water Meter
▲	Utility Pole End	○	Water Valve - Gate / Manually
▲	Overhead Electric	○	Water Air Release Valve
▲	Overhead Telephone	○	Single / Double Water Meter
▲	Overhead Utility Lines	○	Fire Protection Line & EDC
▲	Gas Main	○	Sanitary Sewer Main and Structure
▲	Underground Electric Lines	○	Sanitary Sewer Lateral & Clean Out
▲	Fire Alarm Lines	○	Sanitary Sewer Force Main
▲	Underground Telephone Lines	○	Sanitary Sewer Force Main
▲	Underground Communications	○	Sanitary Sewer Air Release Valve
▲	Gas Meter	○	Sanitary Sewer Structure Number
▲	Gas Meter Post	○	Storm Sewer BIP / SSO
▲	Gas Valve	○	Storm Sewer Main & Drainage Manhole
▲	Water Main & Fire Hydrant	○	Storm Sewer Elevation
▲	Water Valve	○	Roll Curb Inlet
▲	Water Air Release Valve	○	Round Yard Inlet
▲	Single / Double Water Meter	○	Rectangle Area Grate
▲	Fire Protection Line & EDC	○	Wing Wall Outlet
▲	Sanitary Sewer Meter Post	○	Chalkback Curb Inlet
▲	Sanitary Sewer Main and Structure	○	Storm Sewer Structure Number
▲	Sanitary Sewer Lateral & Clean Out	○	Sub-Surface Drain
▲	Sanitary Sewer Force Main	○	Roll Ditch
▲	Sanitary Sewer Air Release Valve	○	Swale Road Line
▲	Storm Sewer BIP / SSO	○	Finished Ground Contour
▲	Storm Sewer Main & Drainage Manhole	○	Finished Pavement Elevation
▲	Storm Sewer Elevation	○	Finished Top of Curb / Outer Elevation
▲	Roll Curb Inlet	○	Match Existing
▲	Round Yard Inlet	○	Grade Book
▲	Rectangle Area Grate	○	Surface Flow Direction
▲	Wing Wall Outlet	○	Normal Inlet
▲	Chalkback Curb Inlet	○	Street Light
▲	Storm Sewer Structure Number	○	Building Set Back Line
▲	Sub-Surface Drain	○	Existing Inside Boundary
▲	Roll Ditch	○	Sidewalk Concrete Pavement
▲	Swale Road Line	○	Proposed Building
▲	Finished Ground Contour	○	Proposed Sidewalk
▲	Finished Pavement Elevation	○	Proposed Driveway
▲	Finished Top of Curb / Outer Elevation	○	Proposed Pierch / Walkway
▲	Match Existing	○	
▲	Grade Book	○	
▲	Surface Flow Direction	○	
▲	Normal Inlet	○	
▲	Street Light	○	
▲	Building Set Back Line	○	
▲	Existing Inside Boundary	○	
▲	Sidewalk Concrete Pavement	○	
▲	Proposed Building	○	
▲	Proposed Sidewalk	○	
▲	Proposed Driveway	○	
▲	Proposed Pierch / Walkway	○	

- General Notes:**
- Where any specifications included in these plans conflict with the Town of Brownsburg Indiana Commission, Ordinances, Specifications and Details, then the details of the Town of Brownsburg shall prevail.
  - The contractor shall protect the site and its current state and shall remove all debris from the site and its surrounding areas.
  - The contractor shall be responsible for obtaining all necessary permits and approvals from the town of Brownsburg, Indiana.
  - Do not stake from these plans for survey field locations.
  - All construction activity on this site to be performed in compliance with all applicable OSHA standards for worker safety.
  - The existing site within the designated development area is to be protected and preserved.
  - The contractor shall be responsible for ensuring the construction size and surrounding areas are free of accumulated debris.
  - The contractor shall notify all utility companies 72 hours prior to construction. The contractor shall be responsible for obtaining all necessary permits and approvals from the town of Brownsburg, Indiana.
  - When existing in areas near or over existing utilities, the contractor shall be responsible for obtaining all necessary permits and approvals from the town of Brownsburg, Indiana.
  - The contractor shall obtain a Registered Drain Enforcement permit from the Hendricks County Drainage Board before any work is to take place in the designated drain.
  - Do not use or construct streets, walks, drives, basins, etc. without written permission of the town or applicable utility jurisdiction.
  - When construction is to be made to existing piping and structures or when new piping and structures are to be installed, the contractor shall be responsible for obtaining all necessary permits and approvals from the town of Brownsburg, Indiana.
  - All types of construction of existing structures and their contents to existing structures shall be verified vertically from a known permanent point to the ground surface. Any discrepancies with information included within the drawings shall be reported to the owner of the structure, Hendricks County Drainage Board, or the town of Brownsburg, Indiana.
  - All existing structures, sidewalks, driveways and other utility improvements shall be privately owned and maintained by the owner of the lot, unless otherwise indicated on the field plan.
  - If there are any existing structures or utility improvements on a lot, the contractor shall be responsible for obtaining all necessary permits and approvals from the town of Brownsburg, Indiana.

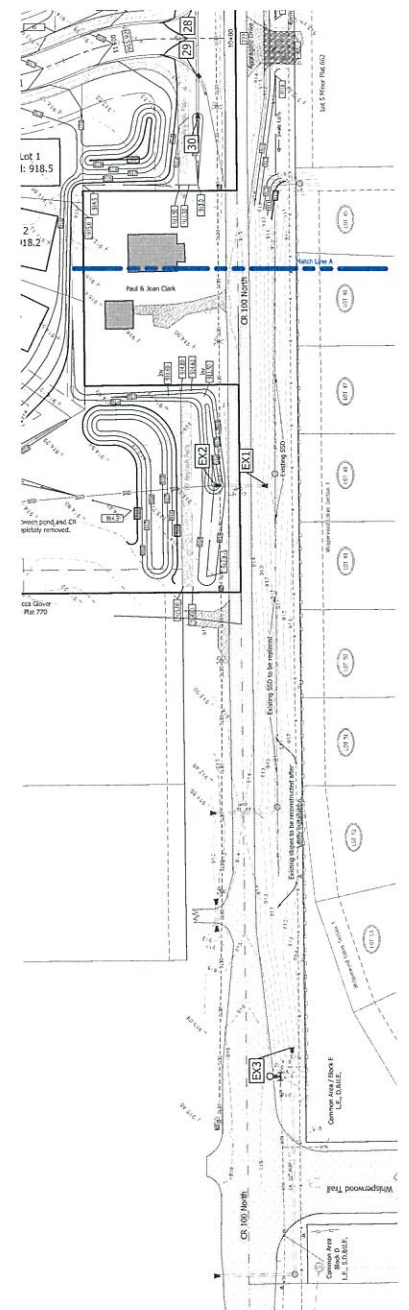
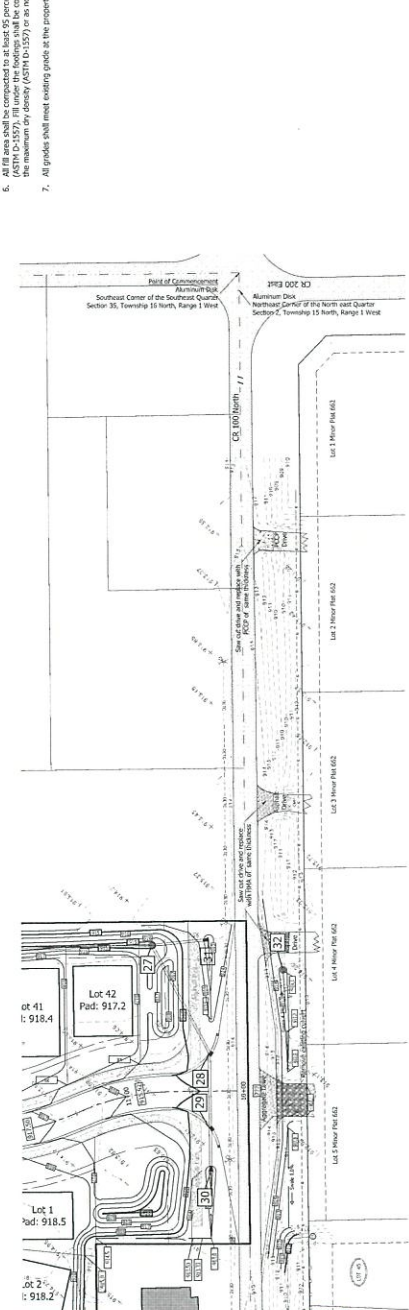
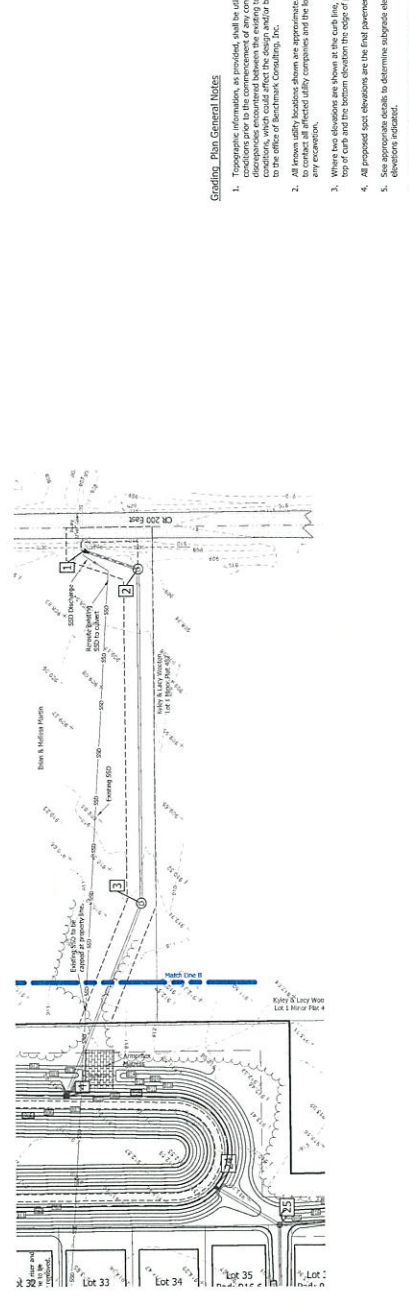


811  
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### Grading Plan Legend

- Existing Ground Elevation Contour
- Existing Spot Elevations
- Existing Telephone Lines
- Existing Gas Main
- Existing Water Main
- Existing Electric Lines
- Existing Storm Sewer Main & Structure
- Existing Sanitary Sewer Main & Structure
- Proposed Spot Elevation
- Proposed Pavement Grade
- Match Existing
- Proposed Flow Arrow
- Grade Break
- Proposed Storm Sewer Main & Structure
- Proposed Elevation Contour
- Swale Flow Line

- ### Grading Plan General Notes
- Topographic information, as provided, shall be utilized to confirm existing topographic conditions prior to the commencement of any construction activities. Any significant discrepancies, which would affect the design and/or balance of the site, shall be reported to the office of Benchmark Consulting, Inc.
  - All known utility locations shown are approximate. It is the contractor's responsibility to determine the exact location of all utilities. The contractor shall be responsible for any damage to existing utilities caused by construction activities prior to the commencement of any construction activities.
  - Where spot elevations are shown at the curb line, the top elevation shall represent the top of curb and the bottom elevation the slope of pavement.
  - All proposed spot elevations are the final pavement or final dirt grade elevation.
  - Spot elevations shall be used to determine adequate elevations below finish grade.
  - ASPH areas shall be compacted to at least 95 percent of the maximum dry density (ASTM D-1557). Fill under the footings shall be compacted to at least 95 percent of the maximum dry density (ASTM D-1557) or as noted in the geotechnical report.
  - All grades shall meet existing grades at the property line.



Pyatt Builders, LLC  
630 3rd Ave SW #200  
Carmel, IN 46032  
Owner Representative:  
(317) 714-3346  
Paul Cairns

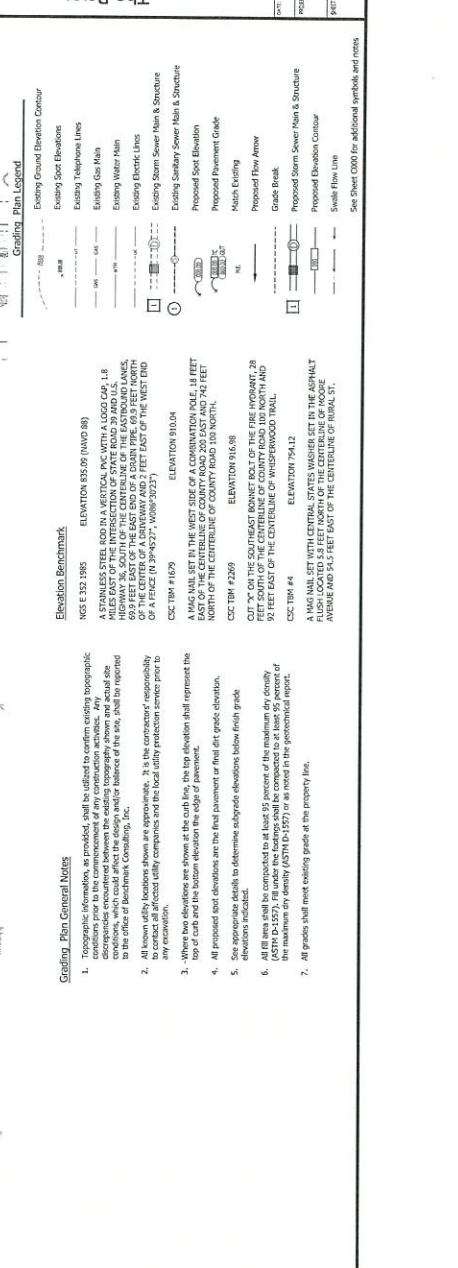
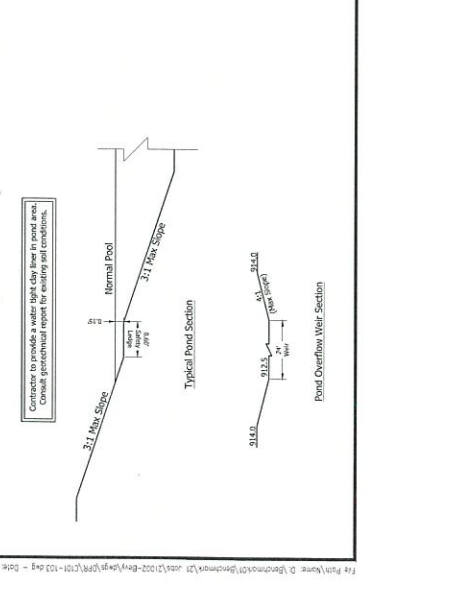


BENCHMARK CONSULTING, INC.  
69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
Project Manager: Nathan White  
Nwhite@benchmarkinc.com  
(317) 852-5655

The Bay  
Development Plan  
Danville, Indiana

DATE: 08/04/14  
PROJECT NUMBER: 211003  
SHEET: C102





- Grading Plan General Notes**
- Topographic information, as provided, shall be utilized to confirm existing topographic conditions prior to the commencement of any construction activities. Any discrepancies between the topographic information and the proposed grading plan shall be reported to the office of Benchmark Consulting, Inc.
  - All low utility locations shown are approximate. It is the contractor's responsibility to verify all utility locations and depths with local utility providers prior to any excavation.
  - Where two elevations are shown at the curb line, the top elevation shall represent the top of curb and the bottom elevation the edge of pavement.
  - All proposed spot elevations are the final pavement or final dirt grade elevation.
  - See appropriate details to determine subsurface elevations below finish grade elevations indicated.
  - All fill areas shall be compacted to at least 95 percent of the maximum dry density (ASTM D 1557). Fill under the loadings shall be compacted to at least 95 percent of the maximum dry density (ASTM D 1557) or as noted in the geotechnical report.
  - All grades shall meet existing grade at the property lines.

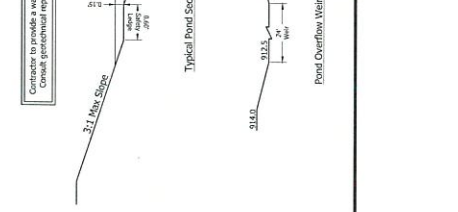
**Elevation Benchmarks**

NGS E 332 1985 ELEVATION 835.09 (WAD 89)  
 A STAINLESS STEEL ROD IN A VERTICAL PVC WITH A LOGO CAP. 18 INCHES LONG, 1/2 INCH DIAMETER, SET IN THE CENTER OF THE INTERSECTION OF STATE ROAD 99 AND U.S. HIGHWAY 20. THE CENTER OF THE ROD IS 69.9 FEET EAST OF THE EAST END OF A BEAR PIPE, 69.9 FEET NORTH OF A BEAR PIPE, AND 2 FEET EAST OF THE WEST END OF A BEAR PIPE (N 20° 40' 00" E, 400.00 FEET).

COC TBM #1679 ELEVATION 910.04  
 A MAG MALL SET IN THE WEST SIDE OF A COMBINATION HOLE, 18 FEET NORTH OF THE CENTERLINE OF COUNTY ROAD 103 NORTH.

COC TBM #2309 ELEVATION 916.98  
 OUT "X" ON THE SOUTHWEST CORNER OF THE FIRE DEPARTMENT, 28 FEET SOUTH OF THE CENTERLINE OF COUNTY ROAD 103 NORTH AND 92 FEET EAST OF THE CENTERLINE OF WISPERWOOD TRAIL.

COC TBM #4 ELEVATION 794.12  
 A MAG MALL SET WITH CENTRAL STATES WASTEPAPER SET IN THE ASPHALT PAVEMENT 7.5 FEET SOUTH OF THE CENTERLINE OF MOORE AVENUE AND 7.5 FEET WEST OF THE CENTERLINE OF ROAD 101.



**Pyatt Builders, LLC**  
 630 3rd Ave SW #200  
 Canton, MI 48022  
 Owner Representative: Paul Claire

**BENCHMARK CONSULTING, INC.**  
 69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
 (317) 852-5955  
 Project Manager: NATHAN WHITE

**811**  
 Know what's below. Call before you dig.

**GRAPHIC SCALE**  
 1" = 40' & 0"

**North Arrow**

**The Bivy Development Plan**  
 Danville, Indiana

**21003**

**C101**

**URBN Statement**  
 The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the information is correct or that the utilities are as shown. The surveyor is not responsible for any damage to or loss of property or injury to persons or animals caused by the underground utilities shown or any other underground utilities not shown. The surveyor has not physically located the underground utilities. The surveyor has not physically located the underground utilities.

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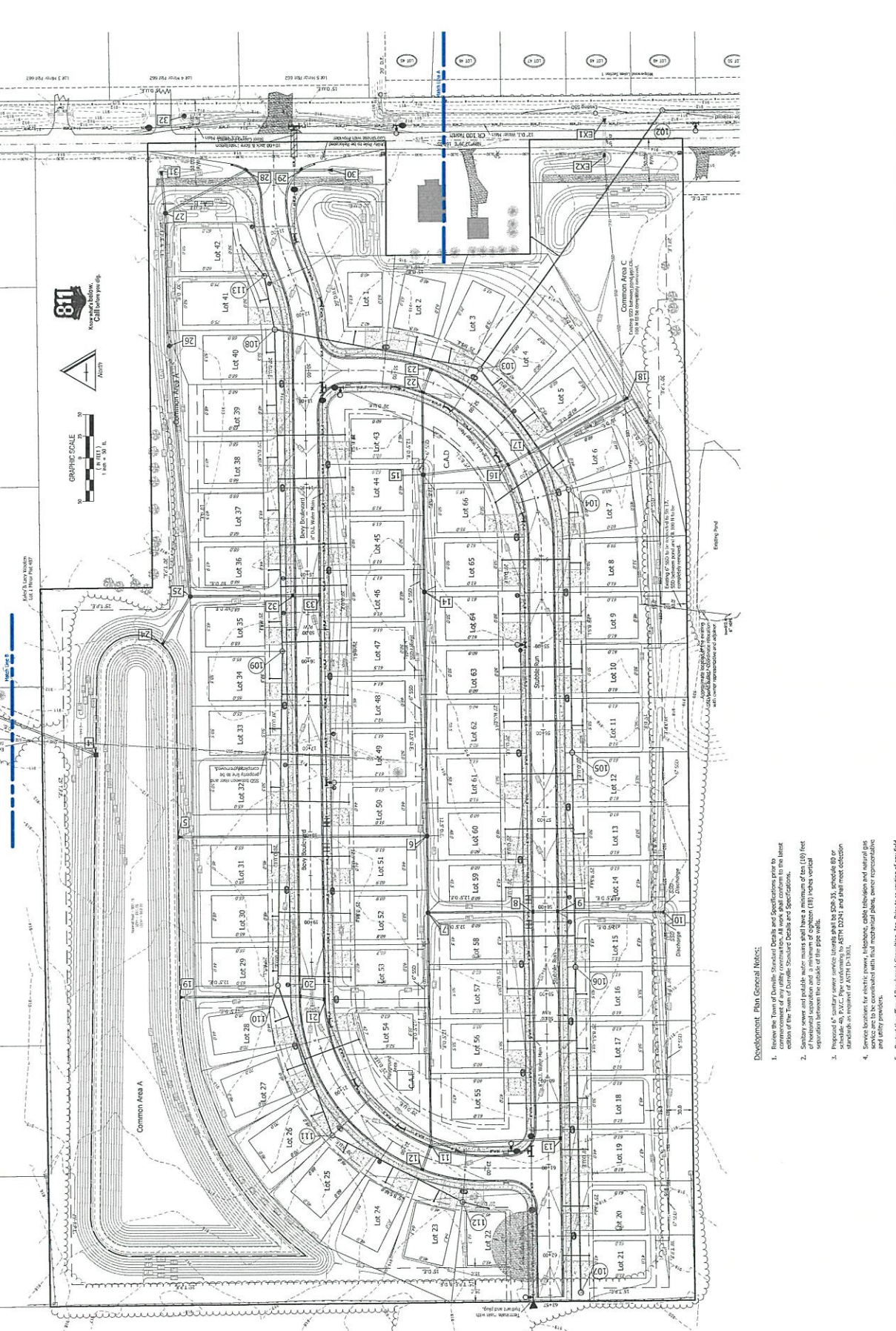
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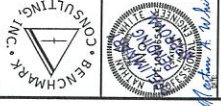


**Development Plan General Notes:**

1. Review the Town of Danville Standard Details and Specifications prior to construction. The Town of Danville Standard Details and Specifications are available on the Town of Danville website.
2. Sanitary sewer and potable water mains shall have a minimum of 100 (100) feet of horizontal separation and a minimum of eight (8) feet vertical separation between the outside of the pipe walls.
3. Proposed 16" sanitary sewer service lines shall be 20'-35', schedule 40 or 60, black pipe, installed in accordance with the Indiana Department of Transportation (INDOT) Standard Specifications for Road and Bridge Construction, Section 1001.00, and shall meet the requirements of ASTM D-3035.
4. Potable water lines shall be 1.5" minimum, black pipe, installed and set per the Indiana Department of Transportation (INDOT) Standard Specifications for Road and Bridge Construction, Section 1001.00, and shall meet the requirements of ASTM D-3035.
5. Contact the office of Benchmark Consulting, Inc. Prior to re-routing of any field lines.
6. Where proposed utilities cross existing utilities the existing utility shall be "top holder" to verify their location and elevation. Contractor shall do this as early in the project as possible. Contact the office of Benchmark Consulting, Inc. if any conflicts or discoveries.

The Bevvy  
Development Plan  
Danville, Indiana

Pyatt Builders, LLC  
630 3rd Ave SW #200  
Carmel, IN 46032  
(317) 714-3346  
Owner Representative:  
Paul Claire



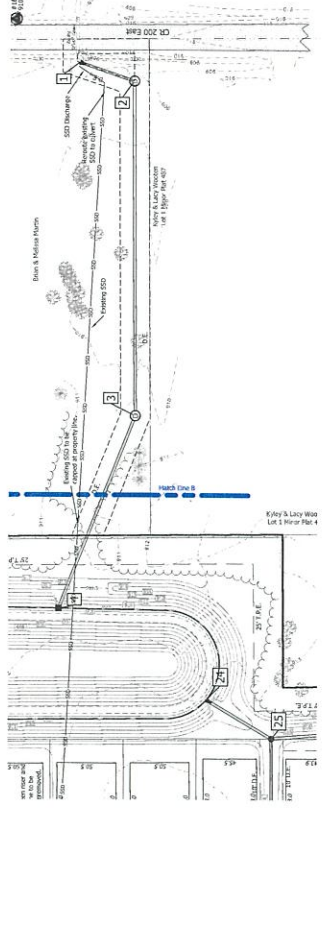
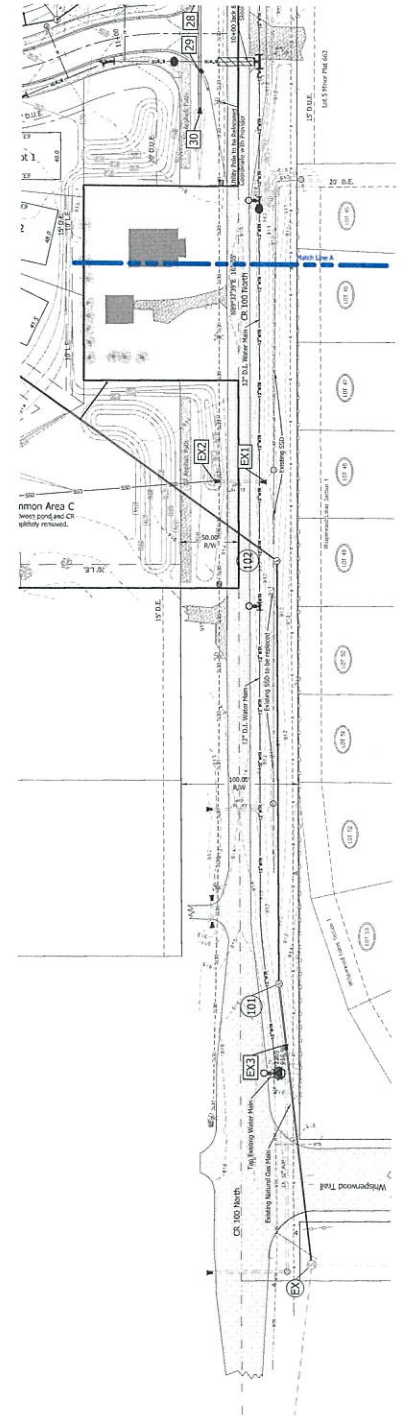
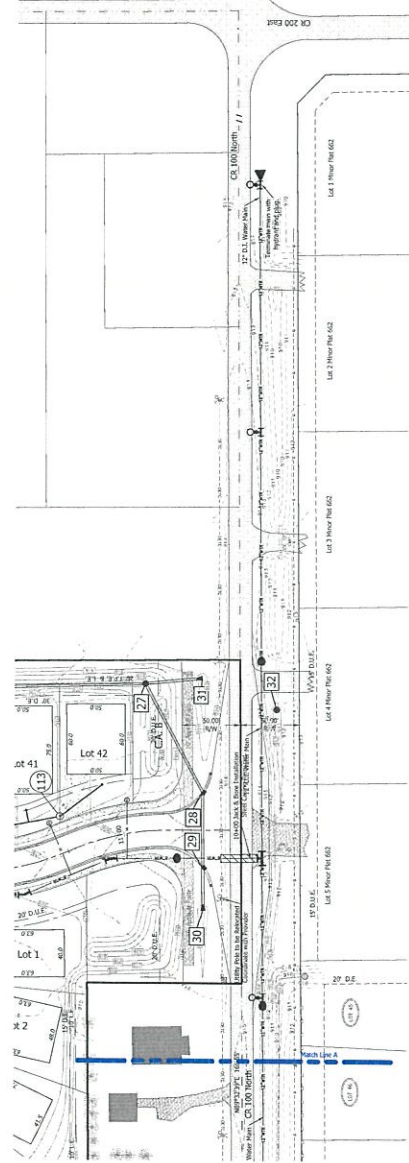
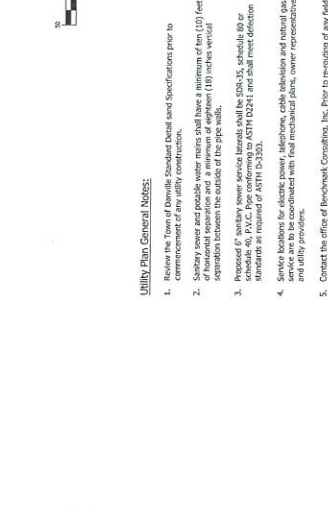
BENCHMARK CONSULTING, INC.  
69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
(317) 852-9555  
Project Manager: Matthew White  
mwhite@benchmarkconsulting.com

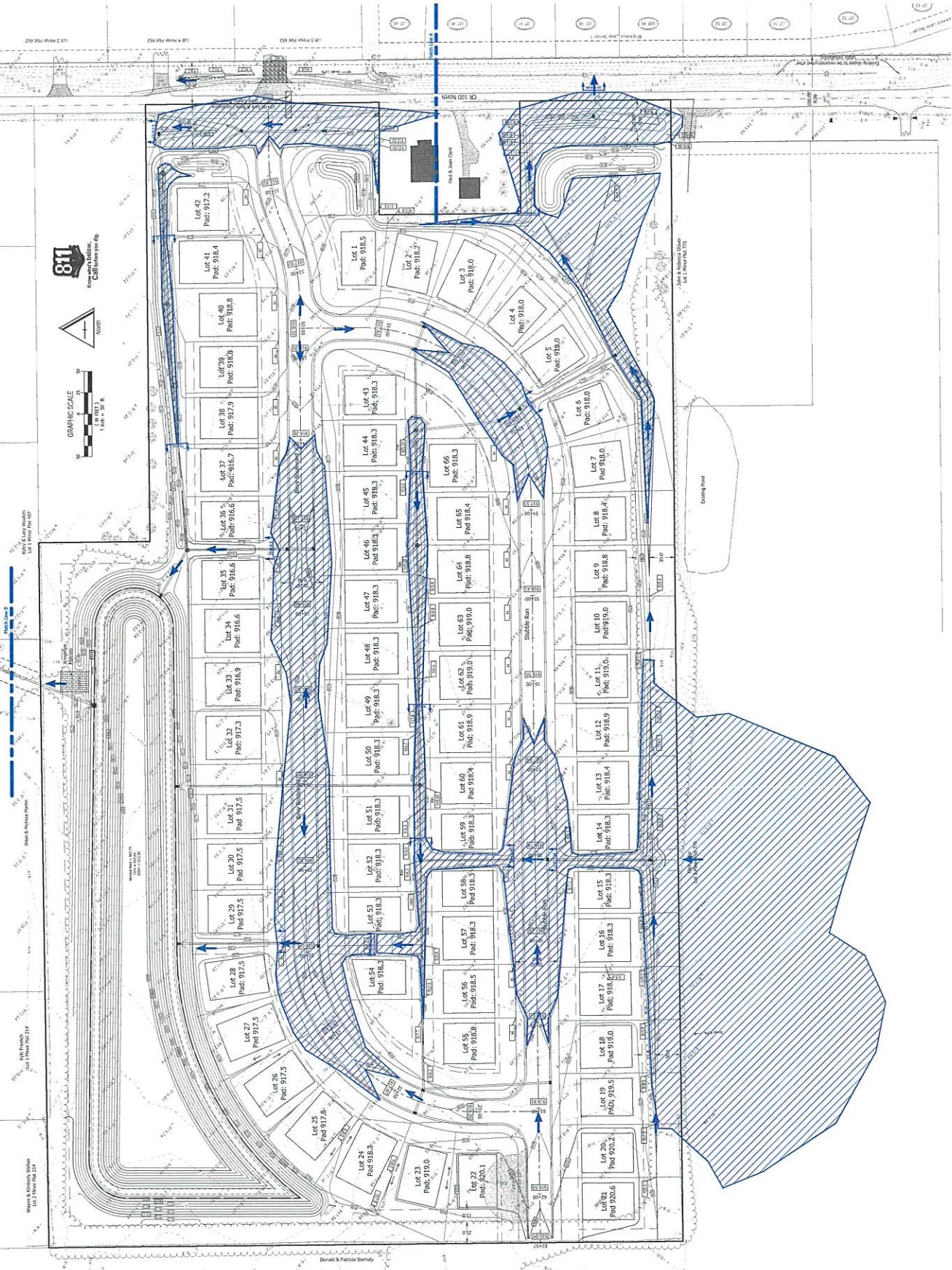


**Utility Plan Legend**

The underground utilities shown have been located from field survey locations and existing drawings. The surveyor makes no guarantee that the presence or absence of any utility is shown. The surveyor further does not warrant that the surveyor does certify that there are located as accurately as the information available. The surveyor has not physically located any underground utilities.

- Utility Plan General Notes:**
- Review the Town of Danville Standard Detail and Specifications prior to commencement of any utility construction.
  - Sanitary sewer and potable water mains shall have a minimum of ten (10) feet separation between the outside of the pipe walls.
  - Proposed 4" sanitary sewer line to be installed to the 28th St. sewer main at the intersection of 28th St. and CR 200 East. See schedule 46, P.M.C. Plan conforming to ASTM D2241 and shall meet deflection standards as required of ASTM D-3323.
  - Service locations for electric power, telephone, cable television and natural gas service are to be coordinated with final mechanical plans, owner representative and utility providers.
  - Contact the office of Benchmark Consulting, Inc. prior to removing any field lines.
  - Where proposed utilities cross existing utilities the existing utility shall be "cut" and reconnected to the original location. Where possible, contact the utility as to any conflicts as discovered.





The Bay  
Development Plan

Street Sign, Street & Street Lighting Plan

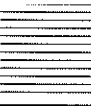
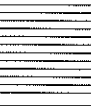
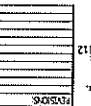
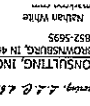
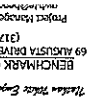
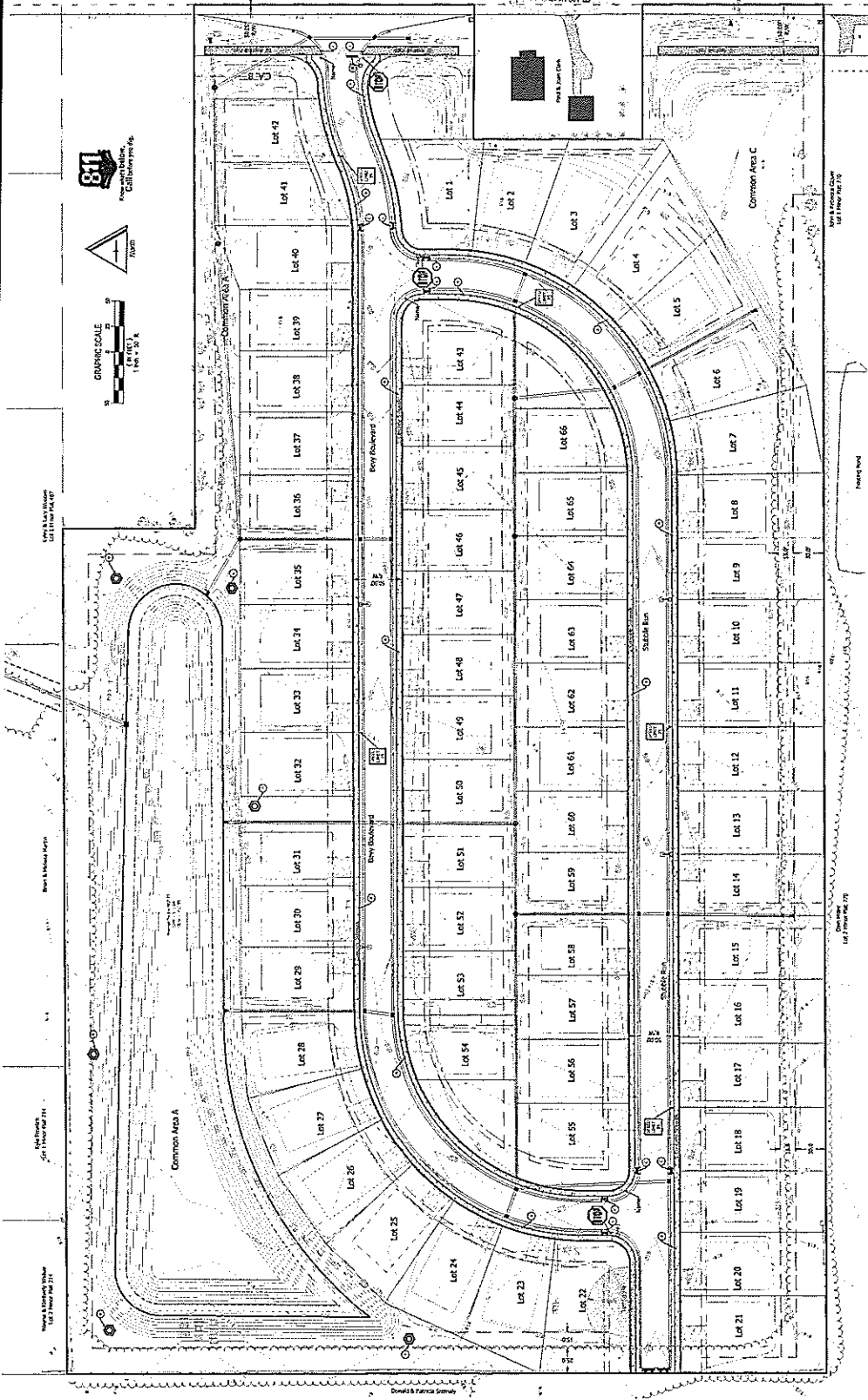
Pytt Builders, LLC  
630 3rd Ave SW #200  
Carmel, IN 46032  
(317) 714-3346  
Owner Representative:

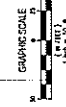
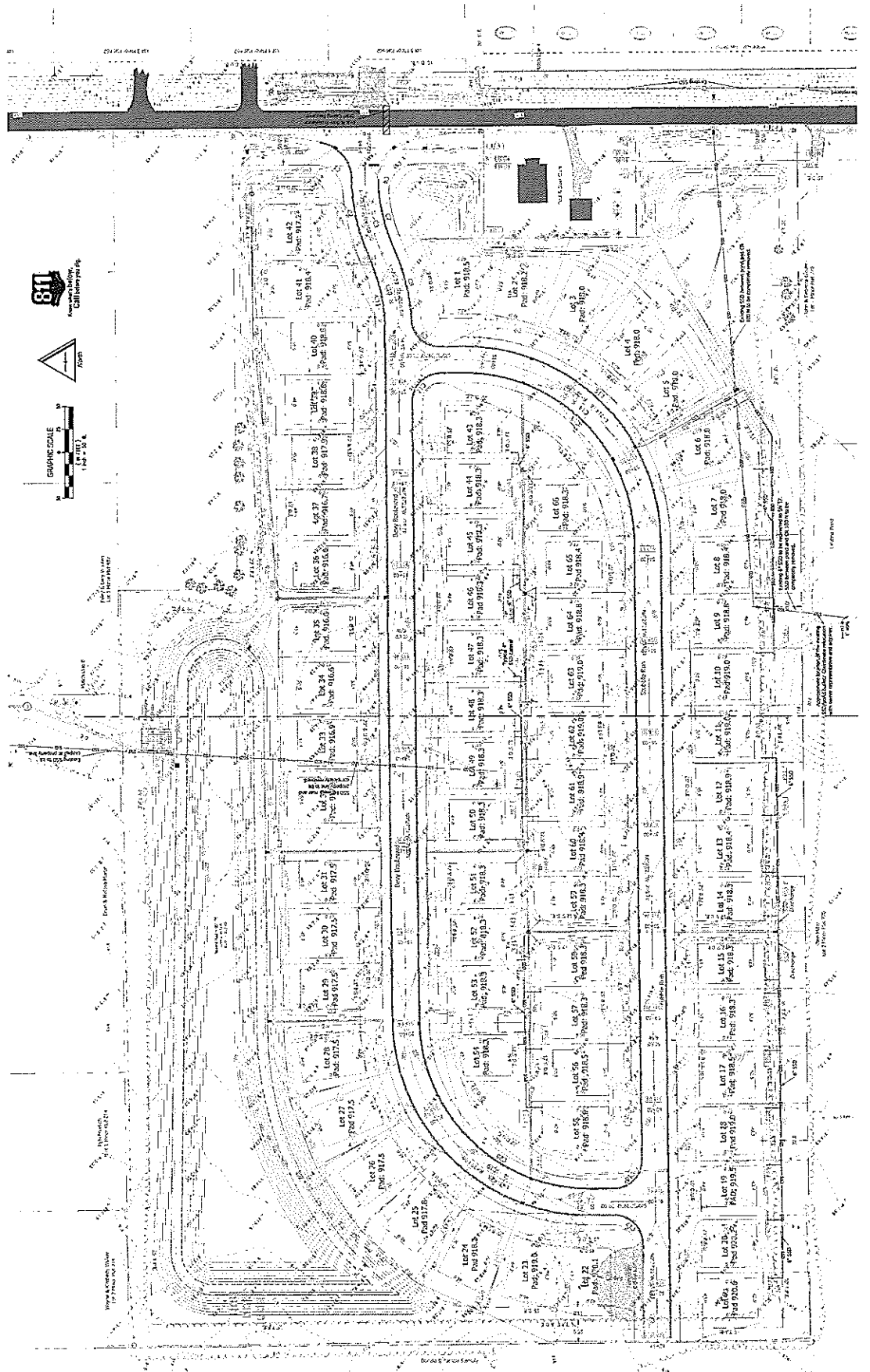
BENCHMARK CONSULTING, INC.  
Nathan White, Engineer, A.E. & L.L.C.  
69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
(317) 652-5595

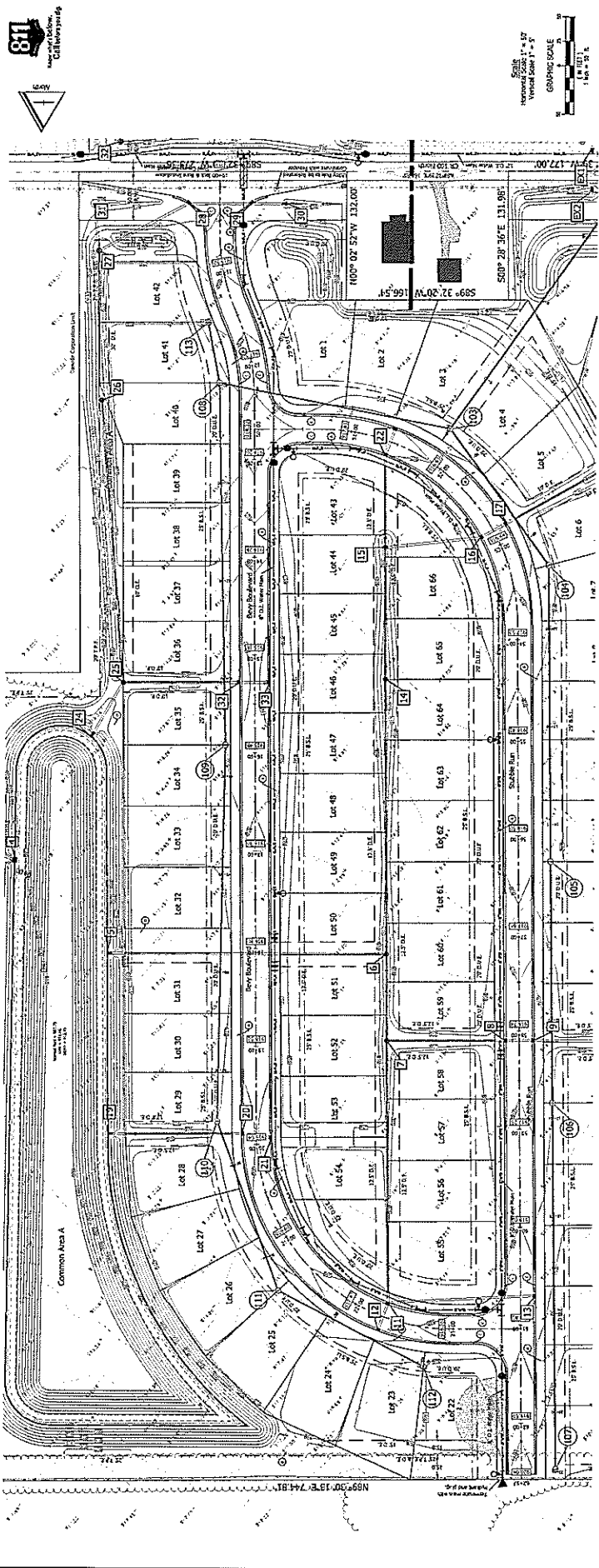
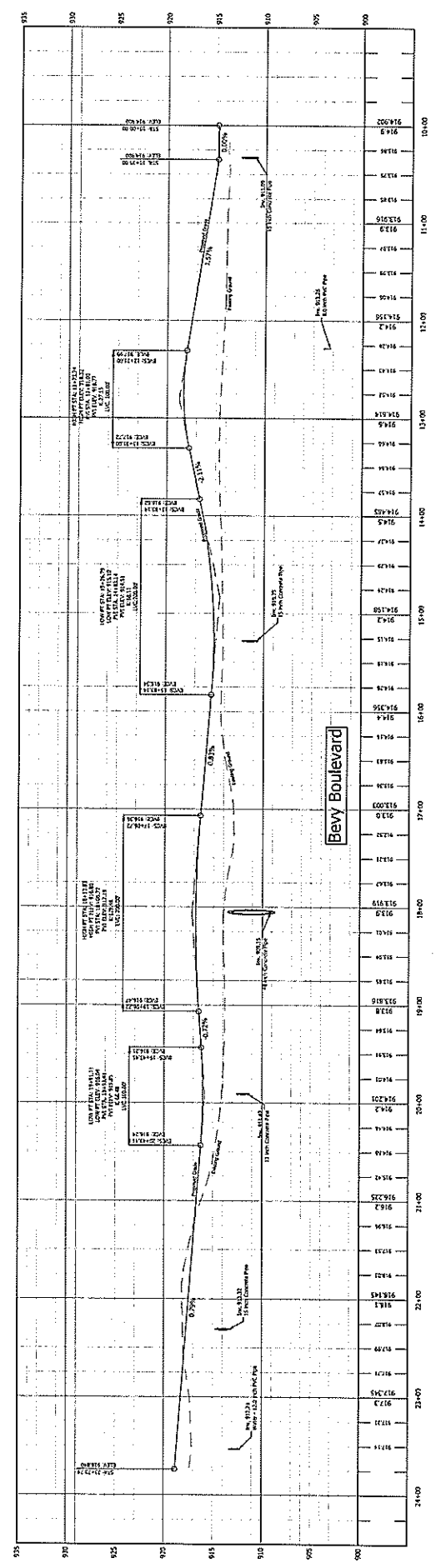
Pytt Builders, LLC  
630 3rd Ave SW #200  
Carmel, IN 46032  
(317) 714-3346  
Owner Representative:

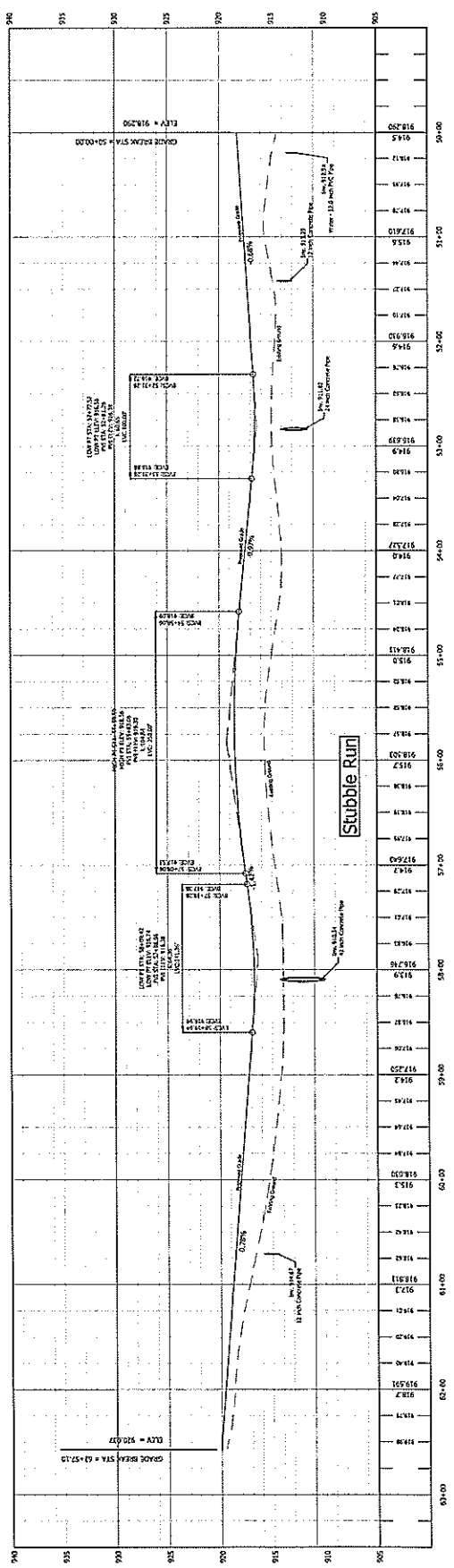
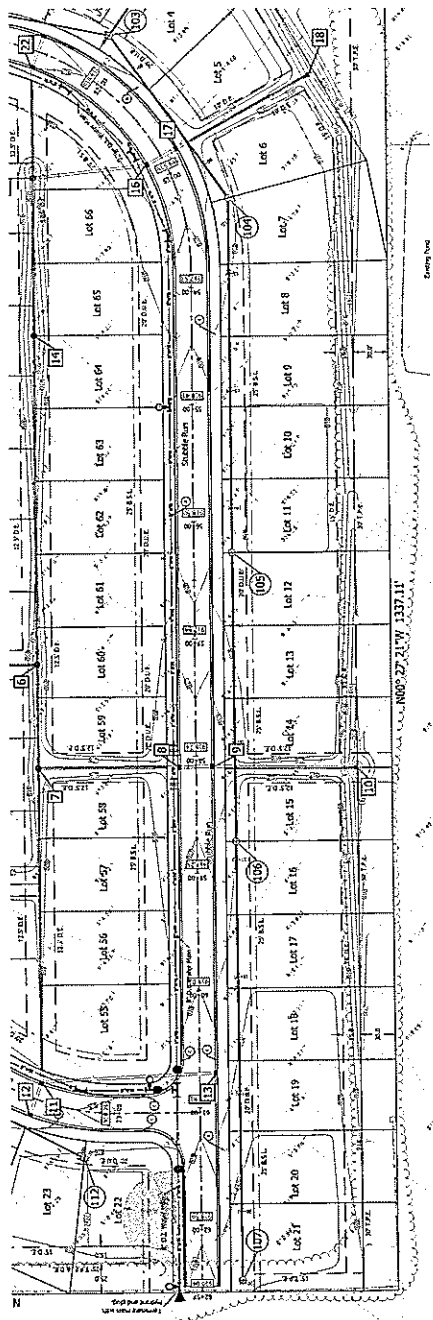
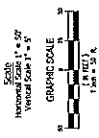
- All construction to be in compliance with the latest editions of the Town of Danville Construction Standards Specifications and Details.
- All signs to meet the current Indiana MUTCD.
- All sign posts to be submitted to the Town of Danville for approval before ordering.
- Verify final street names with owner.

	Stop Sign Location Refer to Schedule 1 (10/1/2017)
	Speed Limit Sign Refer to Schedule 1 (10/1/2017)
	Street Name Sign Location
	Street Name Sign Location
	Street Name Sign Location
	Street Name Sign Location
	Street Name Sign Location
	Street Name Sign Location
	Street Name Sign Location
	Concrete Saw Walk
	ADA Signwalk Ramp
	Road Safety Sign
	Standard Baricade
	Temporary Gate-Back

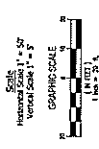
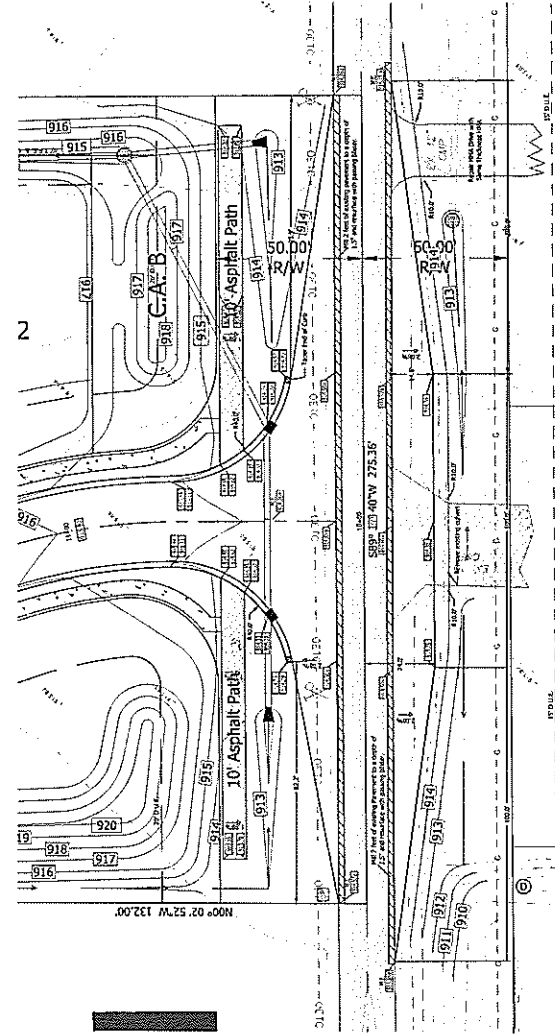
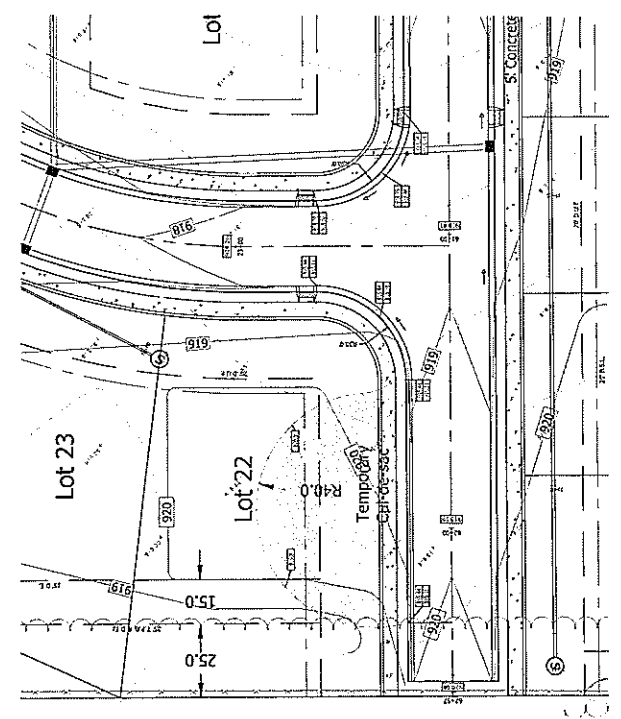
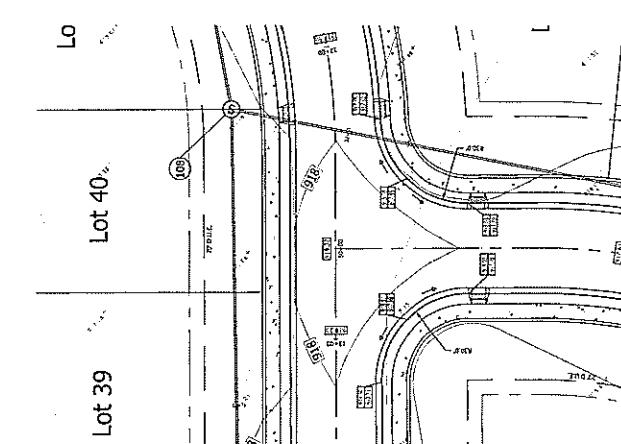


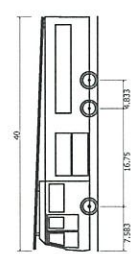
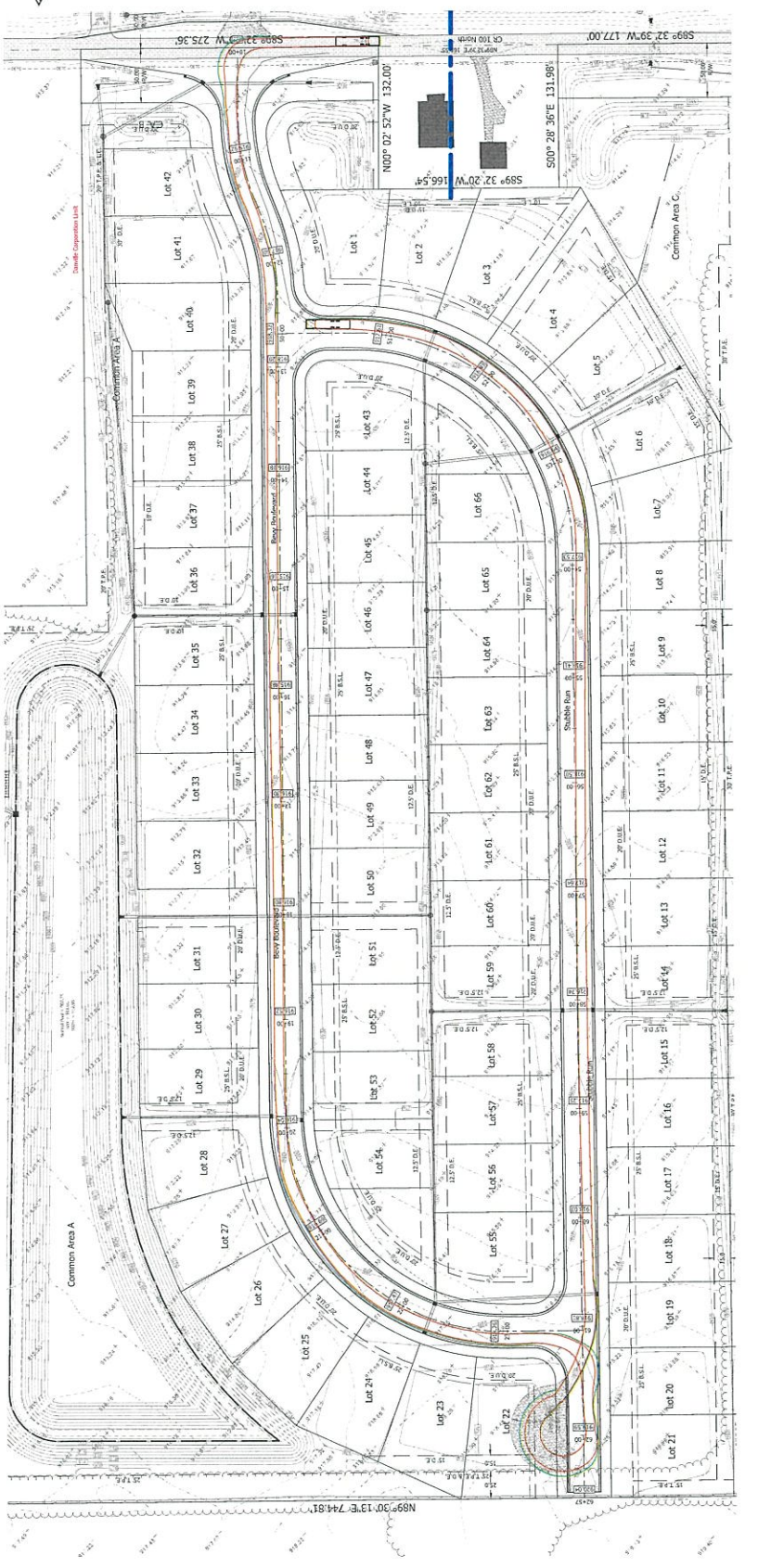
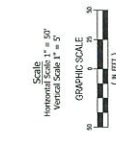




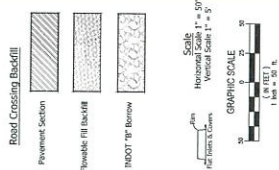




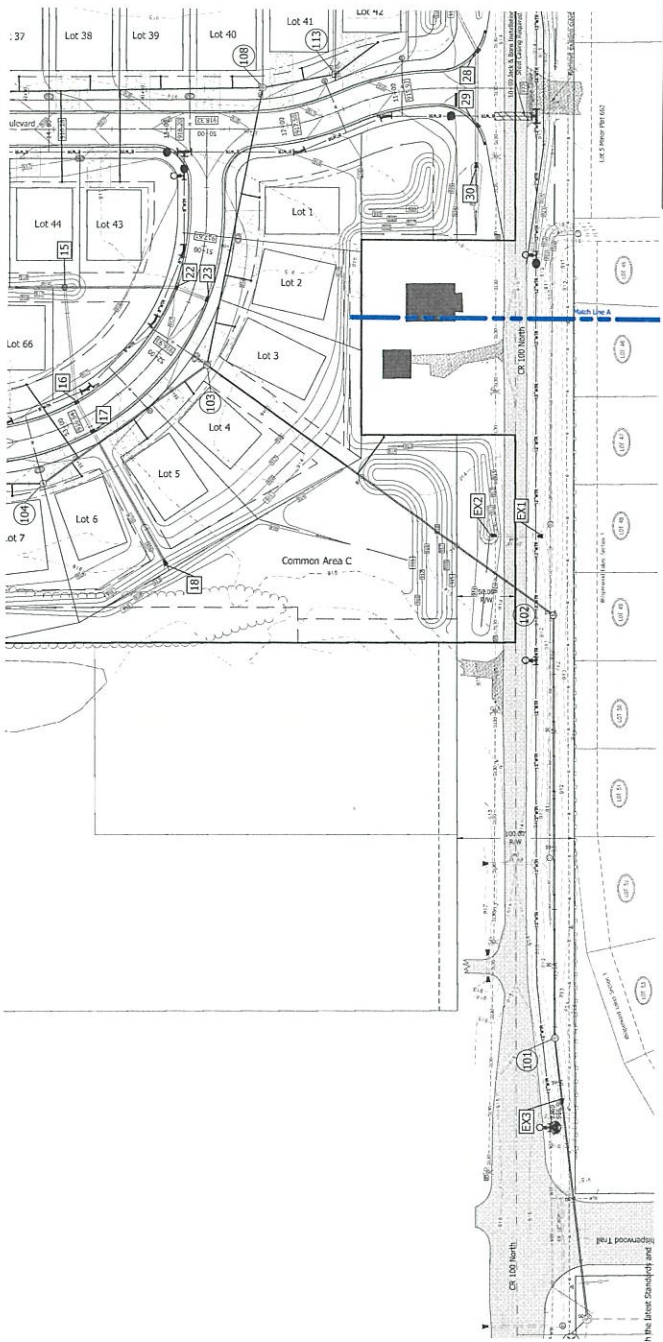




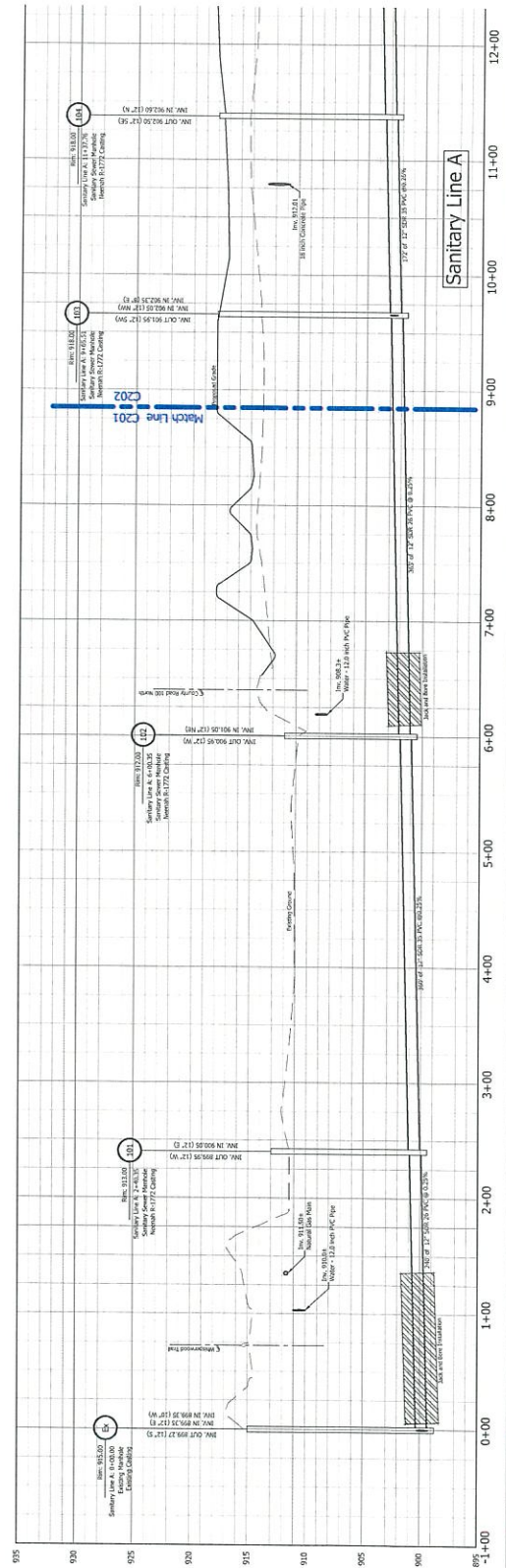
- E-ONE HP100 Aerial
- Overall Length 60
- Overall Width 7.583
- Overall Height 16.075
- Min Body Height 8.833
- Min Body Ground Clearance 1.393ft
- Track Width 8.033ft
- Max Wheel Time 45.00
- Max Wheel Angle

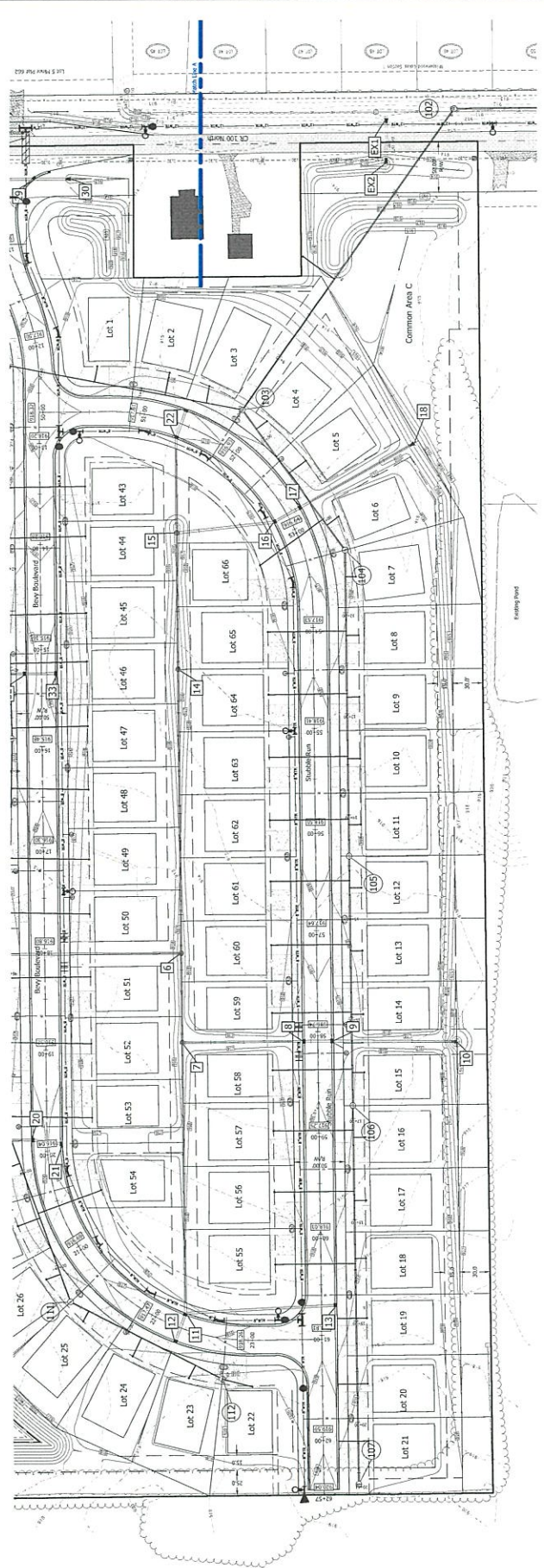
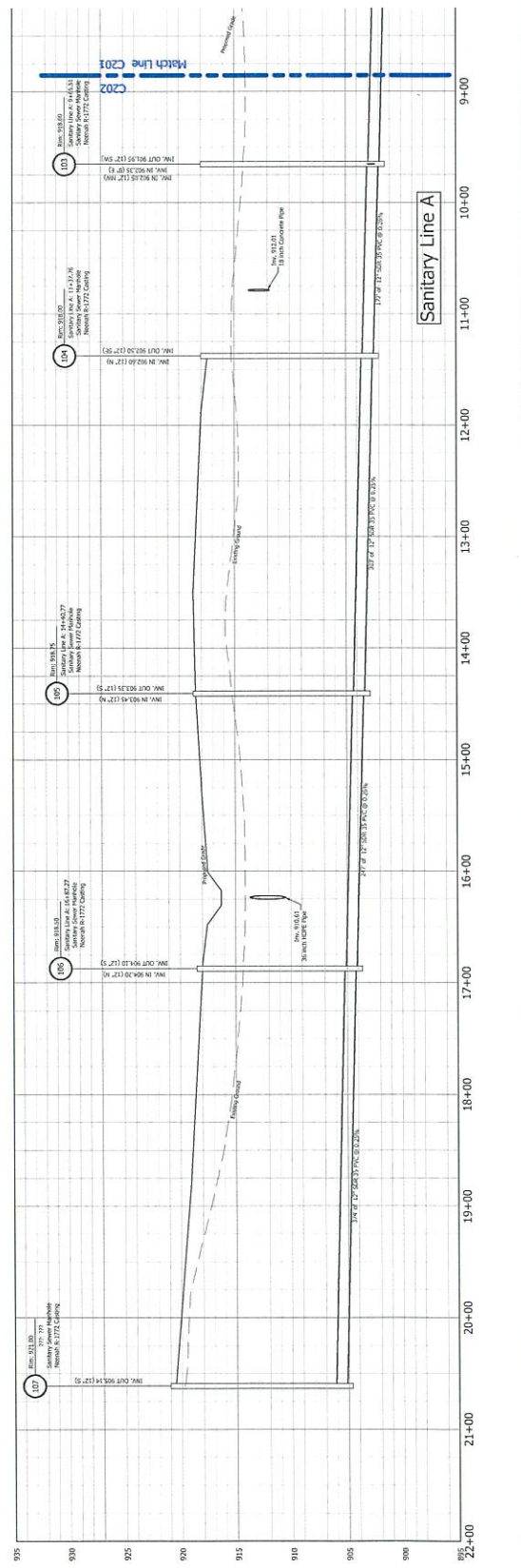


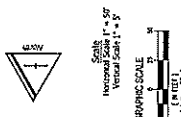
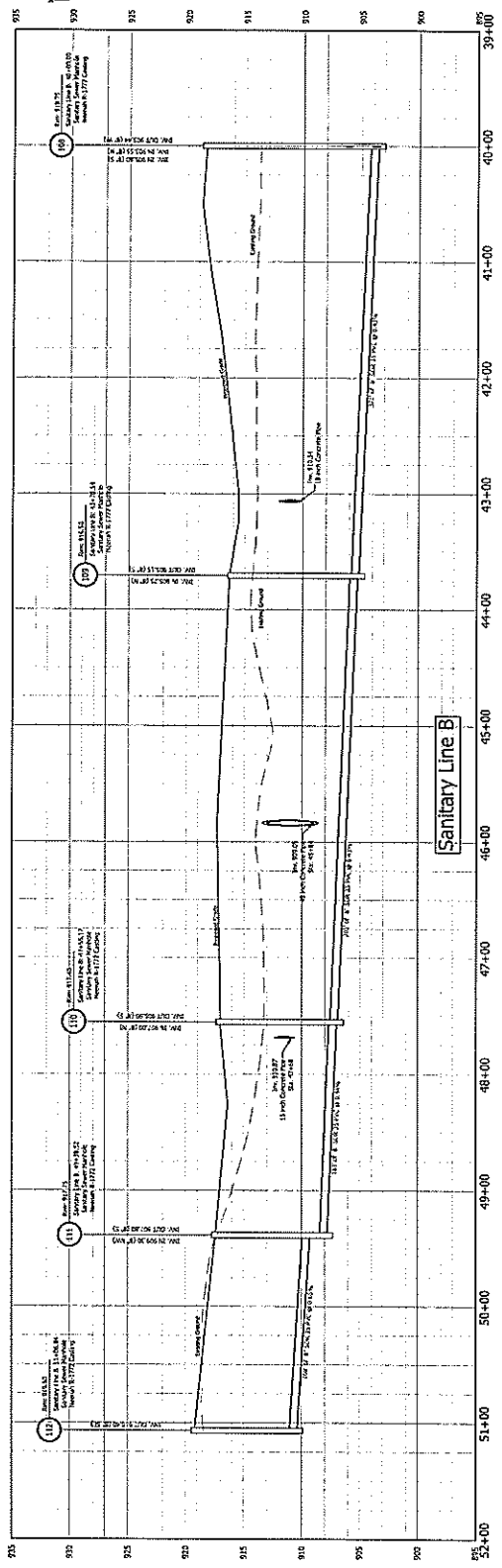
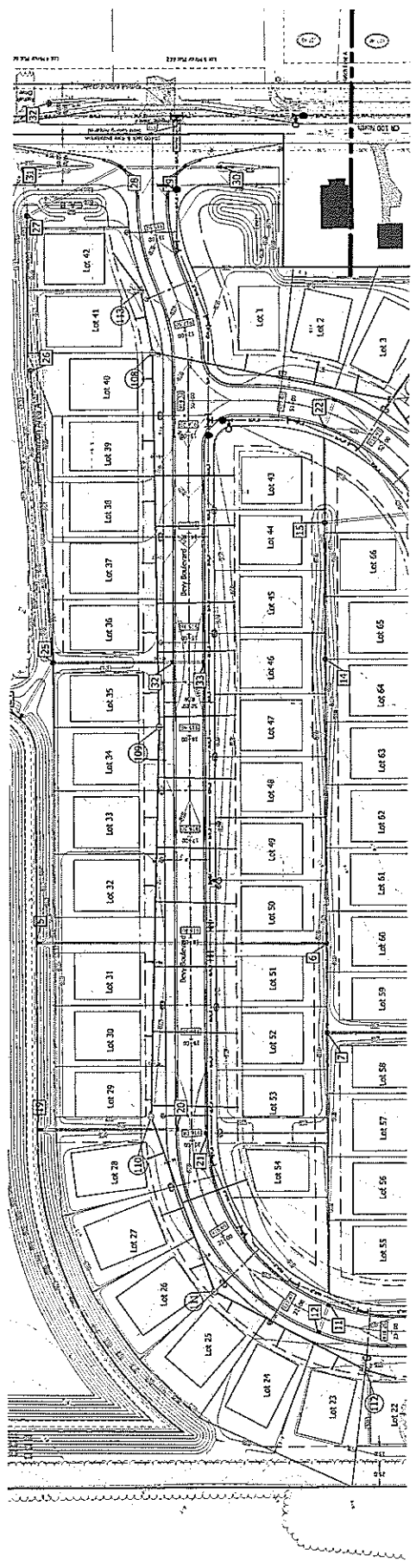
**UTILITY STATEMENT**  
 The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the presence or absence of utilities is complete. The surveyor further does not warrant that the information provided is an accurate representation of the actual conditions. The surveyor does not certify that the information provided is an accurate representation of the actual conditions. The surveyor has not physically located the underground utilities.

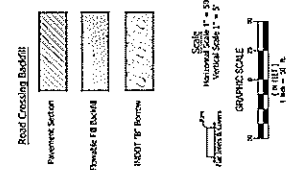


- GENERAL NOTES**
- All sanitary sewer construction shall be in accordance with the latest Standard Specifications of the Town of Danville.
  - Contractor shall be responsible for contacting all permit issuing agencies within the time frame specified by the governing agency prior to construction.
  - It shall be the contractor's responsibility to coordinate with the various public utilities to assure that the location of buried utilities do not conflict with the placement of other utilities. All utilities shall be marked, staked, signed & flagged.
  - Utilities are subject to change. Please reference the recorded "field flag" for field location.
  - Where manholes must maintain minimum 18" horizontal and/or 24" vertical separation from all storm and sanitary sewer pipes and materials. If 24" separation is not possible install concrete curb around sanitary manhole.

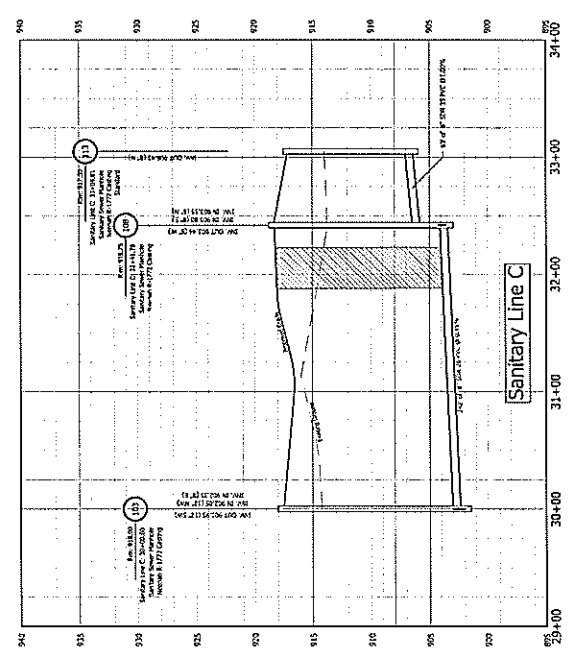
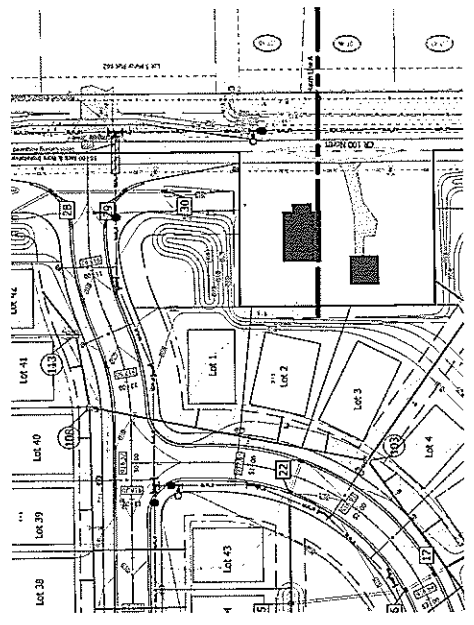




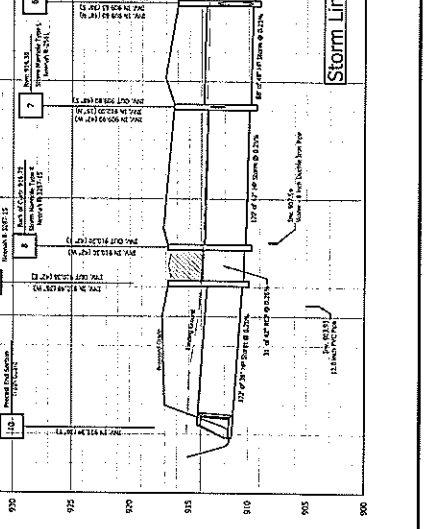
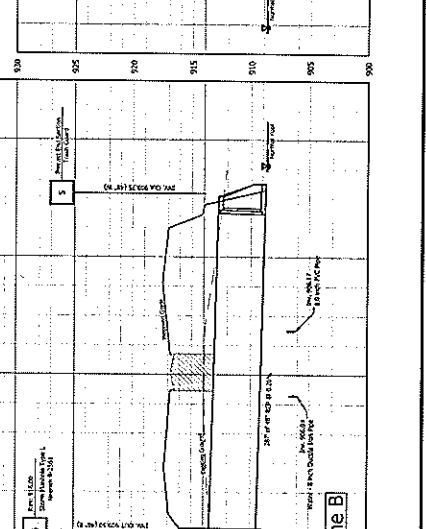
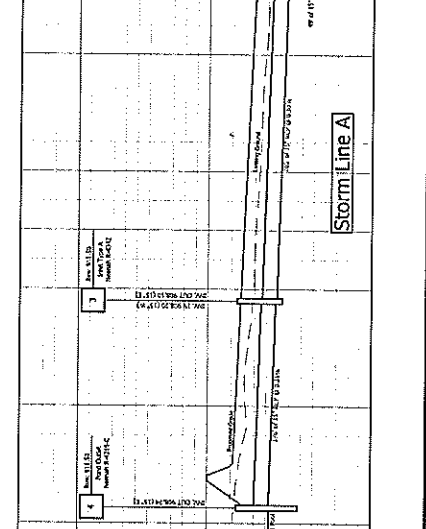




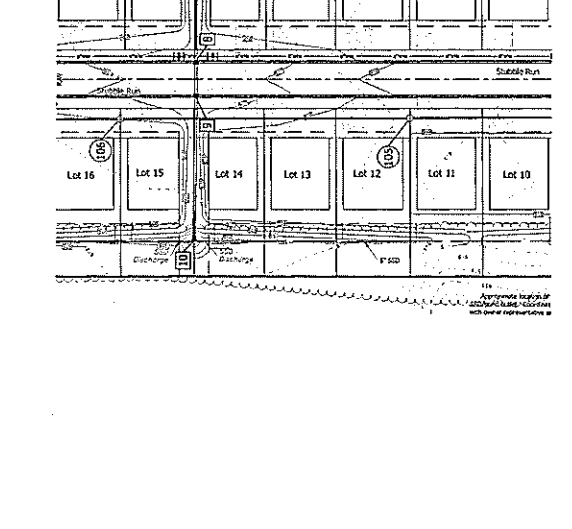
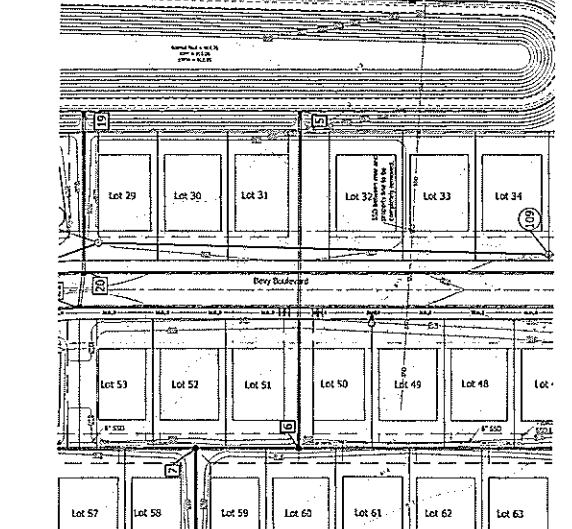
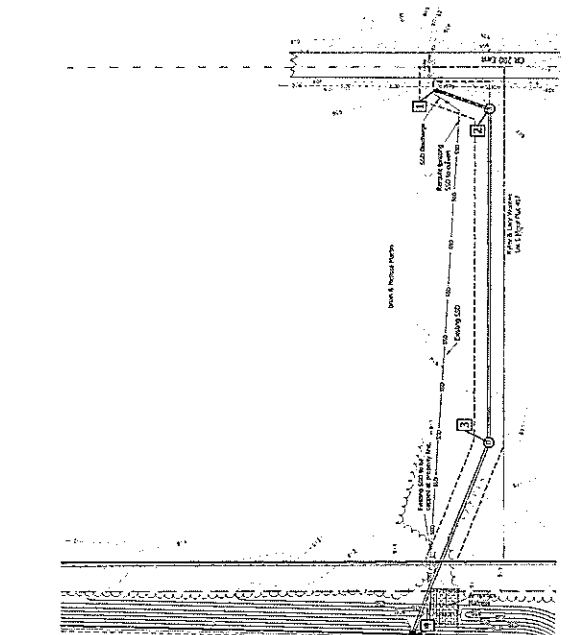
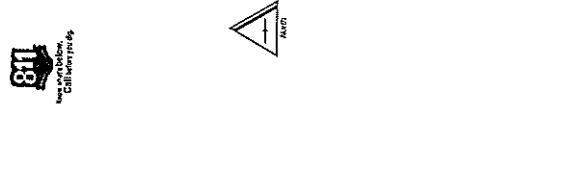
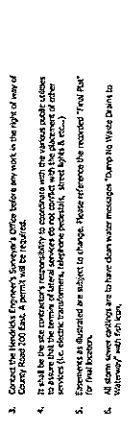
**Utility Statement**  
 The underground utilities shown have been located from field survey. The utility locations are shown as approximate locations. The utility locations shown are not intended to be used for any other purpose. The engineer has not physically located the underground utilities.



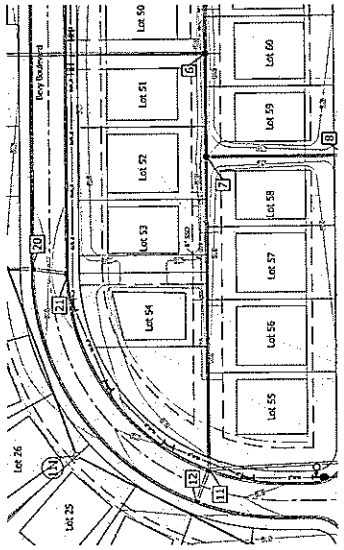
- GENERAL NOTES**
- All sanitary sewer construction is to be in accordance with the latest standards and specifications of the Town of Danville.
  - Contractor shall be responsible for connecting all point source agencies within the limits of the sanitary sewer system to the sanitary sewer main.
  - The sanitary sewer system shall be installed in accordance with the latest standards and specifications of the Town of Danville. The sanitary sewer system shall be installed in accordance with the latest standards and specifications of the Town of Danville.
  - Sanitary sewer lines shall be installed in accordance with the latest standards and specifications of the Town of Danville. The sanitary sewer lines shall be installed in accordance with the latest standards and specifications of the Town of Danville.
  - Utility man must maintain minimum 12" horizontal and/or 24" vertical separation from all other utilities. If a separation is not possible, then all utilities shall be encased in concrete around sanitary sewer.



**UTILITY STATEMENT**  
 The underground utilities shown have been located from field survey information and existing drawings. The surveyor shall not be responsible for the accuracy of the utility information shown on this plan. The surveyor shall not be responsible for the accuracy of the utility information shown on this plan. The surveyor shall not be responsible for the accuracy of the utility information shown on this plan.

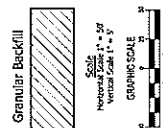


**GENERAL NOTES**  
 1. All storm sewer construction shall comply with the latest Standards and Specifications of the town of Davinville.  
 2. Contractor shall be responsible for contacting all private utility agencies with the time frame specified by the governing agency prior to construction.  
 3. Contact the Davinville Engineer's Office before any work on the right of way of County Road 100 East. A permit will be required.  
 4. It shall be the site contractor's responsibility to coordinate with the various public utilities (gas, electric, water, sewer, telephone, cable, etc.) to locate and mark all existing utilities. The contractor shall be responsible for the accuracy of the utility information shown on this plan.  
 5. Elevation is quoted as subject to change. Please reference the recorded 'Field File' for final elevations.  
 6. All storm sewer conduits are to have clean water manholes. Storm No. 1044 shall be 'Waterway' with 60 ft legs.  
 7. Water main must maintain minimum 12" horizontal and/or 24" vertical separation from all storm sewer lines. If separation is not possible, install concrete collar around storm sewer line.

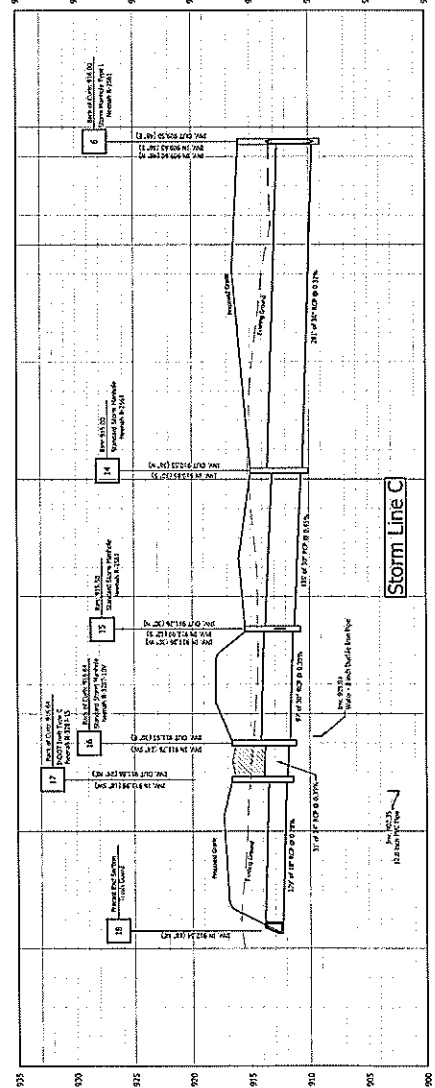
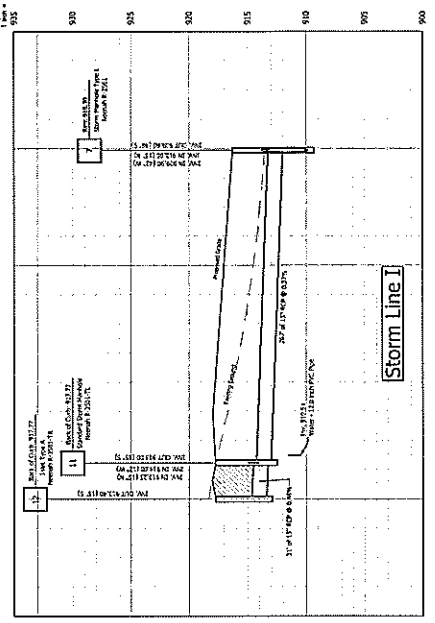
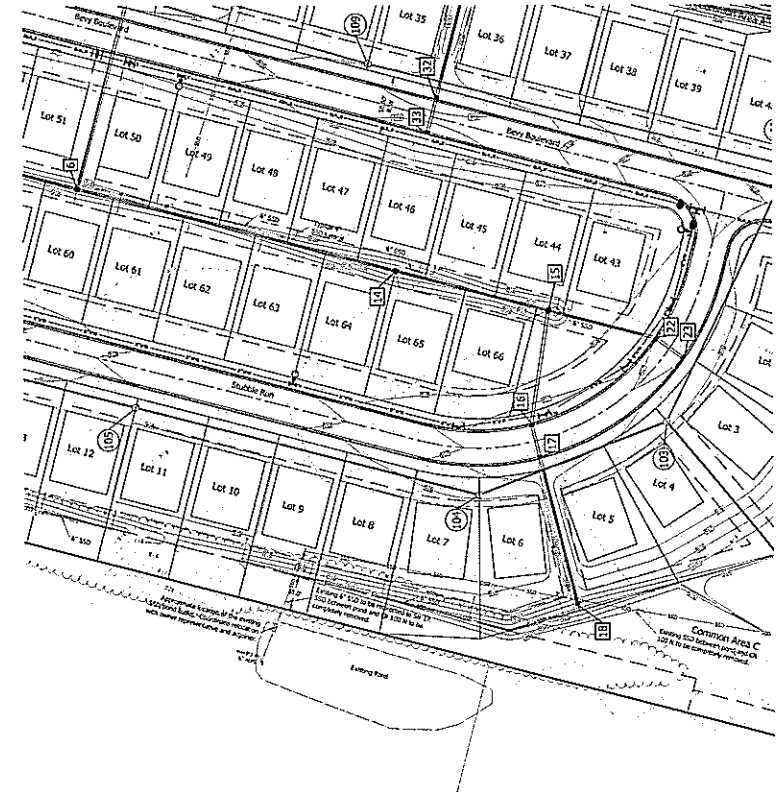


**Utility Statement:**  
 The underground utilities shown have been located from field survey. The underground utilities shown are not to be construed as a warranty of accuracy or completeness. The surveyor neither does nor warrants that the information provided is correct or that it is complete. The surveyor has not specifically located the utilities shown.

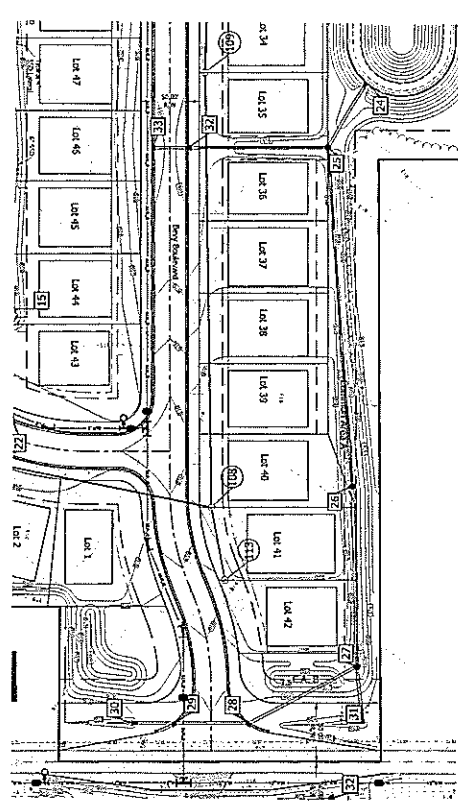
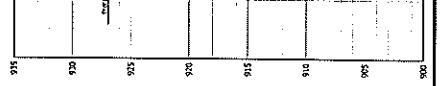
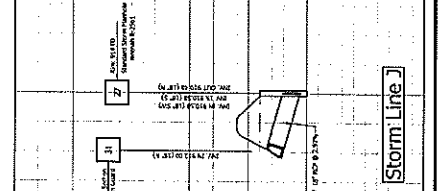
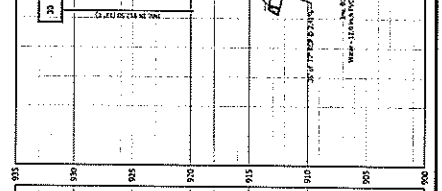
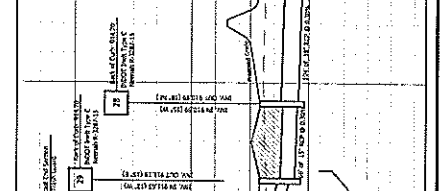
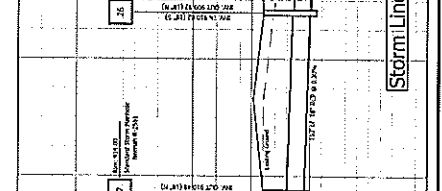
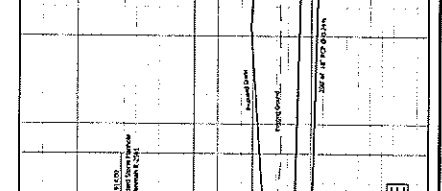
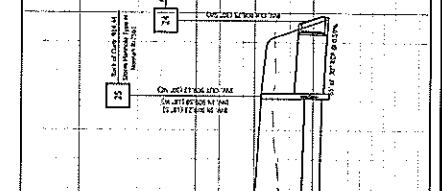
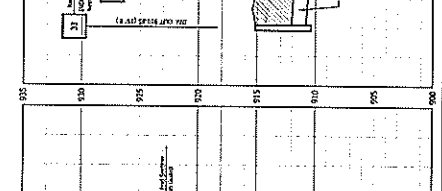
- GENERAL NOTES**
1. All sanitary sewer construction is to be in accordance with the latest Standards and Specifications of the Town of Danville.
  2. Construction shall be responsible for contacting all permit holding agencies within the time frame specified by the governing agency prior to construction.
  3. It shall be the lot purchaser's responsibility to coordinate with the various public utilities (water, gas, electric, telephone, cable, etc.) to locate and mark all existing utilities prior to construction. Lot owners are responsible for any relocation of utilities.
  4. Easements as indicated are subject to change. Please reference the recorded "Final Plat" for final location.
  5. Water main must maintain minimum 12" horizontal and/or 24" vertical separation from all storm and sanitary sewer lines and manholes. If 24" separation is not possible install concrete utility vaults/bury pipes.



Scale  
 Horizontal Scale 1" = 50'  
 Vertical Scale 1" = 5'  
 GRAPHIC SCALE  
 0 10 20 30 40 50 60 70 80 90 100



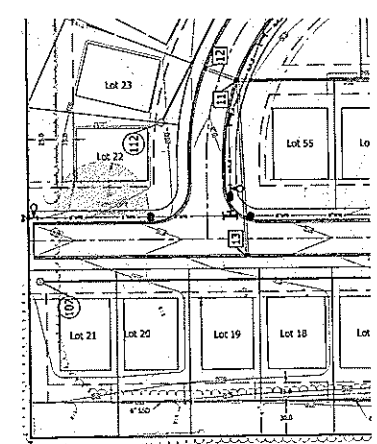
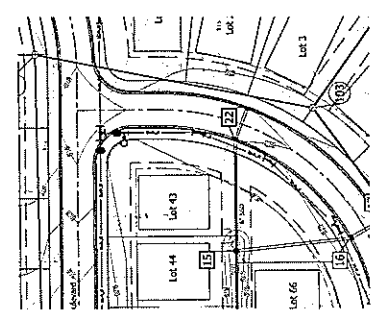
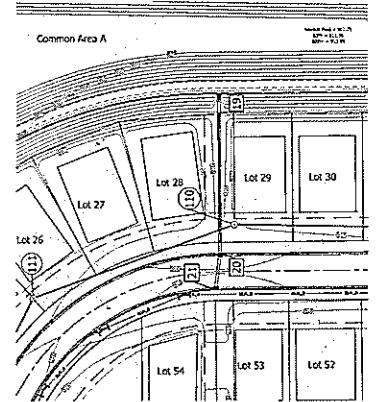




**Utility Statement:**  
 The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the location, depth, or character of any utility is correct. The surveyor is not responsible for any damage to or destruction of any utility. The surveyor is not responsible for any damage to or destruction of any utility. The surveyor is not responsible for any damage to or destruction of any utility.

- GENERAL NOTES**
1. All sanitary sewer construction is to be in compliance with the latest standards and specifications of the Town of Danville.
  2. Contractor shall be responsible for contacting all permit issuing agencies within the time frame specified by the governing agency prior to construction.
  3. It shall be the contractor's responsibility to coordinate with the various public utility agencies for the location and depth of all existing and proposed utilities. The contractor shall be responsible for any damage to or destruction of any utility.
  4. Easements as illustrated are subject to change. Please refer to the recorded "Final Plat" for final location.
  5. Water main must maintain minimum 10' horizontal and/or 24" vertical separation from all storm and sanitary sewer pipes and manholes. If 24" separation is not possible install concrete encasement and bury storm.

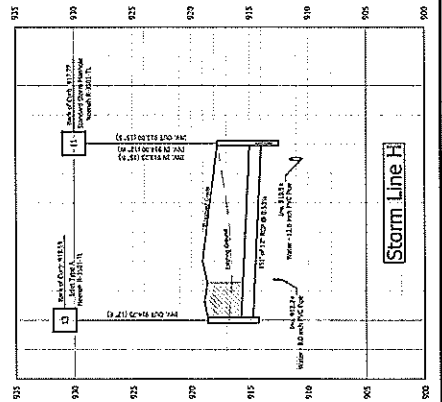
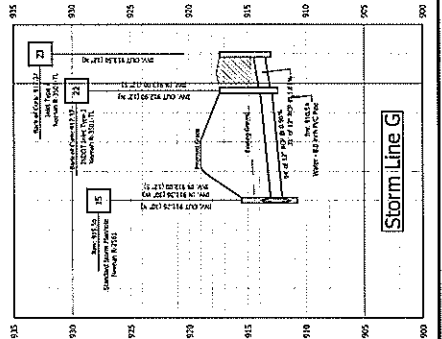
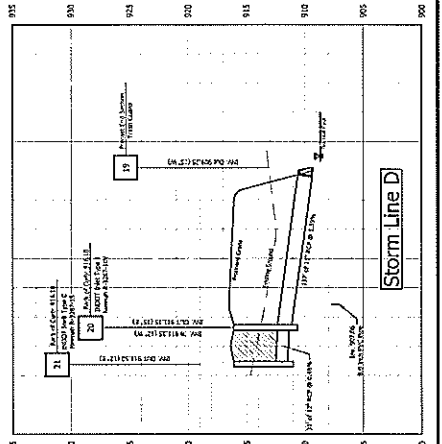
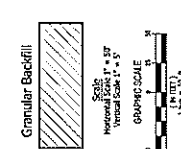




**UTILITY STATEMENT:**  
 The underground utilities shown have been located from field survey. The contractor shall be responsible for verifying the location and depth of all utilities in the area. The contractor shall be responsible for coordinating with the various public utilities (gas, electric, telephone, cable, etc.) and other services (i.e., electric transformers, telephone pedestals, entry pits, etc.) for final location.

**GENERAL NOTES:**

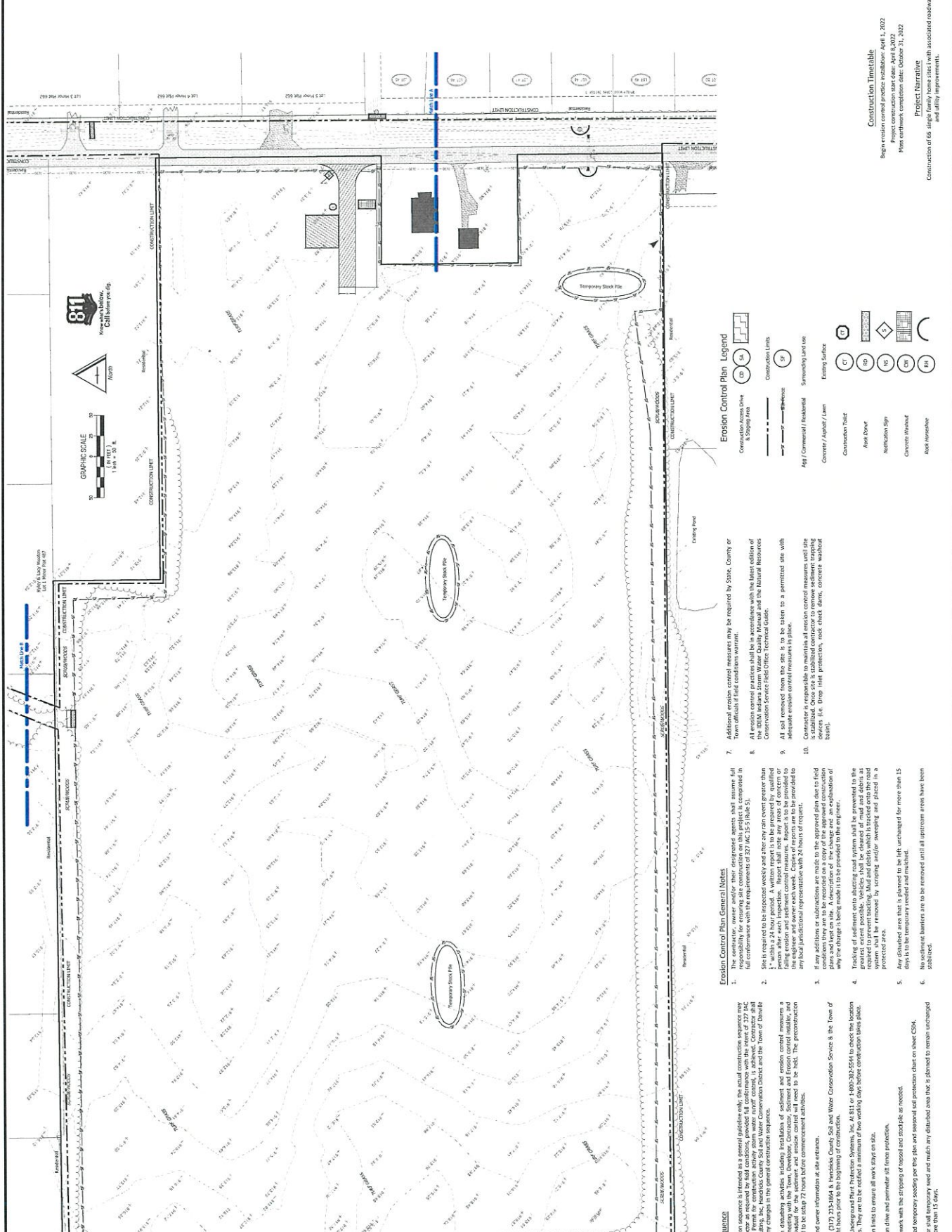
- All sanitary sewer construction is to be in compliance with the local standards and specifications of the Town of Danville.
- Contractor shall be responsible for contacting all permit issuing agencies within the time frame specified by the governing agency prior to construction.
- It shall be the contractor's responsibility to coordinate with the various public utilities (gas, electric, telephone, cable, etc.) and other services (i.e., electric transformers, telephone pedestals, entry pits, etc.) for final location.
- Excavations and structures are subject to change. House reference the nearest "final" plan for final location.
- Water main must maintain a minimum 12" horizontal and/or 24" vertical separation from all storm and sanitary sewer pipes and manholes. If 24" separation is not possible, install a minimum 12" diameter water main pipe.





STORM SEWER STRUCTURE TABLE

Structure Number	Structure Type	Casting	Diameter Pipe In	Direction	Invert In	Diameter Pipe Out	Direction Pipe Out	Invert Feet Out	BWP
1	Precast End Section	Trash Guard	15"	S	907.00				N
2	1100T Inlet Type A	Manhole R-2551	15"	W	907.25	15"	N	907.15	N
3	1100T Inlet Type A	Manhole R-4102	15"	W	908.20	15"	E	908.10	N
4	Precast End Section	Trash Guard	15"	W	908.20	15"	E	908.24	N
5	Storm Manhole Type L	Manhole R-2551	48"	W	908.70	48"	E	908.50	N
6	Storm Manhole Type L	Manhole R-2551	36"	S	909.00	36"	E	908.80	N
7	Storm Manhole Type L	Manhole R-2551	48"	W	909.00	48"	E	908.80	N
8	Storm Manhole Type X	Manhole R-3237-15	48"	W	910.00	48"	E	909.80	N
9	Storm Manhole Type X	Manhole R-3237-15	30"	W	910.48	48"	E	910.28	N
10	Precast End Section	Trash Guard	15"	N	912.25	30"	E	911.54	N
11	Standard Storm Manhole	Manhole R-3237-15	15"	W	914.00	15"	E	914.00	N
12	1100T Inlet Type A	Manhole R-3237-15	15"	W	914.00	15"	E	914.00	N
13	1100T Inlet Type A	Manhole R-3237-15	30"	S	914.88	30"	N	914.75	N
14	Standard Storm Manhole	Manhole R-2551	30"	S	914.88	30"	N	914.75	N
15	Standard Storm Manhole	Manhole R-2551	30"	W	915.96	30"	E	915.83	N
16	Standard Storm Manhole	Manhole R-2551-107	36"	S	916.00	36"	E	915.83	N
17	1100T Inlet Type C	Manhole R-3237-15	24"	SW	916.76	24"	E	916.55	N
18	Precast End Section	Trash Guard	18"	SW	916.98	24"	SE	916.88	N
19	Precast End Section	Trash Guard	18"	W	917.00	18"	NE	916.24	N
20	1100T Inlet Type J	Manhole R-3237-107	15"	W	917.32	15"	E	917.15	N
21	1100T Inlet Type J	Manhole R-3237-15	15"	W	917.32	15"	E	917.15	N
22	1100T Inlet Type J	Manhole R-3237-15	15"	S	917.00	15"	N	917.00	N
23	1100T Inlet Type A	Manhole R-3237-15	15"	W	917.00	15"	N	917.00	N
24	Precast End Section	Trash Guard	30"	SW	920.72	30"	N	919.20	N
25	Storm Manhole Type K	Manhole R-2551	18"	W	920.72	30"	NE	909.13	N
26	Standard Storm Manhole	Manhole R-2551	18"	W	920.72	30"	NE	909.13	N
27	Standard Storm Manhole	Manhole R-2551	18"	S	910.03	18"	N	909.02	N
28	1100T Inlet Type C	Manhole R-3237-15	18"	SW	910.52	18"	N	910.45	N
29	1100T Inlet Type C	Manhole R-3237-15	15"	W	910.50	18"	NE	910.29	N
30	1100T Inlet Type C	Manhole R-3237-15	15"	W	911.65	15"	E	911.19	N
31	Precast End Section	Trash Guard				18"	E	912.00	N
32	1100T Inlet Type J	Manhole R-3237-15	15"	W	910.95	18"	E	910.45	N
33	1100T Inlet Type J	Manhole R-3237-15	15"	W	910.95	15"	E	910.45	N



### Erosion Control Plan Legend

- Construction Access Drive & Staging Area
- Construction Limits
- Existing Surface
- Agg / Gravel / Material
- Concrete / Asphalt / Lane
- Construction Sheet
- Rock Check Dam
- Retention Sign
- Concrete Retention
- Rock Retention

Additional erosion control measures may be required by State, County or Town officials if field conditions warrant.

All erosion control practices shall be in accordance with the latest edition of the National Siltation Manual, 2008, published by the National Resources Conservation Service Field Office Technical Guide.

All soil removed from the site is to be taken to a permitted site with adequate erosion control measures in place.

Contractor is responsible to maintain all erosion control measures until the project is complete.

**Erosion Control Sequence**

- The contractor, owner and/or their designated agents, shall assume full responsibility for ensuring site construction on this project is completed in full compliance with the requirements of 327 IAC 15-1 (Rule 5).
- Site is required to be inspected weekly and after any rain event greater than 1/4 inch within a 24 hour period. A written report is to be prepared by a qualified professional engineer or geotechnical engineer, detailing the inspection, findings, erosion and sediment control measures. Report is to be provided to the engineer and owner each week. Construction is to be provided to any other professional representatives within 24 hours of request.
- If any additions or corrections are made to the approved plan due to field conditions, the contractor shall submit a written report to the engineer explaining why the change is being made it to be provided to the engineer.
- Tracking of sediment onto abutting road system shall be prevented to the greatest extent possible. Vehicles shall be cleaned of mud and debris at the site. Sediment control measures shall be installed and maintained. A sediment control system shall be removed by scraping and/or sweeping and placed in a protected area.
- Any disturbed area that is planned to be left unchanged for more than 15 days is to be temporary seeded and mulched.
- No siltation barriers are to be removed until all upstream areas have been stabilized.

**Erosion Control Sequence**

- Before any earth disturbance, the contractor shall obtain and install a permit from the qualified individual for the sediment and erosion control. The preconstruction meeting will need to be held 72 hours before commencement activities.
- Post contractor and owner information at site entrance.
- Contact DCR at (317) 233-3864 & Hendricks County Soil and Water Conservation Service & the Town of Danville for a permit prior to the beginning of construction.
- Call the Indiana Underground Water Protection Systems, Inc. At 311 or 1-800-282-2554 to check the location of existing utilities. They are to be located a minimum of two working days before construction fully starts.
- State construction limits to ensure all work stays on site.
- Install construction ditches and perimeter force protection.
- Begin mass earthwork with the stripping of topsoil and stockpile as needed.
- Install any retained temporary seeding per the plan and approved soil protection chart on sheet CS-4.
- General contractor shall be responsible for any issues and must maintain any disturbed area that is planned to remain unchanged for a period of 180 days or more.

**Construction Timetable**

Begin erosion control practice installation: April 1, 2022

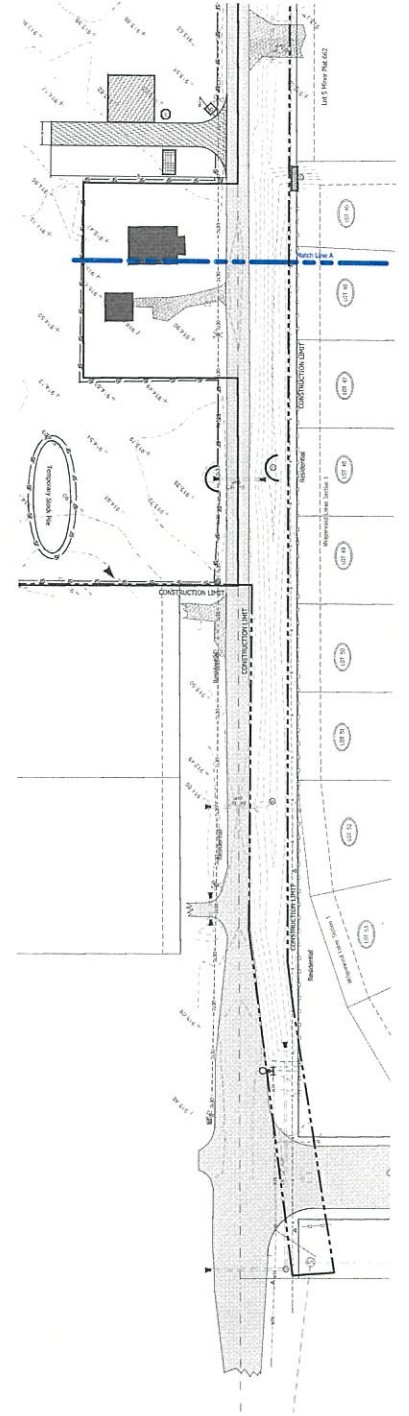
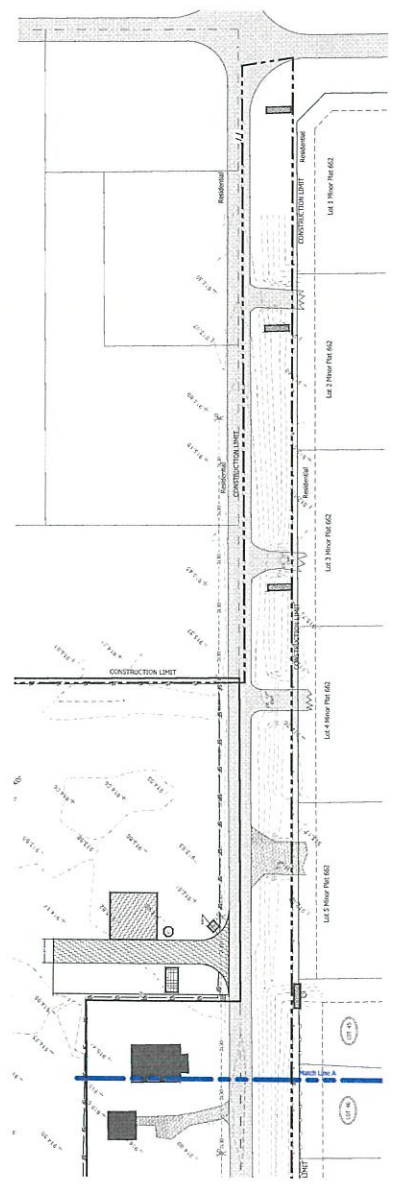
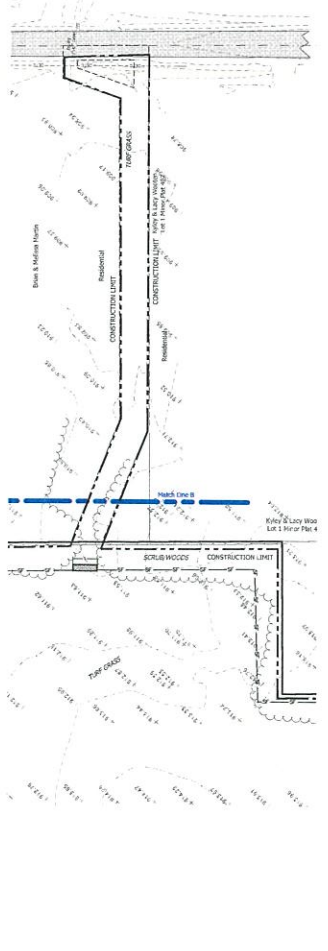
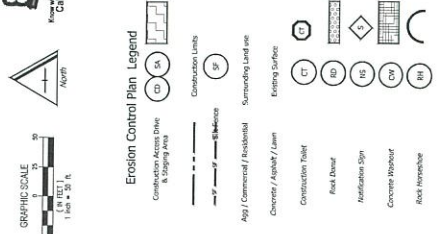
Complete construction: October 31, 2022

Most earthwork completion date: October 31, 2022

Project Narrating

Construction of 66 single family home sites with associated roadway and utility improvements.

Erosion Control Plan Legend



Erosion Control Sequence

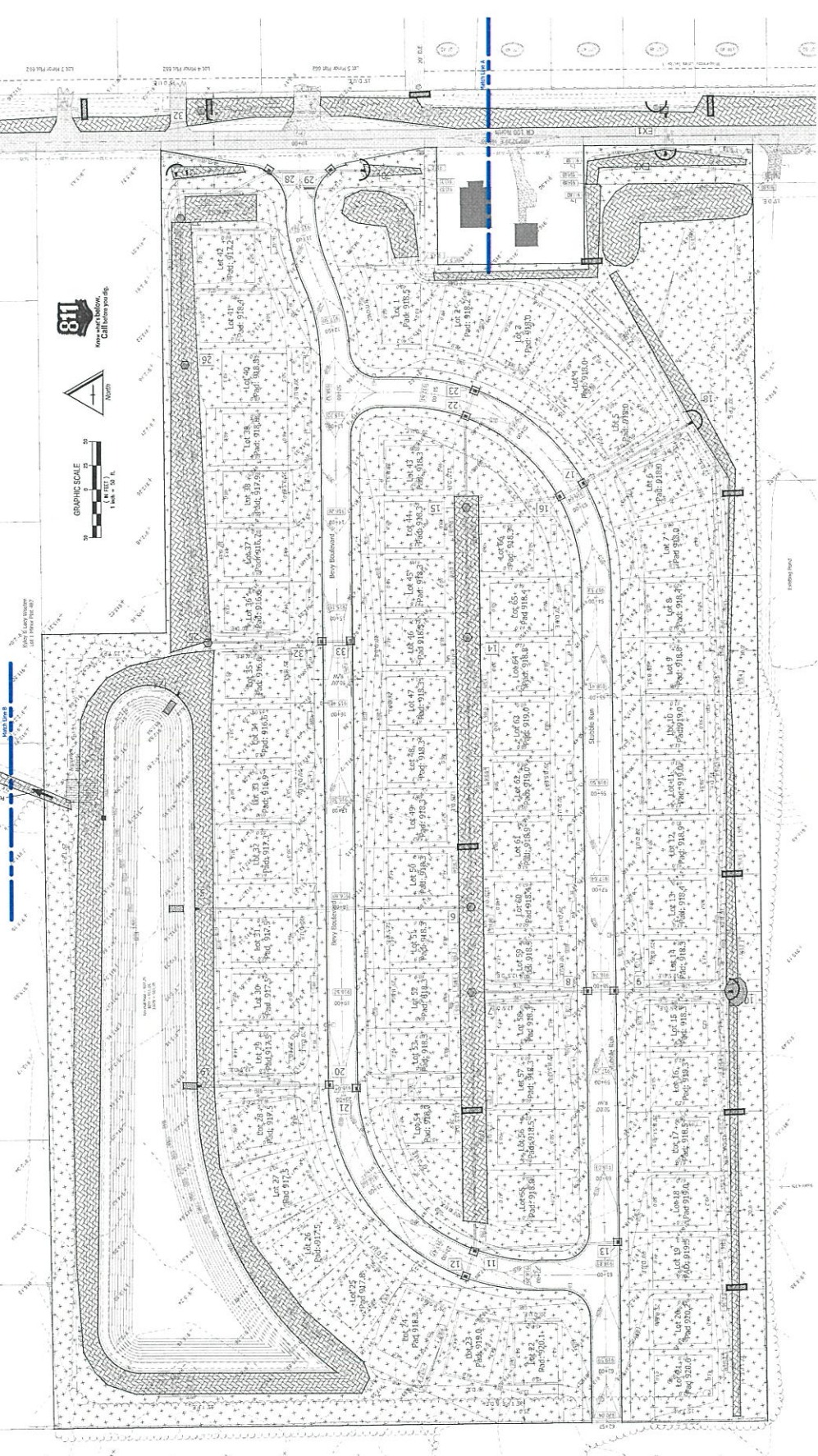
- The provided construction sequence is intended as a general guideline only; the actual construction sequence may vary based on site conditions. The contractor shall be responsible for obtaining all necessary permits and approvals from the local, state, and federal agencies. The contractor shall be responsible for obtaining all necessary permits and approvals from the local, state, and federal agencies.
- Before any earth disturbing activities, the contractor shall obtain all necessary permits and approvals from the local, state, and federal agencies. The contractor shall be responsible for obtaining all necessary permits and approvals from the local, state, and federal agencies.
- Final contractor and owner information at site entrance.
- Contact IDPH at (317) 224-1564 or Hendricks County Soil and Water Conservation Service at the Town of Danville (317) 714-1346 prior to the beginning of construction.
- The Indiana Underground Heat Protection System, Inc. (IHU) at 811 or 1-800-365-5544 to check the location of existing utilities. They may be required to install a minimum of two working days before construction takes place.
- Stake construction limits to ensure all work stays on site.
- Install construction drive and perimeter site fence protection.
- Begin mass earthwork with the grading of disposal and disposal as needed.
- Install any required temporary grading per the job and seasonal soil protection sheet on sheet C504.
- Contract methods shall be approved, tested, and such any disturbed area that is planned to remain unchanged for a period of more than 15 days.

Erosion Control Plan General Notes

- The contractor, owner and/or their designated agents shall assume full responsibility for the implementation of this plan. The contractor shall be responsible for obtaining all necessary permits and approvals from the local, state, and federal agencies.
- Site to be inspected weekly and after any rain events. A written report is to be prepared by a qualified person after each inspection. Report shall note any areas of concern or non-compliance. Copies of reports are to be provided to the engineer and owner each week. Copies of reports are to be provided to any local jurisdiction representative within 24 hours of report.
- If any additions or substitutions are made to the approved plan due to field conditions they are to be recorded on a copy of the approved construction plan. The contractor shall be responsible for obtaining all necessary permits and approvals from the local, state, and federal agencies.
- Tracing of wetland areas showing road sections shall be completed to the greatest extent possible. Wetlands shall be cleared of mud and debris as required to prevent tracking. Mud and debris which is tracked onto the road shall be removed by washing and/or sweeping and placed in a protected area.
- Any disturbed area that is planned to be left unchanged for more than 15 days is to be temporary seeded and mulched.
- No sediment barriers are to be removed until all upstream areas have been stabilized.

Pyatt Builders, LLC  
630 3rd Ave SW #200  
Carmel, IN 46032  
(317) 714-1346  
Owner Representative:  
Paul Clare

GENMARK CONSULTING, INC.  
69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
(317) 852-5695  
Project Manager: Nathan White  
white@benchmarkcorp.com



Erosion Control Plan Legend

- 1. SWS Erosion Control Structure (Structure 3 SWS or Equal)
- 2. Rock Mat Structure
- 3. Permanent Seeding with Straw Mulch at 2 tons per acre
- 4. Permanent Seeding with Mulch 5-10" (North American Green 575 or equal)
- 5. Deep Water Protection (Using SWS or Equal)
- 6. SWS Sealer Inlet Protection (Using SWS)
- 7. Reno Mattress Erosion Treatment
- 8. Rock Dam

be temporarily or permanently stabilized with measures appropriate for the season to minimize erosion potential.

All disturbed areas not complete to final grade are to be stabilized with appropriate erosion control measures within 14 days of completion of earthwork.

Excavated soil stockpiles are not to be left exposed as a result of the proposed earth moving construction. Any excess dirt which may result upon completion of the project shall be removed from the site to a permitted location. The contractor or developer shall be responsible for the proper management, storage, and disposal of any excess soil.

Complete underground utilities.

Install storm sewer inlet protection as soon as inlet has been installed.

Complete masonry construction.

Final grade site.

Install surface stabilization measures as illustrated within these approved erosion control plans.

Do not remove any sediment trapping device until all upstream areas have been stabilized. The vegetation has been established with a density of seventy percent and the area has been protected for 15 days.

Complete masonry construction.

Final grade site.

Install surface stabilization measures as illustrated within these approved erosion control plans.

Excavated soil stockpiles are not to be left exposed as a result of the proposed earth moving construction. Any excess dirt which may result upon completion of the project shall be removed from the site to a permitted location. The contractor or developer shall be responsible for the proper management, storage, and disposal of any excess soil.

Complete underground utilities.

Install storm sewer inlet protection as soon as inlet has been installed.

Complete masonry construction.

Final grade site.

Install surface stabilization measures as illustrated within these approved erosion control plans.

Excavated soil stockpiles are not to be left exposed as a result of the proposed earth moving construction. Any excess dirt which may result upon completion of the project shall be removed from the site to a permitted location. The contractor or developer shall be responsible for the proper management, storage, and disposal of any excess soil.

Complete underground utilities.

Install storm sewer inlet protection as soon as inlet has been installed.

Complete masonry construction.

Final grade site.

Install surface stabilization measures as illustrated within these approved erosion control plans.

Excavated soil stockpiles are not to be left exposed as a result of the proposed earth moving construction. Any excess dirt which may result upon completion of the project shall be removed from the site to a permitted location. The contractor or developer shall be responsible for the proper management, storage, and disposal of any excess soil.

Complete underground utilities.

Install storm sewer inlet protection as soon as inlet has been installed.

Complete masonry construction.

Final grade site.

Install surface stabilization measures as illustrated within these approved erosion control plans.

Excavated soil stockpiles are not to be left exposed as a result of the proposed earth moving construction. Any excess dirt which may result upon completion of the project shall be removed from the site to a permitted location. The contractor or developer shall be responsible for the proper management, storage, and disposal of any excess soil.

Complete underground utilities.

Install storm sewer inlet protection as soon as inlet has been installed.

Complete masonry construction.

Final grade site.

Install surface stabilization measures as illustrated within these approved erosion control plans.

Excavated soil stockpiles are not to be left exposed as a result of the proposed earth moving construction. Any excess dirt which may result upon completion of the project shall be removed from the site to a permitted location. The contractor or developer shall be responsible for the proper management, storage, and disposal of any excess soil.

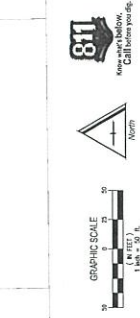
Complete underground utilities.

Install storm sewer inlet protection as soon as inlet has been installed.

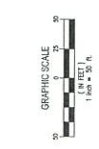
Complete masonry construction.

Final grade site.

Install surface stabilization measures as illustrated within these approved erosion control plans.



811  
For more information,  
Call before you dig.



**Erosion Control Sequence**

- The provided construction sequence is intended as a general guide. The contractor shall be responsible for the construction sequence to be followed on the site. All construction shall be in accordance with the approved plans and specifications. The contractor shall be responsible for the construction sequence to be followed on the site. All construction shall be in accordance with the approved plans and specifications.
1. Complete underground utilities.
  2. Install storm sewer inlet protection as soon as inlet has been installed.
  3. Complete roadway construction.
  4. Finish grade site.
  5. Install surface stabilization measures as illustrated within these approved erosion control plans.
  6. Do not remove any sediment trapping device until all upstream areas have been stabilized. The vegetated areas shall be established with a density of seven percent (7%), unvegetated areas that are scheduled or likely to be left inactive for 75 days must

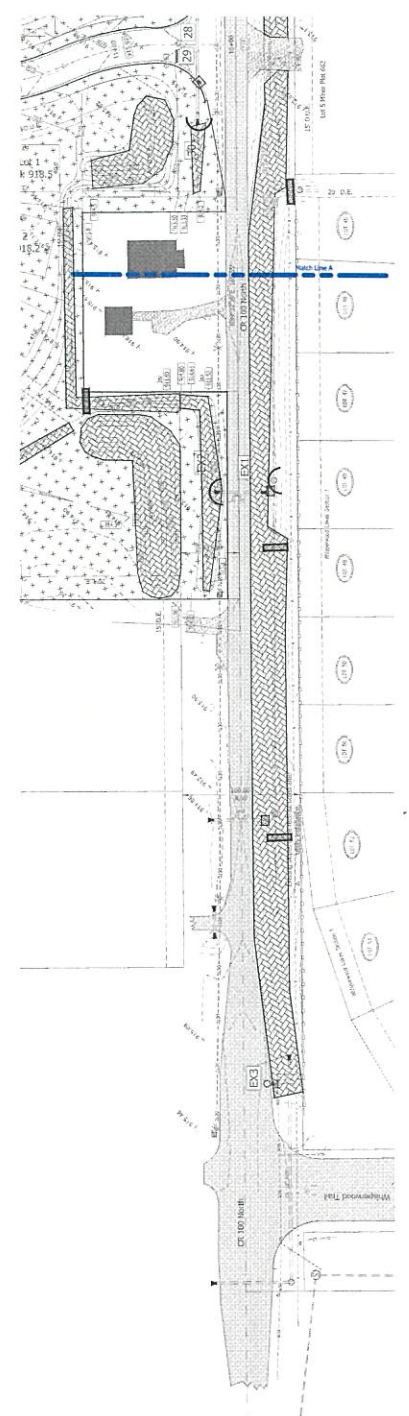
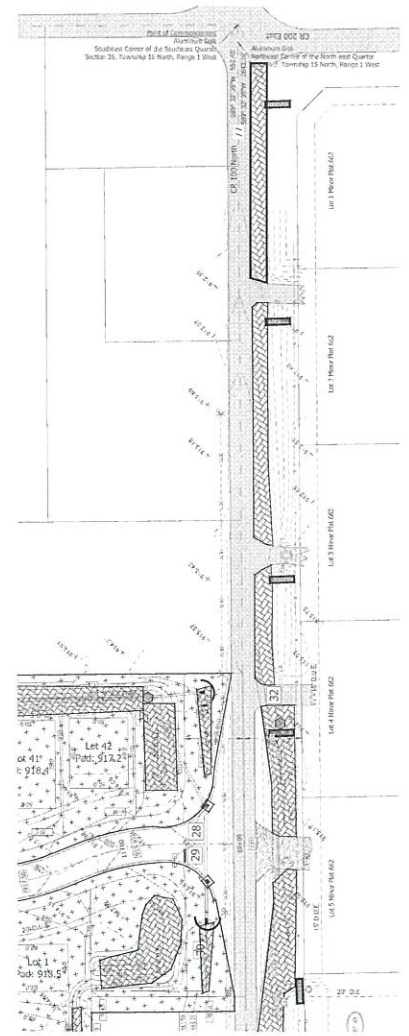
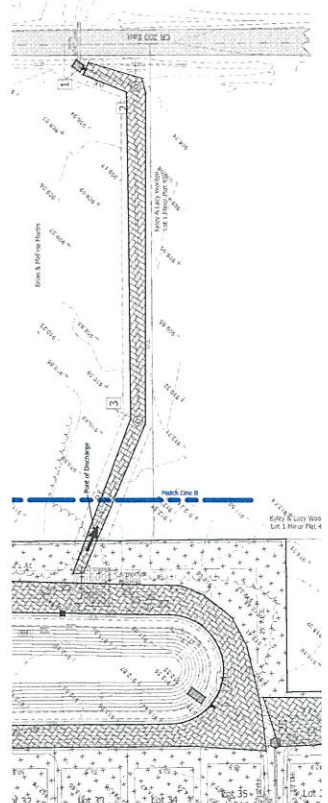
be temporarily or permanently established with erosion potential.

7. All disturbed areas not completed to final grade are to be temporary and permanently seeded with mulch no later than October 1, 2024.

8. Extended soil stockpiles are not anticipated to be present. If they are, they shall be covered with a minimum of 12 inches of mulch. The mulch shall be applied to the top of the stockpile. The mulch shall be applied to the top of the stockpile. The mulch shall be applied to the top of the stockpile.

**Erosion Control Plan Legend**

- 60% Filter Fabric (Minimum 3 mils @ 2000 lbs or 2000)
- Rock Horse Shoe
- Permanent Seeding with Straw Mulch at 2 tons per acre
- Permanent Seeding with Straw Mulch at 2 tons per acre (North American Green 57% or equal)
- Drain Inlet Protection (Only Salt or Equal)
- 200 Saver Inlet Protection (Point #110)
- Reinforced Concrete Retention Wall
- Rock Dam



<p><b>A1. Inflow (Storm) Runoff of Inflow Stormwater</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>A2. Inflow (Storm) Runoff of Inflow Stormwater</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>A3. Inflow (Storm) Runoff of Inflow Stormwater</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>A4. Inflow (Storm) Runoff of Inflow Stormwater</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>A5. Inflow (Storm) Runoff of Inflow Stormwater</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>A6. Inflow (Storm) Runoff of Inflow Stormwater</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>A7. Inflow (Storm) Runoff of Inflow Stormwater</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>A8. Inflow (Storm) Runoff of Inflow Stormwater</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>A9. Inflow (Storm) Runoff of Inflow Stormwater</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>
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<p><b>B1. POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITIES</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>B2. POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITIES</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>B3. POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITIES</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>B4. POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITIES</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>B5. POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITIES</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>B6. POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITIES</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>B7. POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITIES</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>B8. POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITIES</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>B9. POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITIES</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>
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<p><b>B10. TEMPORARY SURFACE STABILIZATION METHODS (CONTINUED)</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>B11. TEMPORARY SURFACE STABILIZATION METHODS (CONTINUED)</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>B12. PERMANENT SURFACE STABILIZATION METHODS</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>B13. MATERIAL HANDLING AND SPILL PREVENTION PLAN</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>B14. MONITORING AND MAINTENANCE GUIDELINES</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>B15. MONITORING AND MAINTENANCE GUIDELINES</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>B16. MONITORING AND MAINTENANCE GUIDELINES</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>B17. MONITORING AND MAINTENANCE GUIDELINES</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>B18. MONITORING AND MAINTENANCE GUIDELINES</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>
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<p><b>C1. DESCRIPTION OF POLLUTANTS AND THEIR SOURCES ASSOCIATED WITH THE PROPOSED LAND USE</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>C2. DESCRIPTION OF PROPOSED BEST CONSTRUCTION STORM WATER QUALITY MEASURE</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>C3. CONSTRUCTION DETAILS AND SPECIFICATIONS</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>C4. MAINTENANCE GUIDELINES FOR STORM WATER MEASURES</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>C5. ESTIMATED COST OF SITE DEVELOPMENT</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>C6. CONTRACT FEE/STAMP</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>C7. ESTIMATED COMPLETION OF SITE DEVELOPMENT</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>C8. CONTRACT FEE/STAMP</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>	<p><b>C9. CONTRACT FEE/STAMP</b></p> <p>See Section 10.1.1.1 of the Stormwater Management Manual for Indiana (2011).</p>
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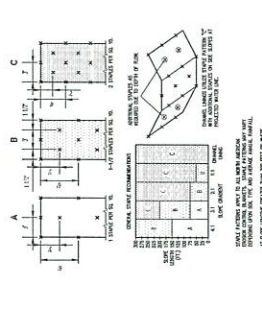
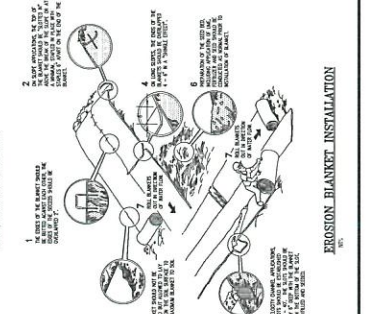
**BENCHMARK CONSULTING, INC.**  
69 ANDRUSIA DRIVE, SUITE 200  
INDIANAPOLIS, IN 46202  
(317) 852-5595

**Pyatt Builders, LLC**  
630 SW 5200  
Carmel, IN 46032  
(317) 714-3346  
Owner Representative:

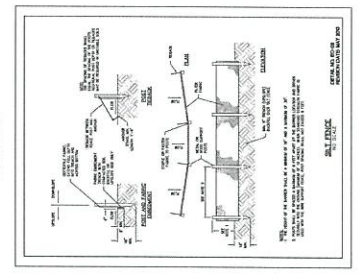
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Darilyn, Indiana

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21003  
N.A.V.A.  
N.A.V.A.

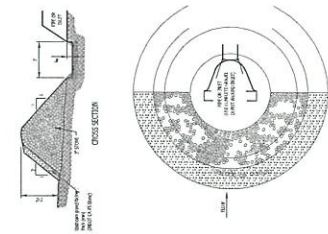




**EROSION BLANKET INSTALLATION**

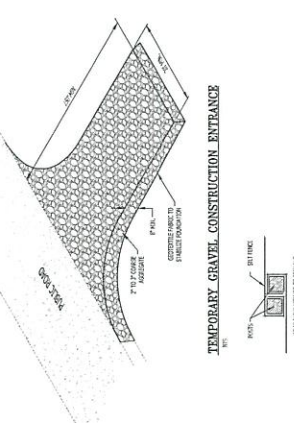


**ROCK HORSESHOE INLET PROTECTION**

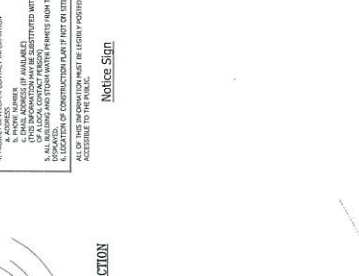


**DROP INLET PROTECTION**

Material	Quantity	Notes
1. 18" DIA. CONCRETE PIPE	1	
2. 12" DIA. CONCRETE PIPE	1	
3. 6" DIA. CONCRETE PIPE	1	
4. 4" DIA. CONCRETE PIPE	1	
5. 3" DIA. CONCRETE PIPE	1	
6. 2" DIA. CONCRETE PIPE	1	
7. 1" DIA. CONCRETE PIPE	1	
8. 1/2" DIA. CONCRETE PIPE	1	



**Rip Rap Pond Outlet Detail**



**Outfall Storm Sewer to Pond**

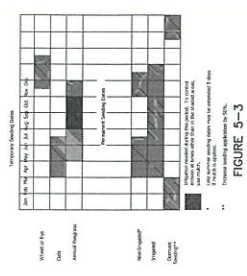
Area	Area (sq. ft.)	Area (sq. yd.)	Area (Ac.)
Total Area	1,100,000	125,000	25.93
Impervious Area	100,000	11,111	2.54
Permeable Area	1,000,000	113,889	25.93

**FIGURE 5-4**

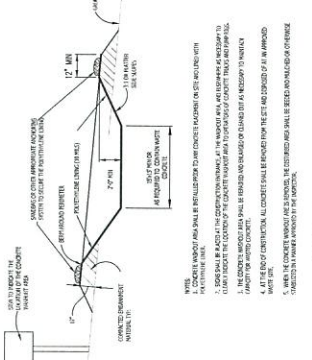
Area	Area (sq. ft.)	Area (sq. yd.)	Area (Ac.)
Total Area	1,100,000	125,000	25.93
Impervious Area	100,000	11,111	2.54
Permeable Area	1,000,000	113,889	25.93

Area	Area (sq. ft.)	Area (sq. yd.)	Area (Ac.)
Total Area	1,100,000	125,000	25.93
Impervious Area	100,000	11,111	2.54
Permeable Area	1,000,000	113,889	25.93

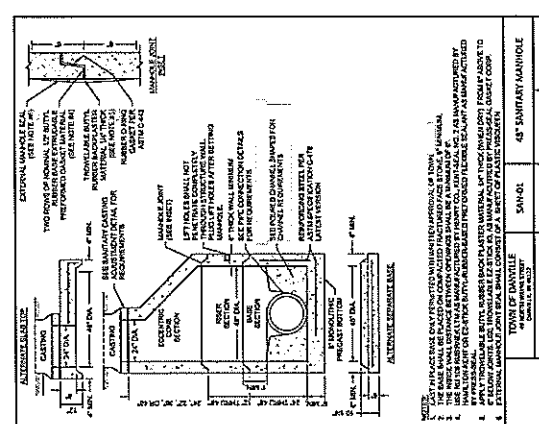
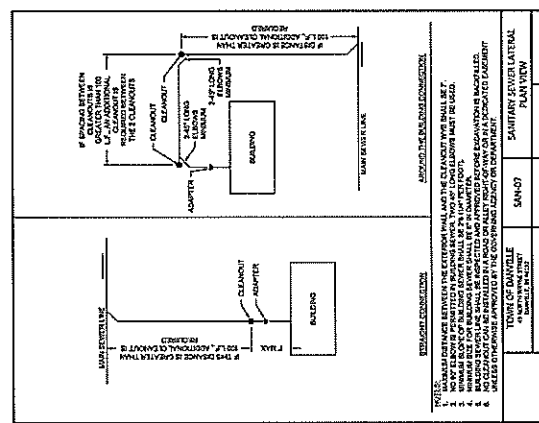
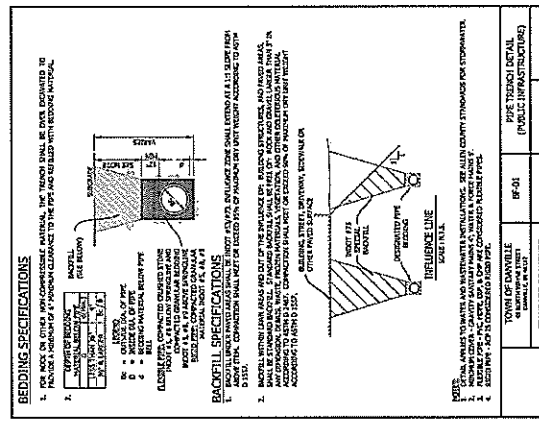
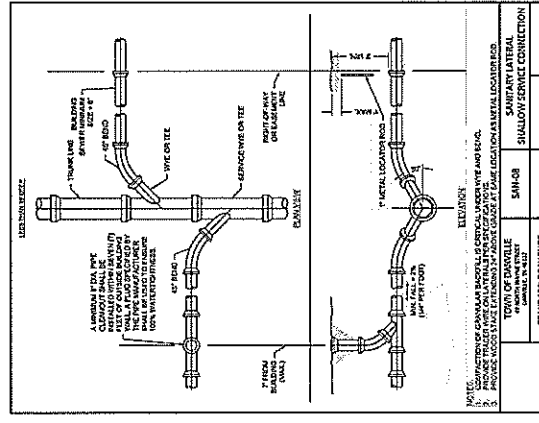
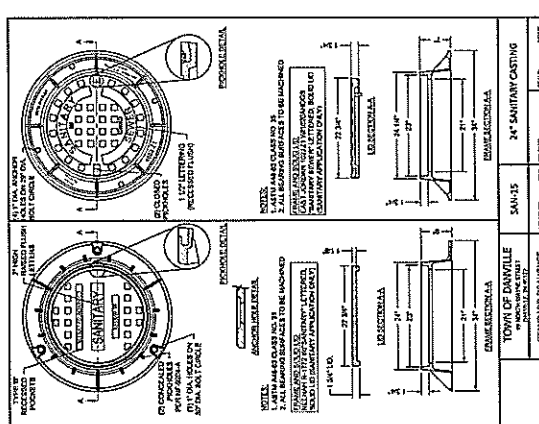
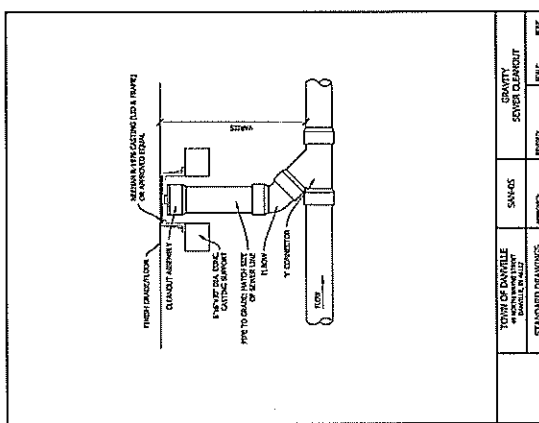
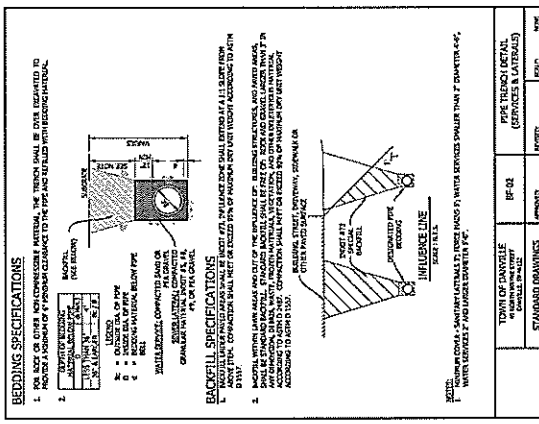
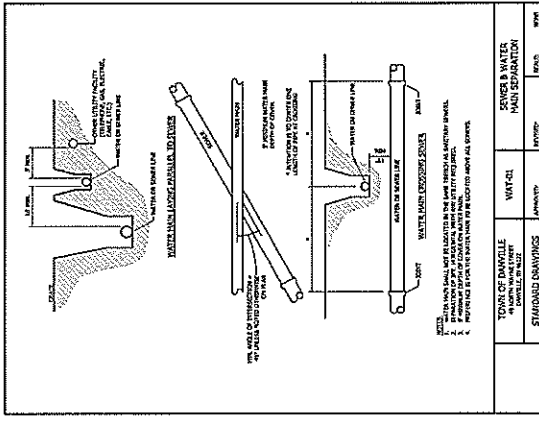
**FIGURE 5-3**



**ROCK DAM DETAIL**



**CONCRETE WASHOUT DETAIL**

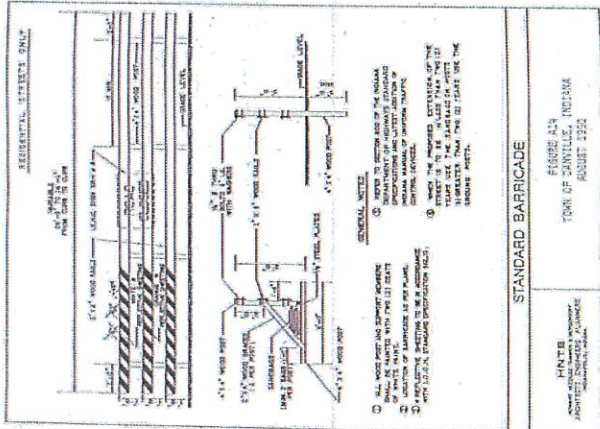


TOWN OF DANVILLE STANDARD DRAWINGS	DATE	BY	CHK
21003	11/11/11	NW	SW

TOWN OF DANVILLE STANDARD DRAWINGS	DATE	BY	CHK
21003	11/11/11	NW	SW

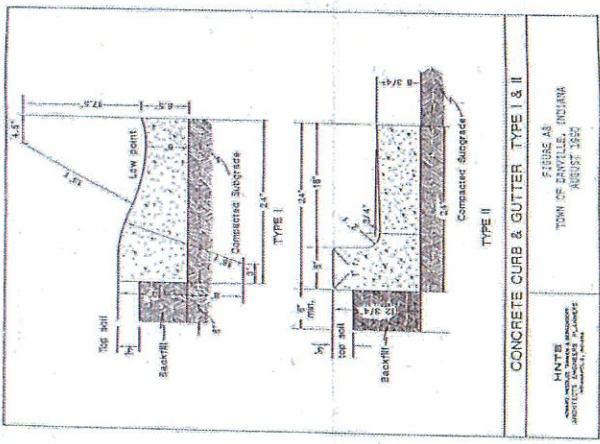
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21003	11/11/11	NW	SW

TOWN OF DANVILLE STANDARD DRAWINGS	DATE	BY	CHK
21003	11/11/11	NW	SW



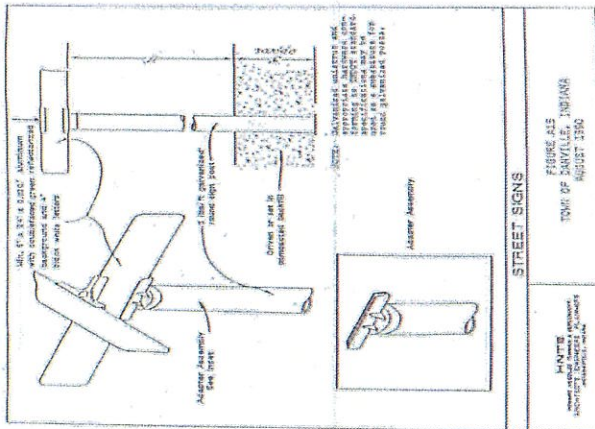
**STANDARD BARRICADE**

**NOTES:**  
 TOWN OF DANVILLE, INDIANA  
 AUGUST 1990



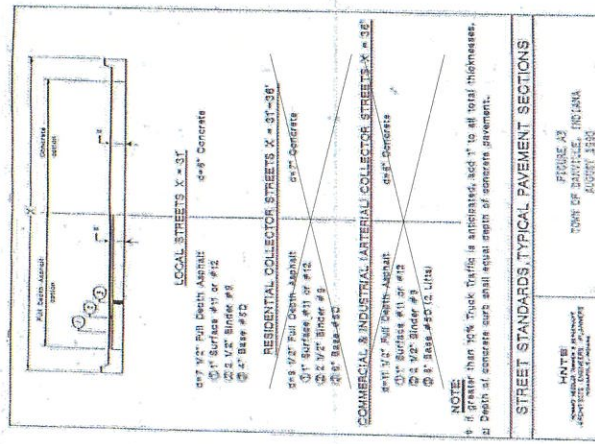
**CONCRETE CURB & GUTTER, TYPE I & II**

**NOTES:**  
 TOWN OF DANVILLE, INDIANA  
 AUGUST 1990



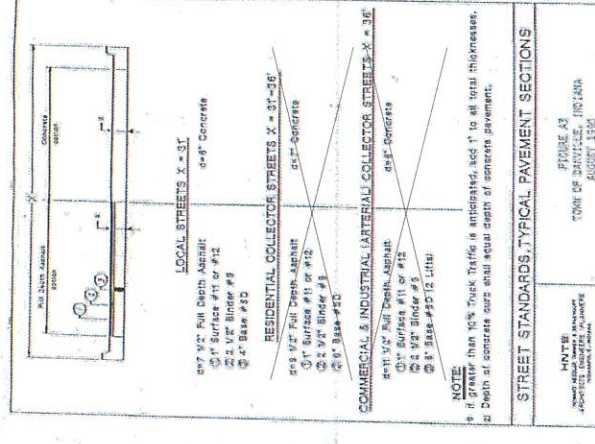
**STREET SIGNS**

**NOTES:**  
 TOWN OF DANVILLE, INDIANA  
 AUGUST 1990



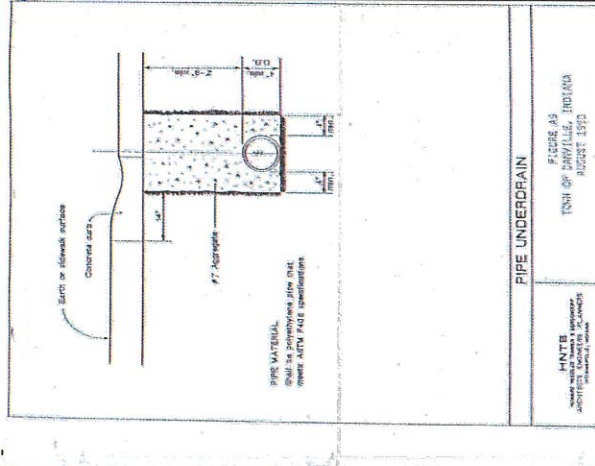
**STREET STANDARDS, TYPICAL PAVEMENT SECTIONS**

**NOTES:**  
 TOWN OF DANVILLE, INDIANA  
 AUGUST 1990



**STREET STANDARDS, TYPICAL PAVEMENT SECTIONS**

**NOTES:**  
 TOWN OF DANVILLE, INDIANA  
 AUGUST 1990

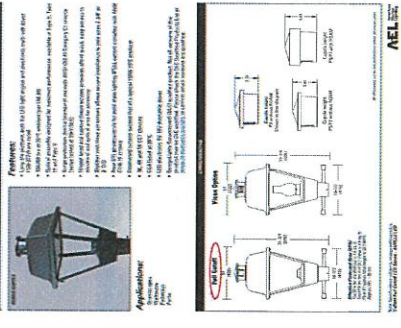


**PIPE UNDERDRAIN**

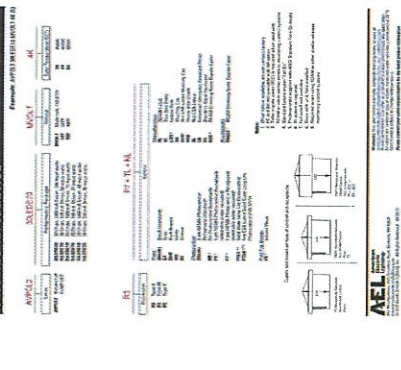
**NOTES:**  
 TOWN OF DANVILLE, INDIANA  
 AUGUST 1990

5" CONC. OR  
 4" ASPHALT

**Valliant® Full Cutoff LED**  
 ECONOMY



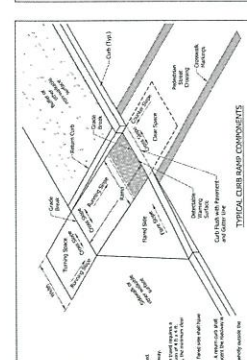
**Valliant® Full Cutoff LED**  
 SERIES A/V/C/L



SHEET NO.	SUBJECT
1	GENERAL NOTES
2	CONCRETE SIDEWALK
3	ASPHALT TRAIL
4	RAILROAD CROSSING
5	TRUCK STOP
6	TRUCK STOP
7	TRUCK STOP
8	TRUCK STOP
9	TRUCK STOP
10	TRUCK STOP
11	TRUCK STOP
12	TRUCK STOP
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48	TRUCK STOP
49	TRUCK STOP
50	TRUCK STOP

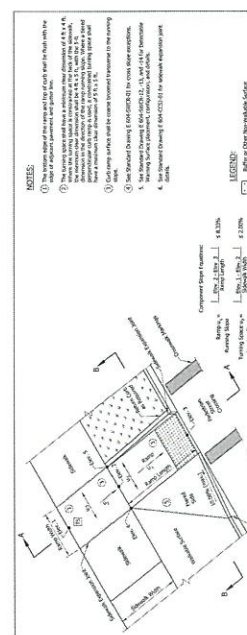
**GENERAL NOTES:**

1. All dimensions are shown unless otherwise indicated.
2. All materials shall conform to the specifications listed in the project manual.
3. All work shall be done in accordance with the plans and specifications.
4. All work shall be done in accordance with the plans and specifications.
5. All work shall be done in accordance with the plans and specifications.
6. All work shall be done in accordance with the plans and specifications.
7. All work shall be done in accordance with the plans and specifications.
8. All work shall be done in accordance with the plans and specifications.
9. All work shall be done in accordance with the plans and specifications.
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29. All work shall be done in accordance with the plans and specifications.
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47. All work shall be done in accordance with the plans and specifications.
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49. All work shall be done in accordance with the plans and specifications.
50. All work shall be done in accordance with the plans and specifications.



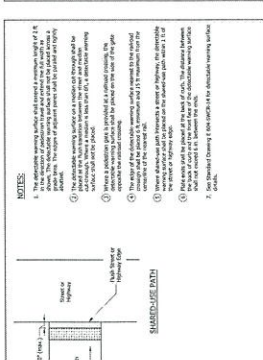
**INDIANA DEPARTMENT OF TRANSPORTATION**  
**CONCRETE SIDEWALK**  
 SEPTEMBER 2018  
 STANDARD DRAWING NO. E-604-SW-01

DESIGNED BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 09/17/18



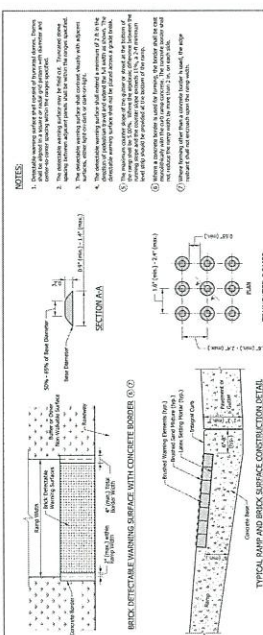
**INDIANA DEPARTMENT OF TRANSPORTATION**  
**CONCRETE SIDEWALK**  
 SEPTEMBER 2018  
 STANDARD DRAWING NO. E-604-SW-02

DESIGNED BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 09/17/18



**INDIANA DEPARTMENT OF TRANSPORTATION**  
**CONCRETE SIDEWALK**  
 SEPTEMBER 2018  
 STANDARD DRAWING NO. E-604-SW-03

DESIGNED BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 09/17/18



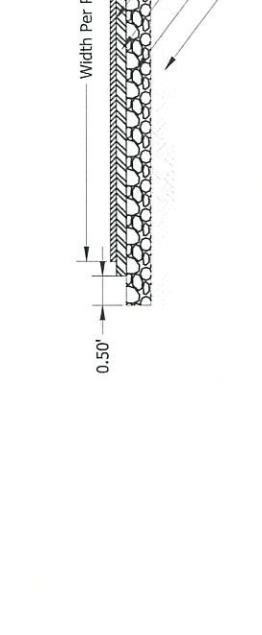
**INDIANA DEPARTMENT OF TRANSPORTATION**  
**BRICK DETECTABLE WARNING SURFACE WITH CONCRETE BORDER**  
 SEPTEMBER 2018  
 STANDARD DRAWING NO. E-604-SW-04

DESIGNED BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 09/17/18



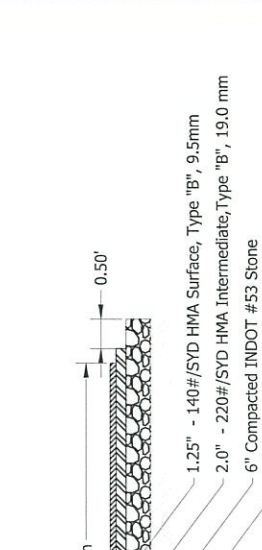
**INDIANA DEPARTMENT OF TRANSPORTATION**  
**ALTERNATE DETECTABLE WARNING SURFACE PLACEMENT**  
 SEPTEMBER 2018  
 STANDARD DRAWING NO. E-604-SW-05

DESIGNED BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 09/17/18



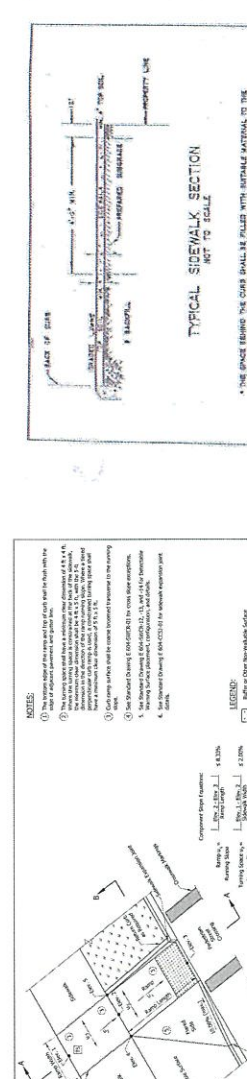
**INDIANA DEPARTMENT OF TRANSPORTATION**  
**TYPICAL RAMP AND BRICK SURFACE CONSTRUCTION DETAIL**  
 SEPTEMBER 2018  
 STANDARD DRAWING NO. E-604-SW-06

DESIGNED BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 09/17/18



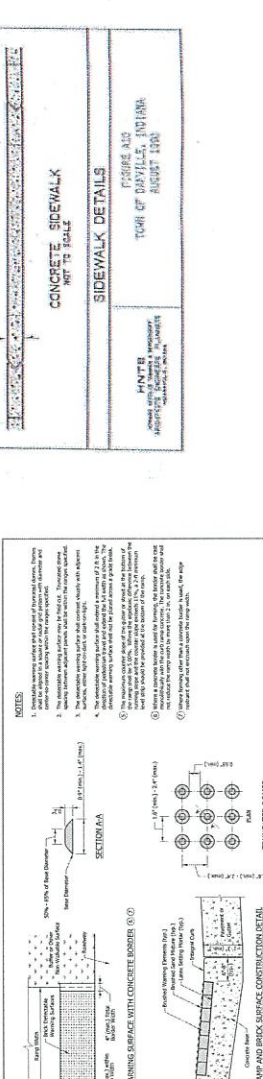
**INDIANA DEPARTMENT OF TRANSPORTATION**  
**ASPHALT TRAIL**  
 SEPTEMBER 2018  
 STANDARD DRAWING NO. E-604-SW-07

DESIGNED BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 09/17/18



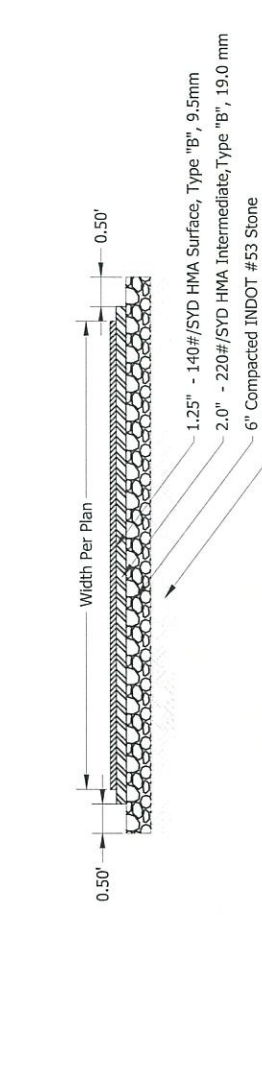
**INDIANA DEPARTMENT OF TRANSPORTATION**  
**TYPICAL SIDEWALK SECTION**  
 SEPTEMBER 2018  
 STANDARD DRAWING NO. E-604-SW-08

DESIGNED BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 09/17/18



**INDIANA DEPARTMENT OF TRANSPORTATION**  
**SIDEWALK DETAILS**  
 SEPTEMBER 2018  
 STANDARD DRAWING NO. E-604-SW-09

DESIGNED BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 09/17/18



**INDIANA DEPARTMENT OF TRANSPORTATION**  
**DETECTABLE WARNING SURFACE DETAIL**  
 SEPTEMBER 2018  
 STANDARD DRAWING NO. E-604-SW-10

DESIGNED BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 09/17/18

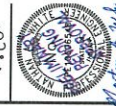
**Pyatt Builders, LLC**  
 630 1st Ave SW  
 Camer, IN 46020  
 (317) 714-3346  
 Owner Representative:  
 Paul Caine

**BENCHMARK CONSULTING, INC.**  
 69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
 (317) 852-5655  
 Project Manager: Nathan White  
 nwhite@benchmark.com

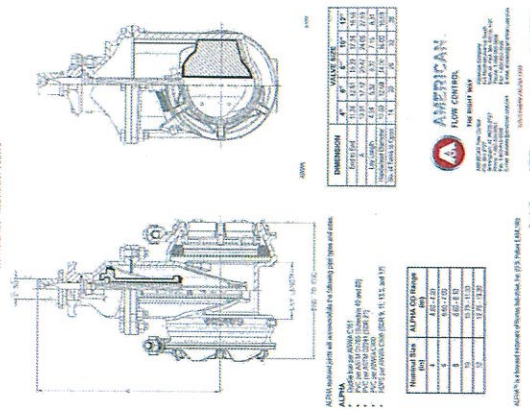
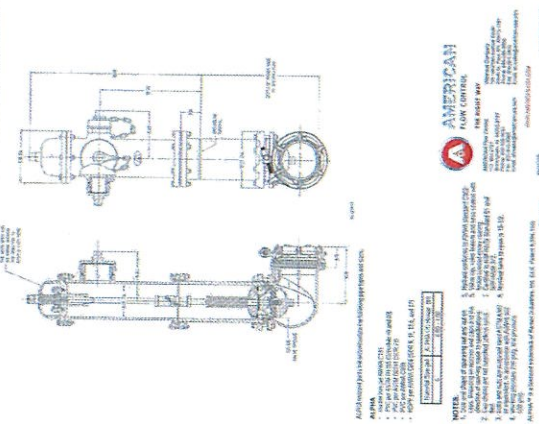


**The Bery Development Plan**  
 Davville, Indiana

**Asphalt Trail Section**  
 NTS

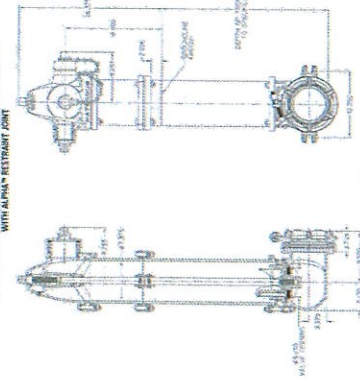


**AMERICAN Flow Control Submittal Information**  
 5 1/4" AMERICAN SERIES 4000'S RESTRAINT JOINT WITH ALPHA RESTRAINT JOINT

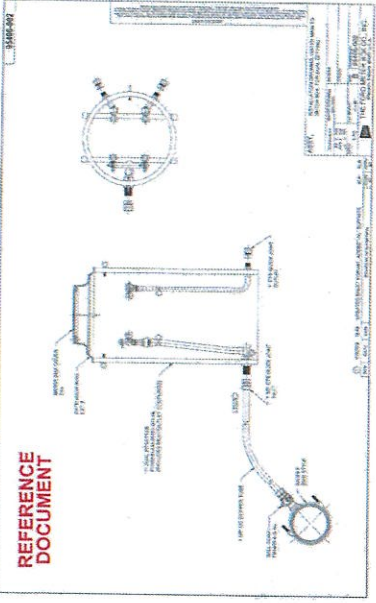
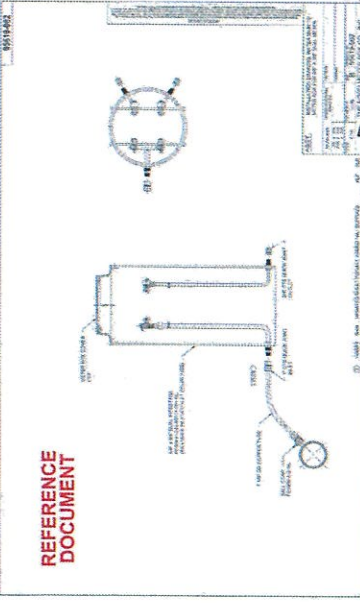


**AMERICAN Flow Control Submittal Information**  
 4" - 12" SERIES 2500'S RESTRAINT JOINT WITH ALPHA RESTRAINT JOINT

**AMERICAN Flow Control Submittal Information**  
 5 1/4" THROUGH 12" RESTRAINT JOINT WITH ALPHA RESTRAINT JOINT

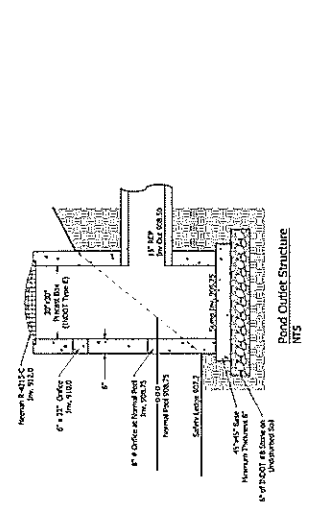
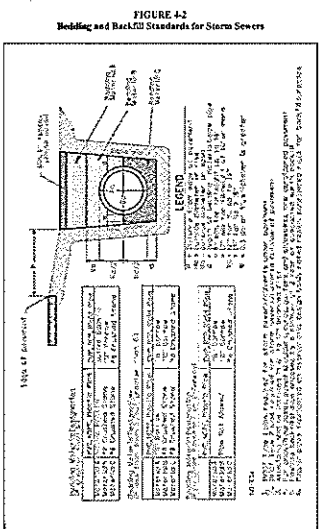
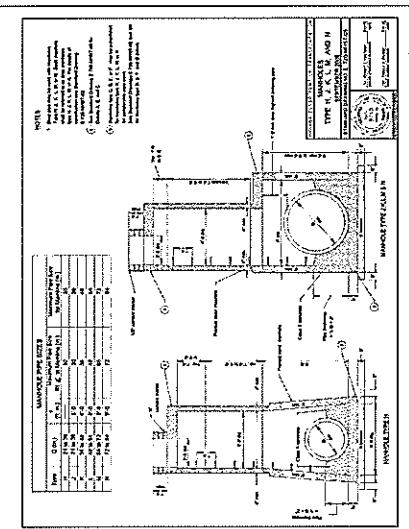


**AMERICAN Flow Control Submittal Information**  
 4" THROUGH 12" RESTRAINT JOINT WITH ALPHA RESTRAINT JOINT



CONNECTIONS												
NOM. PIPE SIZE	CLASSIC RESTRAINT				RESTRAINT ROOF TO RESTRAINT ROOF			RESTRAINT ROOF TO RESTRAINT ROOF TO RESTRAINT JOINT				
	A	B	C	J	A	B	C	J	A	B	C	J
4	4.850	4.850	4.850	4.850	4.850	4.850	4.850	4.850	4.850	4.850	4.850	4.850
6	6.850	6.850	6.850	6.850	6.850	6.850	6.850	6.850	6.850	6.850	6.850	6.850
8	8.850	8.850	8.850	8.850	8.850	8.850	8.850	8.850	8.850	8.850	8.850	8.850
10	10.850	10.850	10.850	10.850	10.850	10.850	10.850	10.850	10.850	10.850	10.850	10.850
12	12.850	12.850	12.850	12.850	12.850	12.850	12.850	12.850	12.850	12.850	12.850	12.850

**NOTE:** DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SPECIFIED.  
 ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE SPECIFIED.  
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 RESTRAINT JOINT TO RESTRAINT JOINT DIMENSIONS ARE TO THE CENTER OF THE RESTRAINT JOINT.

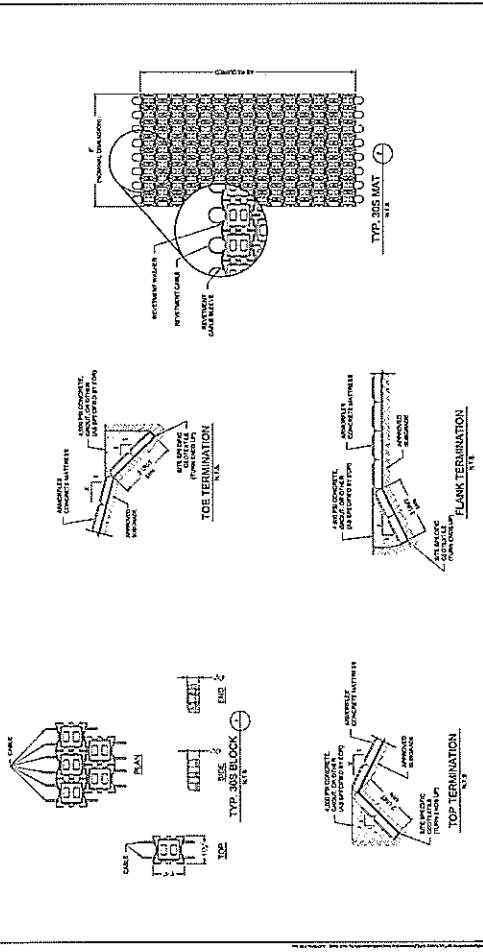


**CONTECH**  
ARMORFLEX  
CLASS 30 SMALL  
STANDARD TERMINATION DETAILS

PROJECT NO. 21003  
SHEET NO. 12  
DATE 05/11/11  
SCALE 1/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
1	05/11/11	ISSUED FOR PERMIT



**STRUCTURE DETAILS**

FIGURE 16  
1/4" OF DARRVILLE, INDIANA  
ASBEST 1999

FIGURE 15  
1/4" OF DARRVILLE, INDIANA  
ASBEST 1999

FIGURE 14  
1/4" OF DARRVILLE, INDIANA  
ASBEST 1999

FIGURE 13  
1/4" OF DARRVILLE, INDIANA  
ASBEST 1999

FIGURE 12  
1/4" OF DARRVILLE, INDIANA  
ASBEST 1999

FIGURE 11  
1/4" OF DARRVILLE, INDIANA  
ASBEST 1999

FIGURE 10  
1/4" OF DARRVILLE, INDIANA  
ASBEST 1999

FIGURE 9  
1/4" OF DARRVILLE, INDIANA  
ASBEST 1999

FIGURE 8  
1/4" OF DARRVILLE, INDIANA  
ASBEST 1999

FIGURE 7  
1/4" OF DARRVILLE, INDIANA  
ASBEST 1999

FIGURE 6  
1/4" OF DARRVILLE, INDIANA  
ASBEST 1999

FIGURE 5  
1/4" OF DARRVILLE, INDIANA  
ASBEST 1999

FIGURE 4  
1/4" OF DARRVILLE, INDIANA  
ASBEST 1999

FIGURE 3  
1/4" OF DARRVILLE, INDIANA  
ASBEST 1999

FIGURE 2  
1/4" OF DARRVILLE, INDIANA  
ASBEST 1999

FIGURE 1  
1/4" OF DARRVILLE, INDIANA  
ASBEST 1999



INDIANA DEPARTMENT OF TRANSPORTATION  
SEPTEMBER 2008  
STANDARD DRAWING NO. E-710-11510-D  
INLET TYPE B AND C

SECTION B  
SECTION C

INDIANA DEPARTMENT OF TRANSPORTATION  
SEPTEMBER 2008  
STANDARD DRAWING NO. E-710-11510-B  
INLET TYPE J

CONCRETE  
BRICK OR BLOCK

INLET TYPE A  
NO SCALE

SECTION A

TRACK CURB  
NO SCALE

REINFORCING BARS AND  
WELDED WIRE FABRIC  
NO SCALE

STANDARD STORM MANHOLE  
NO SCALE

BRICK CONCRETE AND SECTION  
NO SCALE

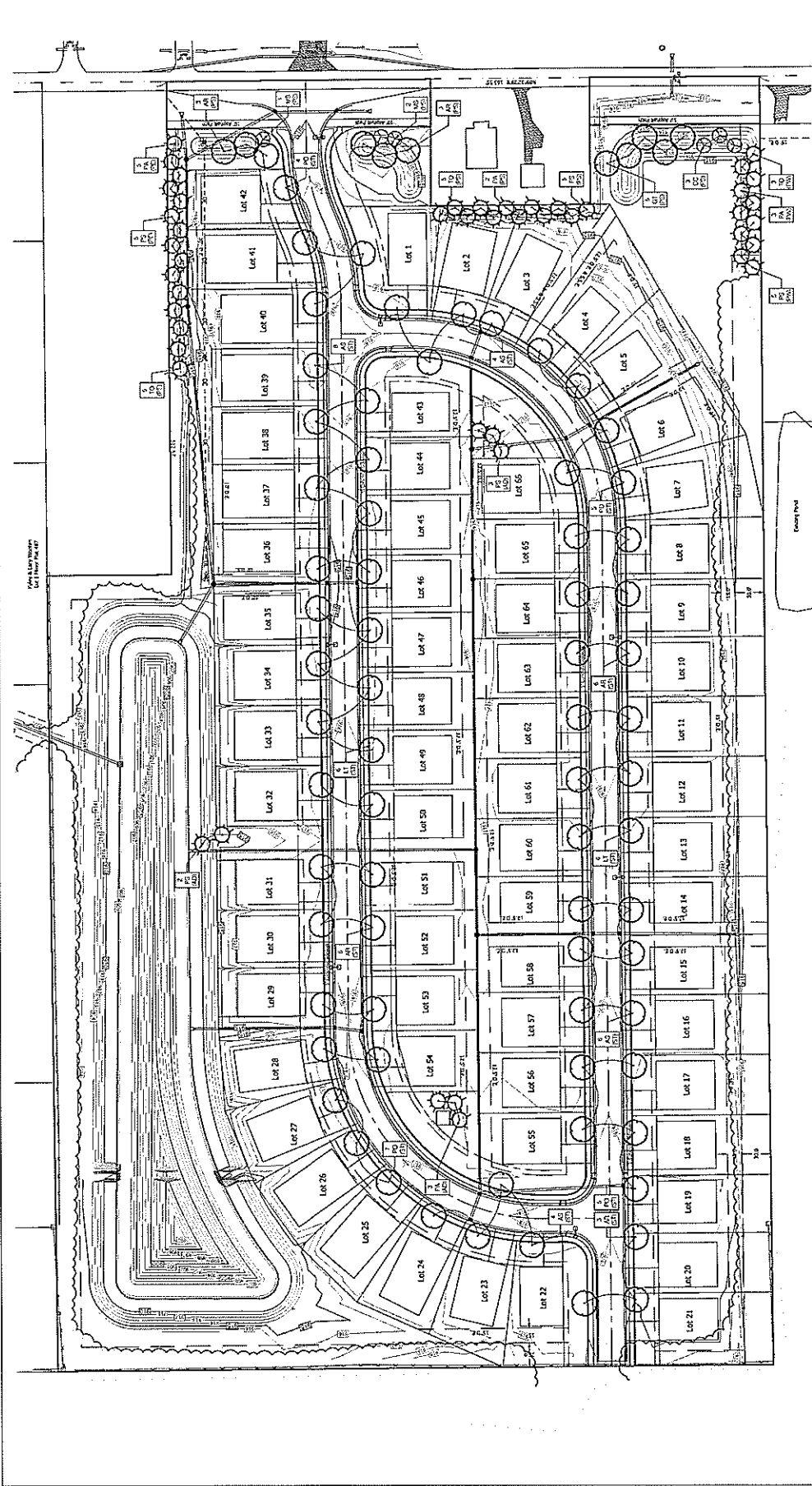
REINFORCING BARS AND  
WELDED WIRE FABRIC  
NO SCALE

REINFORCING BARS AND  
WELDED WIRE FABRIC  
NO SCALE

REINFORCING BARS AND  
WELDED WIRE FABRIC  
NO SCALE

REINFORCING BARS AND  
WELDED WIRE FABRIC  
NO SCALE

REINFORCING BARS AND  
WELDED WIRE FABRIC  
NO SCALE



**01 SITE LANDSCAPE PLAN**  
 U.S. 1"=50'-0"

PLAN SYMBOL	DESCRIPTION
1	Asst. to Project Manager
2	Site Supervisor
3	Site Supervisor
4	Site Supervisor
5	Site Supervisor
6	Site Supervisor
7	Site Supervisor
8	Site Supervisor
9	Site Supervisor
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43	Site Supervisor
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45	Site Supervisor
46	Site Supervisor
47	Site Supervisor
48	Site Supervisor
49	Site Supervisor
50	Site Supervisor

**811**  
 Know what's below.  
 Call before you dig.

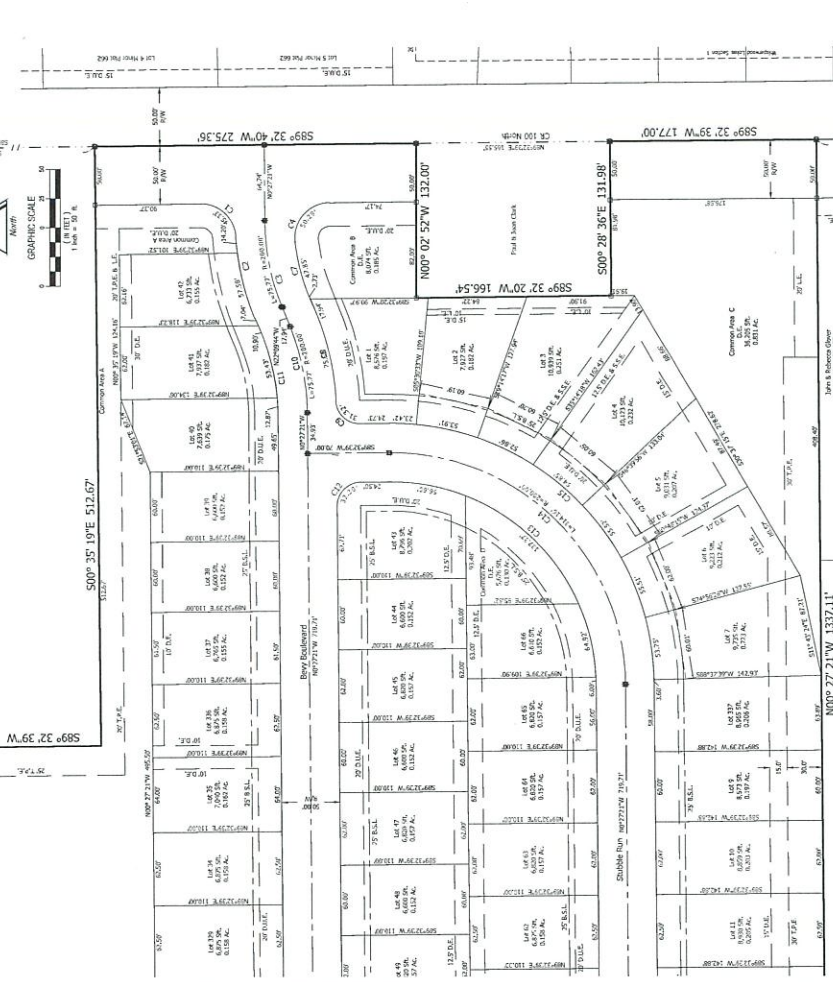
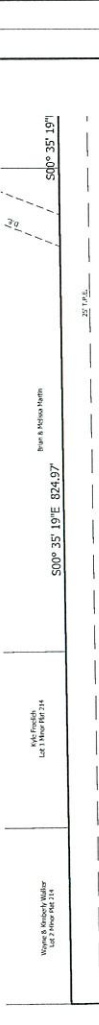




# The Bevy Secondary Plat

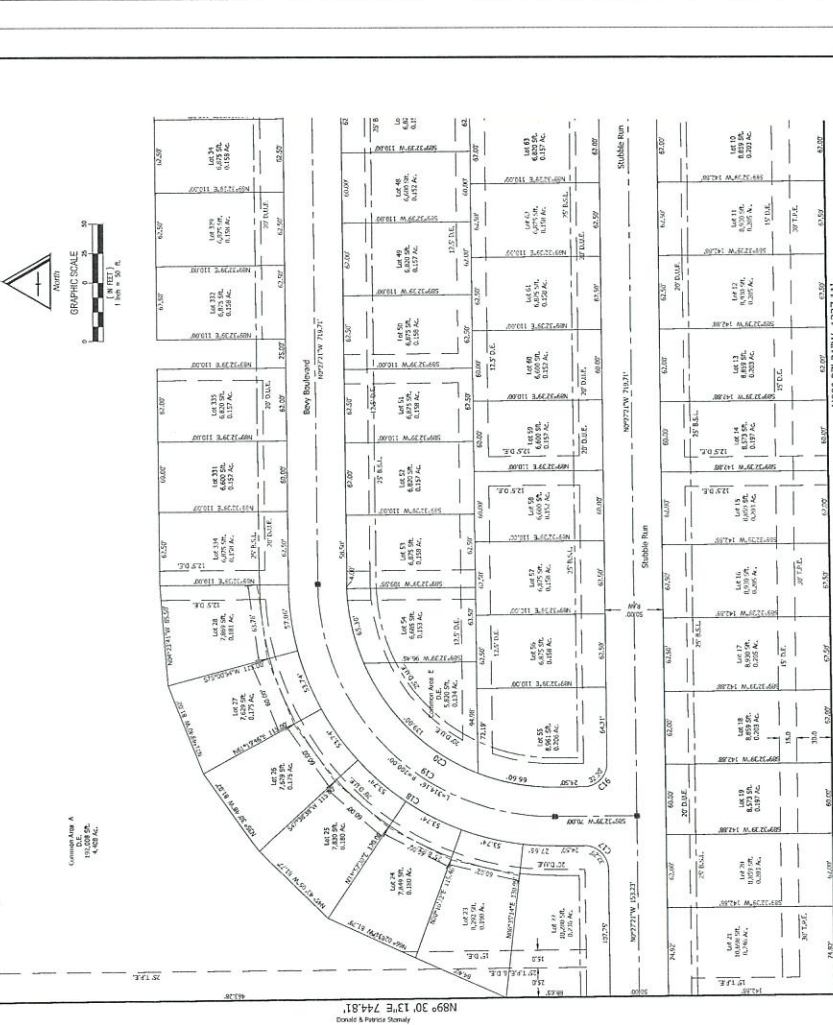
Section 35 - Township 16 North - Range 1 West  
Town of Danville, Center Township, Hendricks County, Indiana

Surveyed by: **Benjamin A. Johnson**  
Registered Land Surveyor  
Indiana No. 900213



Witness my signature this 11th day of **SEPT**, 2022.

**Benjamin A. Johnson**  
Registered Land Surveyor  
Indiana No. 900213



Witness my signature this 11th day of **SEPT**, 2022.

**Benjamin A. Johnson**  
Registered Land Surveyor  
Indiana No. 900213

**Benjamin A. Johnson**  
Registered Land Surveyor  
Indiana No. 900213

**CENTRAL STATES CONSULTING, LLC**  
13 WEST PALM STREET, P.O. BOX 4  
DANVILLE, INDIANA 46122  
PHONE: 317-825-5995 FAX: 317-825-8672

**BENCHMARK CONSULTING, INC.**  
69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
BCI # 21009 CSC # 20-135  
SHEET 2 OF 4

**Benjamin A. Johnson**  
Registered Land Surveyor  
Indiana No. 900213

**Benjamin A. Johnson**  
Registered Land Surveyor  
Indiana No. 900213

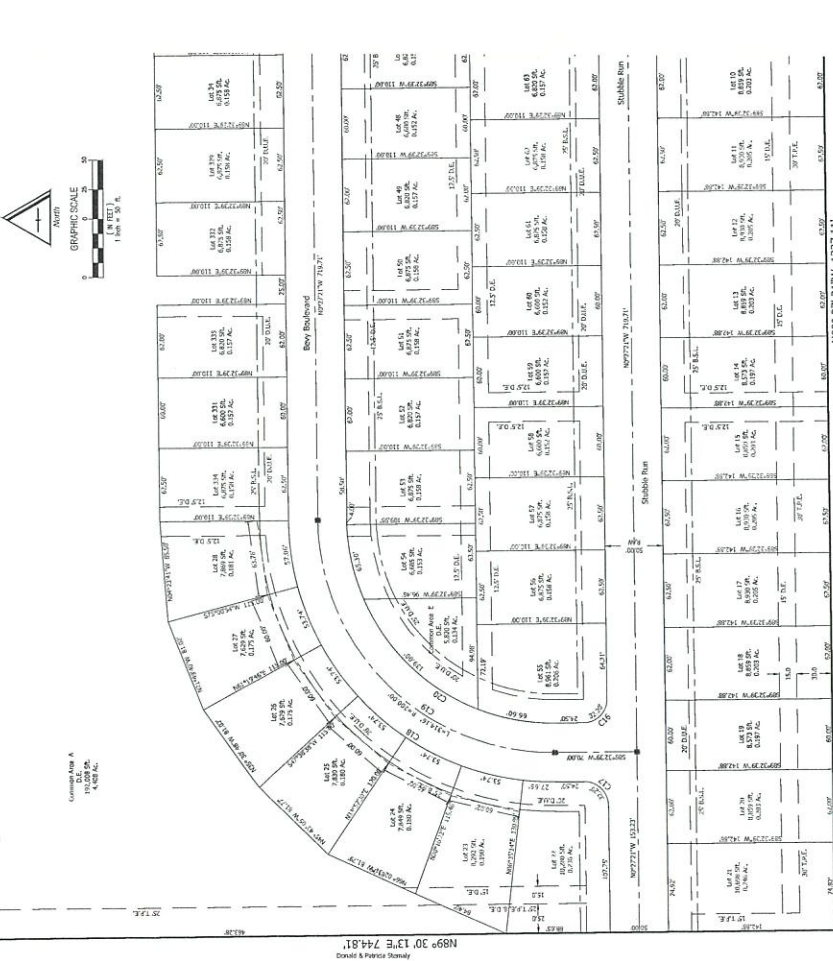
**CENTRAL STATES CONSULTING, LLC**  
13 WEST PALM STREET, P.O. BOX 4  
DANVILLE, INDIANA 46122  
PHONE: 317-825-5995 FAX: 317-825-8672

**BENCHMARK CONSULTING, INC.**  
69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
BCI # 21009 CSC # 20-135  
SHEET 2 OF 4

# The Bevy Secondary Plat

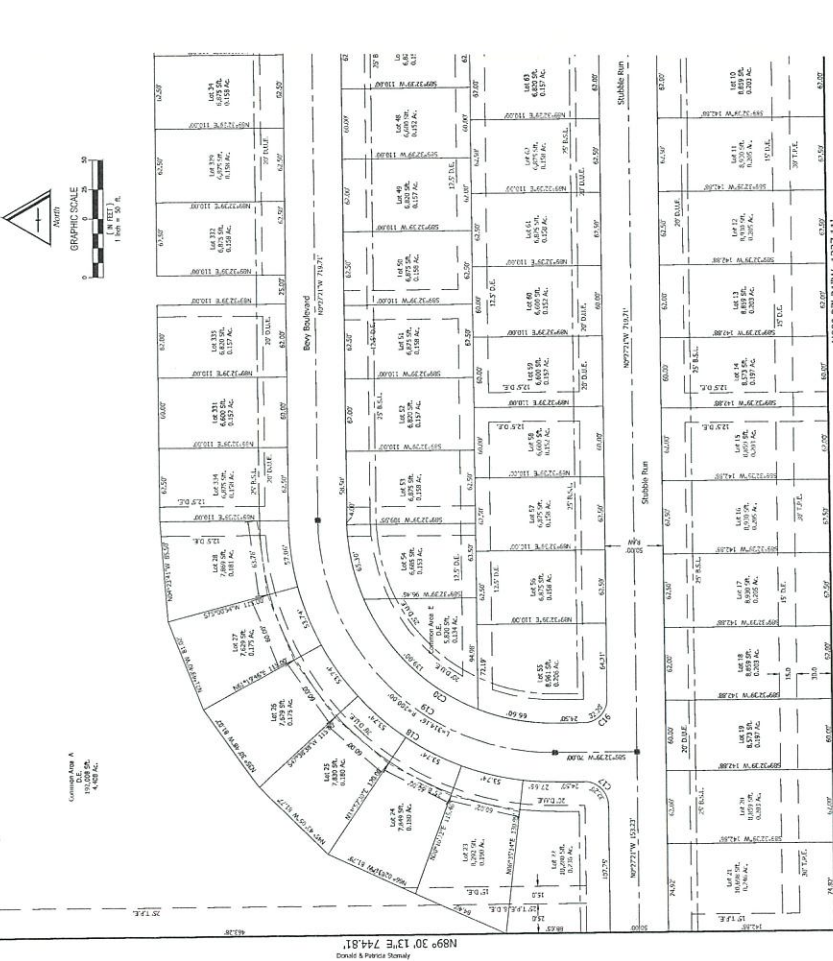
Section 35 - Township 16 North - Range 1 West  
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**BENCHMARK CONSULTING, INC.**  
69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
BCI # 21009 CSC # 20-135  
SHEET 2 OF 4





# CASE SUMMARY

## *Final Plat Approval*

**Case:** #2021-2079  
Pyatt Builders, LLC, petitioner  
Nathan White, Benchmark Consulting, Inc.

**Request:** Final plat approval for a 66 lot Residential PUD (The Bevy)

**Location:** North side of 10<sup>th</sup> Street – approximately 500 feet west of County Road 200 East

**Acreage:** 20.88 acres

**Zoning:** PUD

### **Preliminary Plat Request:**

The petitioner is requesting final plat approval for “The Bevy” subdivision. This subdivision received preliminary plat approval on June 14. The petitioner is also requesting a waiver of the Stormwater Technical Standards Section 6.D, to allow a maximum 3:1 slope on all pond banks, a six (6) foot safety ledge, and to eliminate the maintenance ledge and fence requirement. The petitioner has stated the 3:1 slope is very typical in most towns/cities. Further, the petitioner is requesting the safety ledge be reduced from ten (10) to six (6) feet in width. There is a fence and heavy tree line on the east and north property lines around the proposed pond and the petitioner believes this will discourage access to it.

Staff recommends approval of the final plat request based on the following:

1. Compliance with the PUD ordinance that was approved.
2. Petitioner’s response to comments made by the Technical Advisory Committee on September 23, and October 21, 2021.
3. Placement of water valves along 10<sup>th</sup> street will be determined prior to the pre-construction meeting with the Water Department.
4. Approval letter from the town’s engineer, Joe Miller, Banning Engineering.
5. An Operations and Maintenance Manual (O&M) has not been submitted. Any necessary changes required must be completed prior to the pre-construction meeting with the Stormwater Administrator.

Further, staff recommends approval of the Stormwater Technical Standards waiver but is not in favor of wetland plantings in the proposed pond (Common Area A).

**Plan Commission Action:**  
*Approve Final Plat Request*  
*Approve Final Plat Request with Conditions*  
*Deny Final Plat Request*



## Stormwater Technical Standards Variance Request

Project: THE BEVY  
Address: 1928 E. 10th Street  
Request: A variance from Section 6.D of the Stormwater Technical Standards to be allowed to:  
Provide maximum of 3:1 slope on all pond banks, 6' Safety ledge,  
no Maintenance ledge or fence

### Findings of Fact

1. The granting of the variance ( will / will not ) be detrimental to the public safety, health or welfare, or injurious to other nearby property;
2. The conditions upon which the request for a variance is based ( are / are not ) unique to the property for which the variance is sought and ( are / are not ) applicable generally to other property;
3. Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship to the owner ( would / would not ) result, as distinguished from a mere inconvenience, if the strict letter of these regulations are carried out;
4. The variance ( will / will not ) in any manner contravene the provisions of the Zoning Ordinance, Comprehensive Plan, or Official Map as interpreted by the Commission and the Town Manager;
5. Where the variance impacts on the decision and construction of public facilities, all appropriate public agencies have been given ample time to comment in writing to the Commission.

Approved / Denied \_\_\_\_\_ , 20\_\_

DANVILLE PLAN COMMISSION

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# CASE SUMMARY

## *Site Plan Review*

**Case:** #2021-2084  
Jerry Kittle, on behalf of Faith Baptist Church, petitioner

**Request:** Site Plan Approval, Parking Lot Expansion

**Location:** 3860 East Main Street

**Acreage:** 24.8 acres

**Zoning:** Planned Unit Development (PUD)

### **Staff Summary:**

#### **Zoning:**

- This is a request to expand the existing parking lot in front of the building and at the rear of the building along the western property line. This is the second phase of a long-term phased project.
- This property is not located in the overlay district and therefore is not subject to design review.

#### **Utilities:**

- Water is existing and provided by the Town.
- Sanitary sewer is existing and is provided by West Central Conservancy District.

#### **Public Streets/Public ROW:**

- No new public streets will be constructed as a result of this project.

#### **Stormwater/Drainage:**

- The Town's engineer has reviewed the drainage plans and provided comments in a letter dated October 21, 2021. The plans have been revised addressing those comments and are included in the packet.

#### **Off-street Parking:**

- The number of off-street parking spaces meets the minimum number of required spaces specified in the zoning ordinance.

#### **Landscaping/Screening:**

- Staff would like to see perimeter screening along the expanded parking lot along Main Street. Those plant materials shall form an effective screen year-round.

#### **Lighting:**

- The lighting plan submitted does not include specification sheets of the type of light fixtures being used and must be submitted prior to placement of the lights. In addition, those fixtures shall be full cutoff.



**Pedestrian Circulation:**

- Pedestrian circulation between parking areas and buildings has been established.

**Signage:**

- There is no signage proposed as part of this site plan.

Staff recommends approval of the site plan subject to the comments listed above.

**Plan Commission Action on Site Plan:**

*Approve Site Plan*

*Deny Site Plan*

*Approve Site Plan with conditions*







**C101b**

DATE: 09/16/21  
 DRAWN BY: JMO  
 CHECKED BY: JMO  
 PROJECT NUMBER: 21125

**PRELIMINARY  
 PENDING  
 AGENCY  
 APPROVAL**

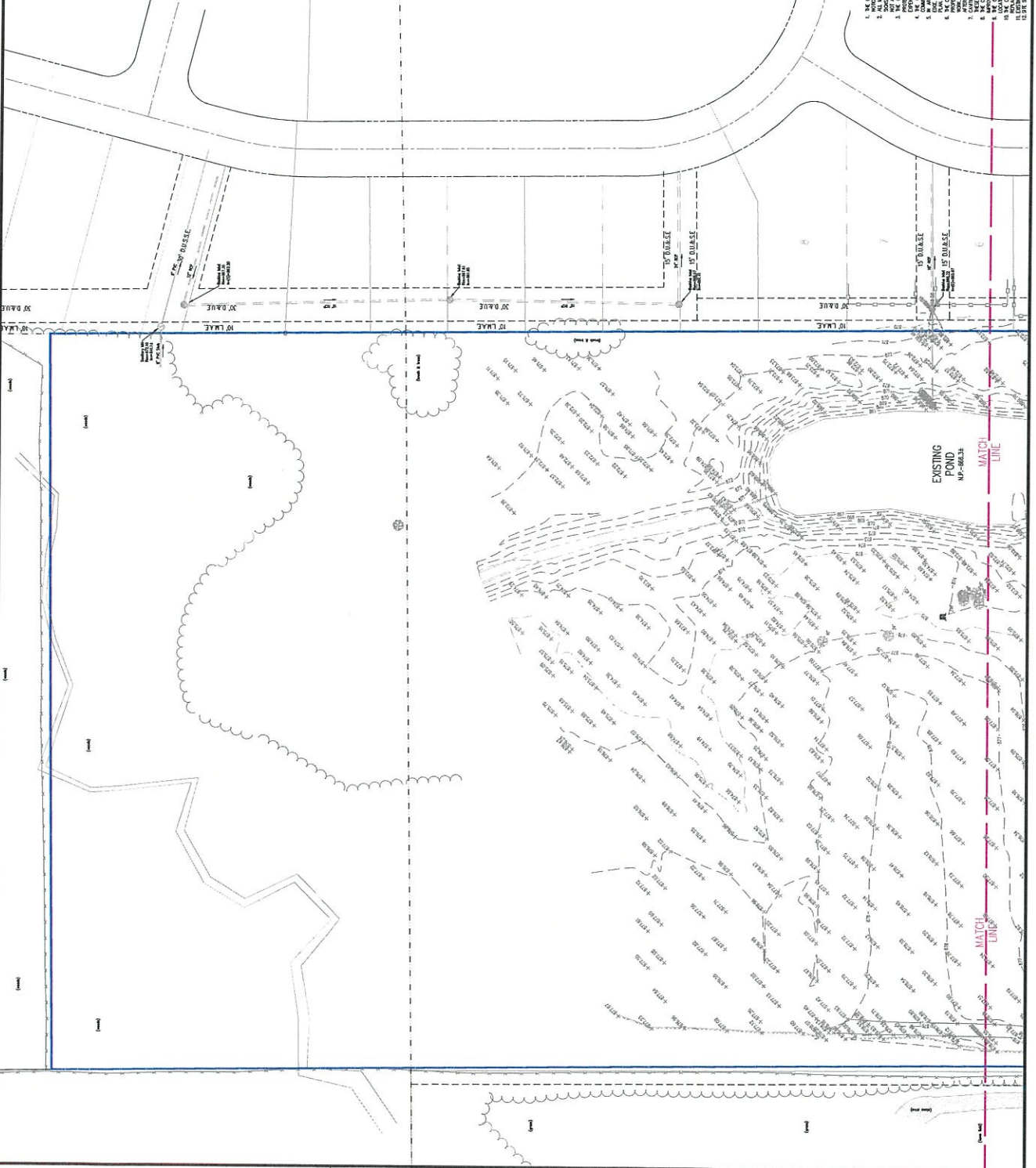
EXISTING CONDITIONS  
 Davison, Indiana  
**Faith Baptist Church**

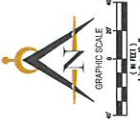
3869 E. Main Street  
 Davison, IN 46122  
 317-272-4632  
**Faith Baptist Church**

**Innovative**  
 ENGINEERING & CONSULTING  
 3981 Frye Boulevard  
 Indianapolis, IN 46275  
 PH: 317-909-2918  
 WWW.INNOVATIVEEC.COM

SYMBOL	DESCRIPTION
○	SDA / TWO POST SIGN
○	WATER VALVE
○	FIRE HYDRANT
○	WATER METER
○	GAS VALVE
○	CLEAN-OUT
○	ELECTRIC METER BOX
○	ELECTRIC TRANSFORMER
○	ELECTRIC PEDestal
○	AIR CONDENSER UNIT
○	LIGHT POLE BOARD
○	FLAT GRAVE INLET
○	TELEPHONE PEDestal
○	COMMUNION POLE
○	LIGHT POLE SQUARE
○	CONTEMPORARY TREE & SIZE
○	DECIDUOUS TREE & SIZE
○	BUSH
○	DRAINAGE MANHOLE
○	CONCRETE MANHOLE
○	GROUND ANCHOR LIGHT
○	DAY WIRE
○	UNDO. WATER LINE
○	UNDO. GAS LINE
○	UNDO. ELECTRICAL LINE
○	OVERHEAD ELEC. TEL. & CAT
○	OVERHEAD ELECTRIC
○	REINFORCED CONCRETE PIPE
○	POLYETHYLENE GLASS FIBER PIPE
○	LANDSCAPE MAINTENANCE ACCESS PLACEMENT
○	REMOVE ALL "UNUSUAL" ITEMS

**VERTICAL DATUM:**  
 1. THE ELEVATION SHALL BE TO THE LOCAL, STATE, AND FEDERAL CORNER, OR ALL POINTS, AND ONE (1) FOOT ABOVE THE BENCHMARK, AS SHOWN ON THE RECORD DRAWING.  
 2. ALL ELEVATIONS SHALL BE TO THE CENTER OF THE BENCHMARK, UNLESS OTHERWISE SPECIFIED.  
 3. THE BENCHMARK SHALL BE PROPERLY IDENTIFIED BY THE CONTRACTOR, INCLUDING THE DATE, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE BENCHMARK THROUGHOUT THE PROJECT.  
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.  
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 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.





**GENERAL NOTES**

1. IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO VERIFY THE ACCURACY OF ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES PRIOR TO START OF WORK.
2. IF ANY UTILITIES, MANHOLES OR STRUCTURES ARE FOUND ON THESE PLANS WHICH DO NOT CORRESPOND TO THE INFORMATION PROVIDED HEREON, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY THE OWNER AND ENGINEER BEFORE WORK IS STARTED OR RESUMED.
3. VERIFY ALL LOCATIONS AND DIMENSIONS WITH LOCAL GOVERNING AGENCIES PRIOR TO START OF WORK.
4. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND ORDINANCES.
5. VERIFY ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND ORDINANCES PRIOR TO START OF WORK.
6. SEE ARCHITECTURAL PLANS FOR BUILDING FOOTINGS.
7. SEE ARCHITECTURAL PLAN FOR LIGHT FIXTURES AND TIME.
8. SEE SPECIFICATIONS 1-11-1-100.
9. TRAFFIC SIGNALS PROVIDED BY TRAFFIC ENGINEERING INC. ON 10/17/2018.

- LEGEND**
- ① 2' Concrete Checkback Curb & Gutter
  - ② 2' Concrete Checkback Curb w/out Gutter
  - ③ Existing Concrete Checkback Curb
  - ④ Standard Duty Asphalt Pavement Section
  - ⑤ Landscape Area
  - ⑥ Precast Concrete Wheel Stop
  - ⑦ Paint Stripping (w/ white paint)
  - ⑧ Light Pole

**SEATING SUMMARY**

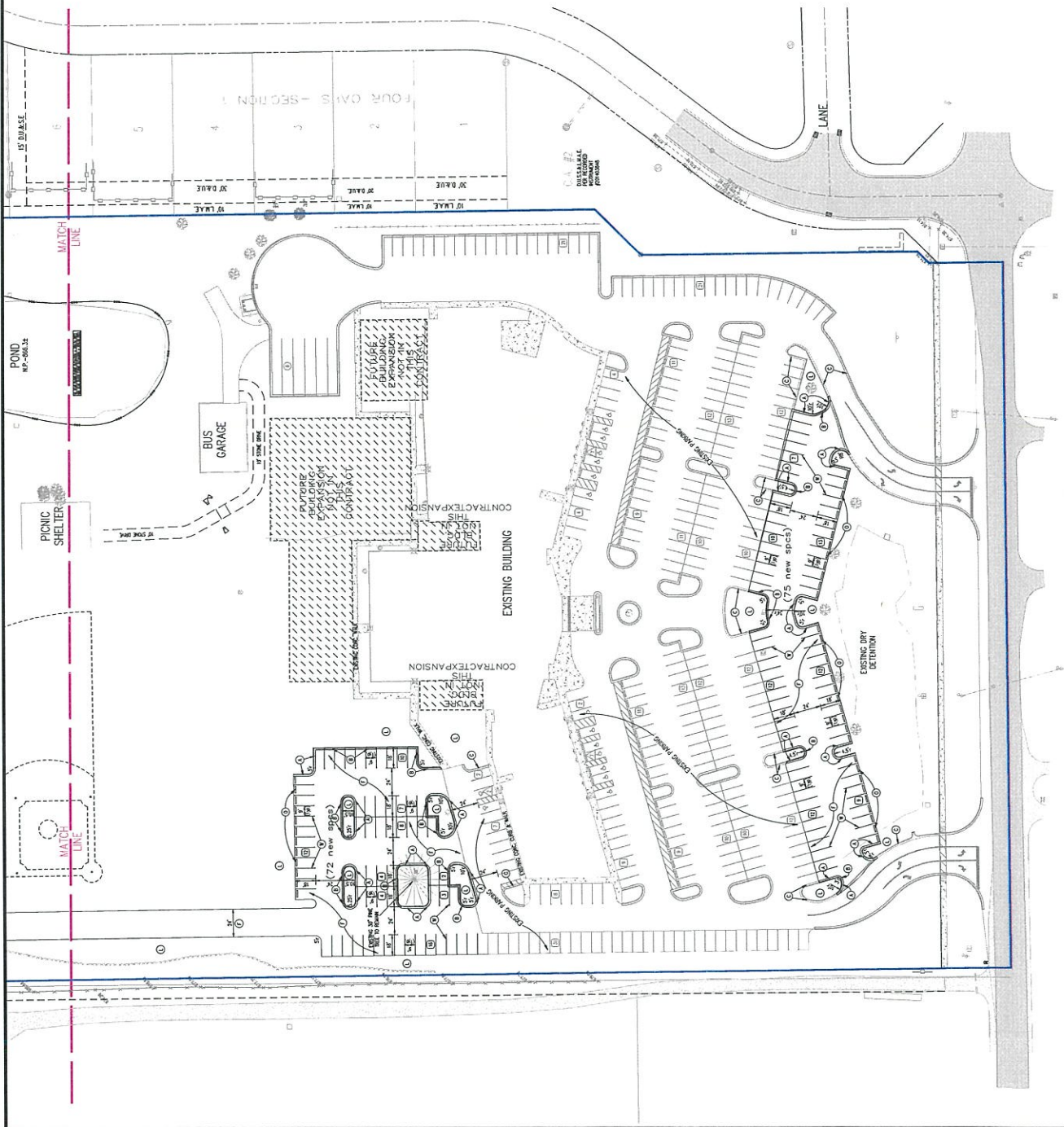
REQUIRED: 11 SPACES/75 SANCTUARY SEATS

PHASE 1:	750 SEATS (254 SPACES)
PHASE 2:	1,125 SEATS (375 SPACES)
<b>TOTAL:</b>	<b>1,875 SEATS (629 SPACES)</b>

PROVIDED PARKING:

EXISTING:	400 SPACES
REQUIRED:	400 SPACES
<b>TOTAL:</b>	<b>400 SPACES</b>



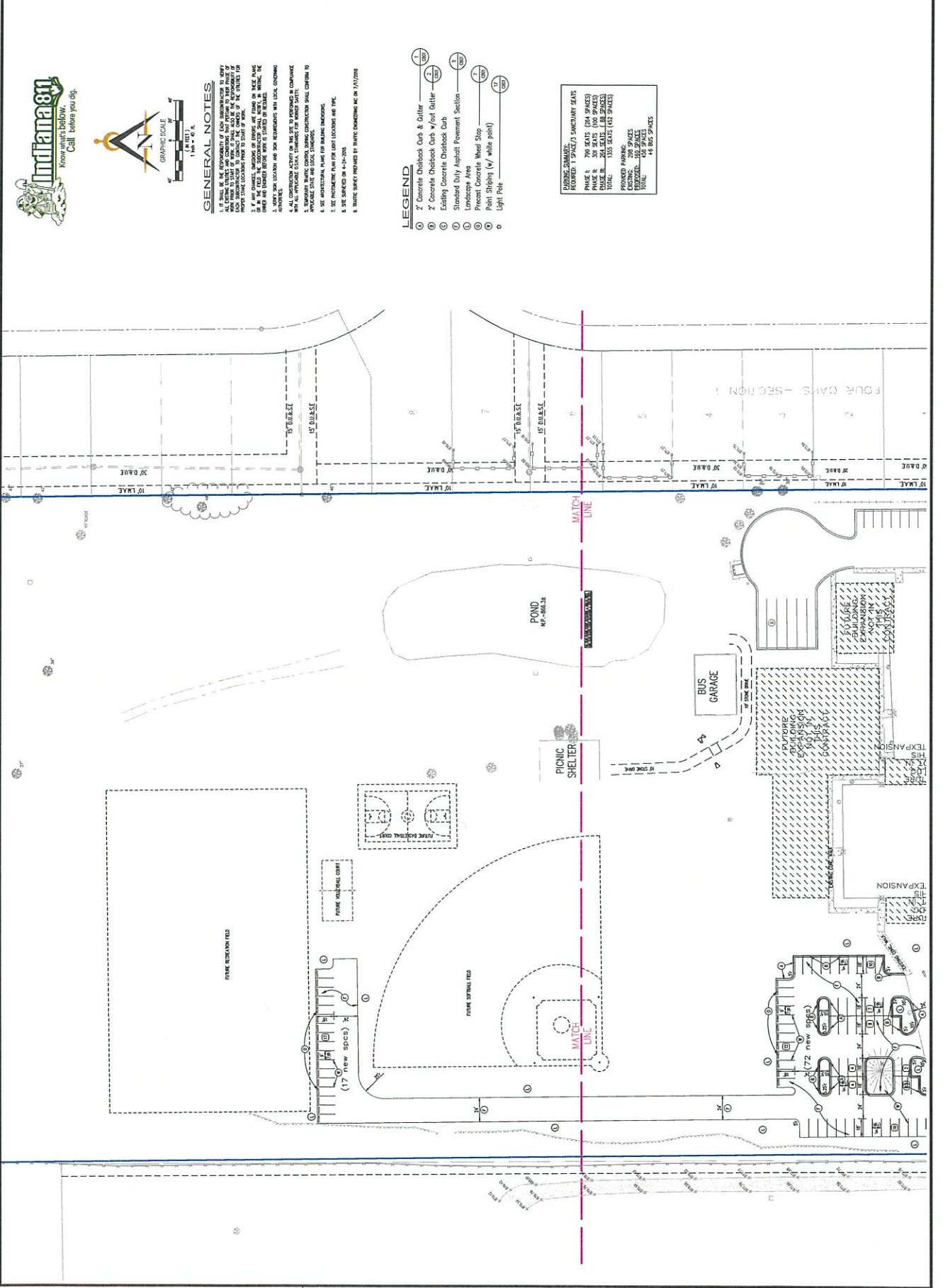
**Faith Baptist Church**  
3560 E. North Street  
Dunbar, IN 46122  
317-277-4632

**Faith Baptist Church**  
Dunbar, Indiana  
SITE PLAN

**PRELIMINARY  
AGENCY  
APPROVAL**

DATE: 10/17/2018  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1" = 40'  
SHEET: 21125  
PROJECT: C102a





- FINISH GRANITE**  
 REQUIRED: 1 SPACED SANCTUARY SEAT
- PHASE 1:** 700 SEATS (200 SPACES)  
**PHASE 2:** 300 SEATS (100 SPACES)  
**PHASE 3:** 200 SEATS (100 SPACES)  
**PHASE 4:** 200 SEATS (100 SPACES)  
**PHASE 5:** 200 SEATS (100 SPACES)  
**PHASE 6:** 200 SEATS (100 SPACES)  
**PHASE 7:** 200 SEATS (100 SPACES)  
**PHASE 8:** 200 SEATS (100 SPACES)  
**PHASE 9:** 200 SEATS (100 SPACES)  
**PHASE 10:** 200 SEATS (100 SPACES)

- LEGEND**
- ① 2 Concrete Cheekbook Curb & Gutter
  - ② 2 Concrete Cheekbook Curb w/out Gutter
  - ③ Existing Concrete Cheekbook Curb
  - ④ Standard Daily Asphalt Pavement Section
  - ⑤ Landscape Area
  - ⑥ Precast Concrete Wheel Stop
  - ⑦ Point Striping (w/ white paint)
  - ⑧ Light Pole

- GENERAL NOTES**
1. IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO NOTIFY THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENTS AND TO CORRECT SUCH DISCREPANCIES OR OMISSIONS AT HIS OWN EXPENSE BEFORE PROCEEDING WITH ANY WORK.
  2. THE ARCHITECT HAS REVIEWED THE CONTRACT DOCUMENTS AND HAS FOUND NO MATERIAL ERRORS OR OMISSIONS. HOWEVER, THE CONTRACT DOCUMENTS ARE TO BE USED AS A GUIDE ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS AND DATA SHOWN ON THESE PLANS.
  3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES BEFORE COMMENCING WORK.
  4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE, INTERNATIONAL MECHANICAL CODE, INTERNATIONAL PLUMBING CODE, INTERNATIONAL FIRE CODE, AND ALL APPLICABLE LOCAL ORDINANCES.
  5. SEE ARCHITECTURAL PLANS FOR BUILDING FOOTPRINTS.
  6. SEE ARCHITECTURAL PLANS FOR LIGHT FIXTURES AND PILING.
  7. SEE ARCHITECTURAL PLANS FOR LIGHT FIXTURES AND PILING.
  8. TRAFFIC SIGNALS PROVIDED BY TRAFFIC ENGINEERING INC. ON 7/17/2021.

**Indianan**  
 Know what's below.  
 Call before you dig.

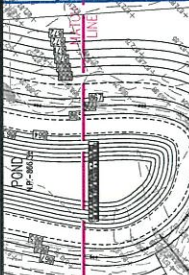
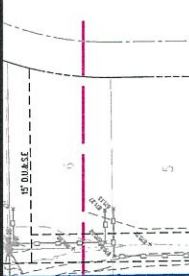
GRAPHIC SCALE  
 1" = 10' 0"  
 1" = 20' 0"

Faith Baptist Church  
 3800 E. Main Street  
 Denville, IN 46122  
 317-272-6322

INNOVATIVE  
 ENGINEERING & CONSULTING  
 1261 Perry Boulevard  
 Westport, IN 46785  
 www.innovative.com

PRELIMINARY  
 PENDING  
 AGENCY  
 APPROVAL

DATE	2/11/15
DRAWN BY	W.C. S. JR.
CHECKED BY	W.C. S. JR.
TITLE	21125
PROJECT	C103a



- GENERAL NOTES**
- IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO VERIFY ALL EXISTING CONDUITS, UTILITIES, AND STRUCTURES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES PRIOR TO THE START OF WORK.
  - THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES PRIOR TO THE START OF WORK.
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**LEGEND**

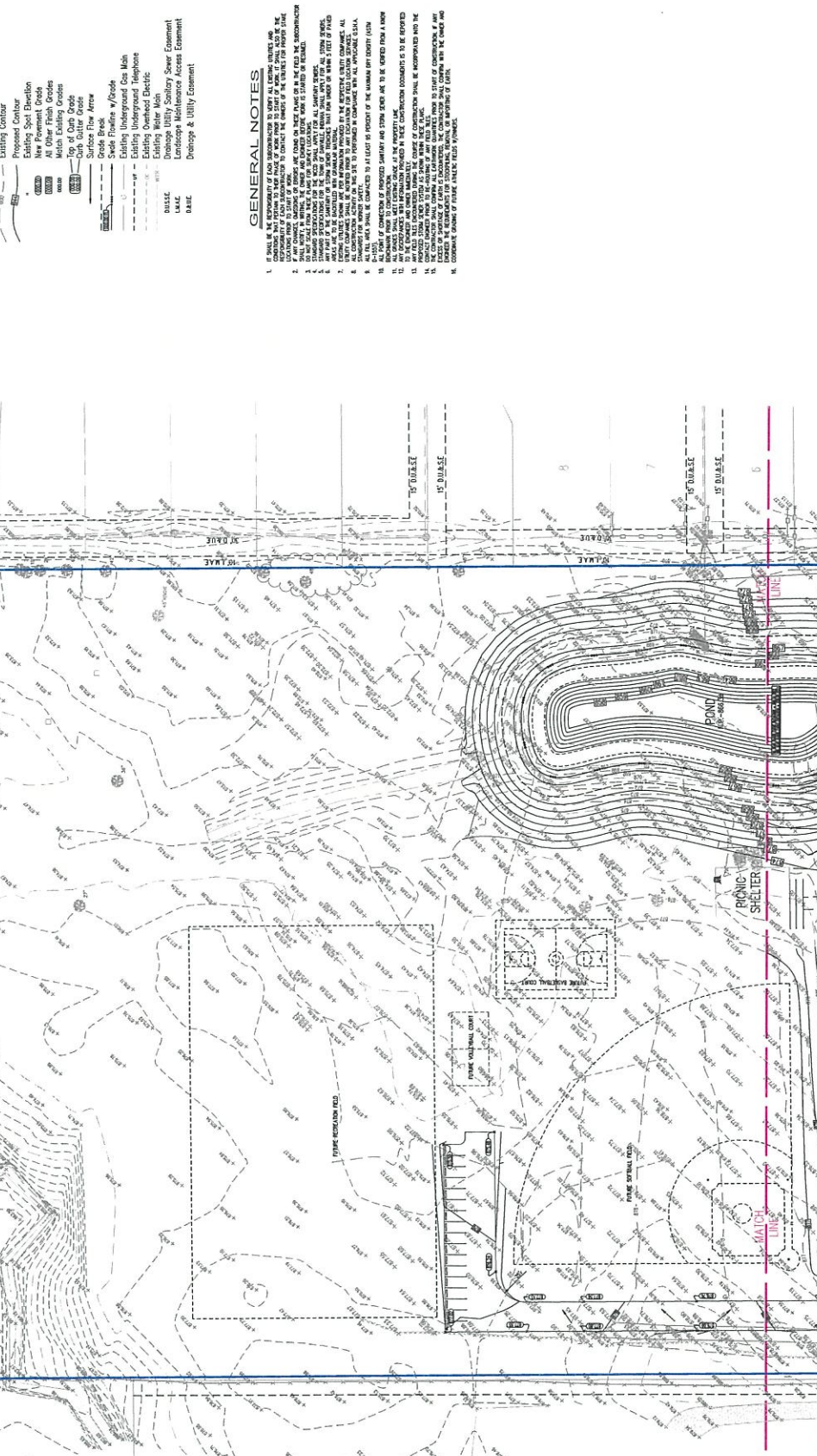
- Existing Utility Center
- Existing Sanitary Sewer
- Existing Contour
- Proposed Contour
- Existing Spot Elevation
- New Pavement Grade
- Existing Pavement Grade
- Match Existing Grades
- Top of Outlet Grade
- Top of Gutter Grade
- Surface Flow Arrows
- Grade Flatline w/Grade
- Existing Underground Gas Main
- Existing Underground Telephone
- Existing Overhead Electric
- Drainage Utility Sanitary Sewer Easement
- Landscape Maintenance Access Easement
- Driveway & Utility Easement

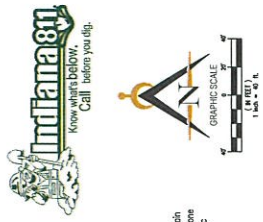
**BASELINE**

- LAKE
- BASE

**GENERAL NOTES**

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ILLINOIS CONSTRUCTION CODES AND ALL APPLICABLE LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.
3. ALL UTILITIES SHALL BE LOCATED AND DEPTH VERIFIED PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. ALL EXISTING UTILITIES SHALL BE PROTECTED AND NOT REMOVED UNLESS SPECIFICALLY NOTED OTHERWISE.
6. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES.
7. ALL CONSTRUCTION SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
8. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE THROUGHOUT CONSTRUCTION.
9. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
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17. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.





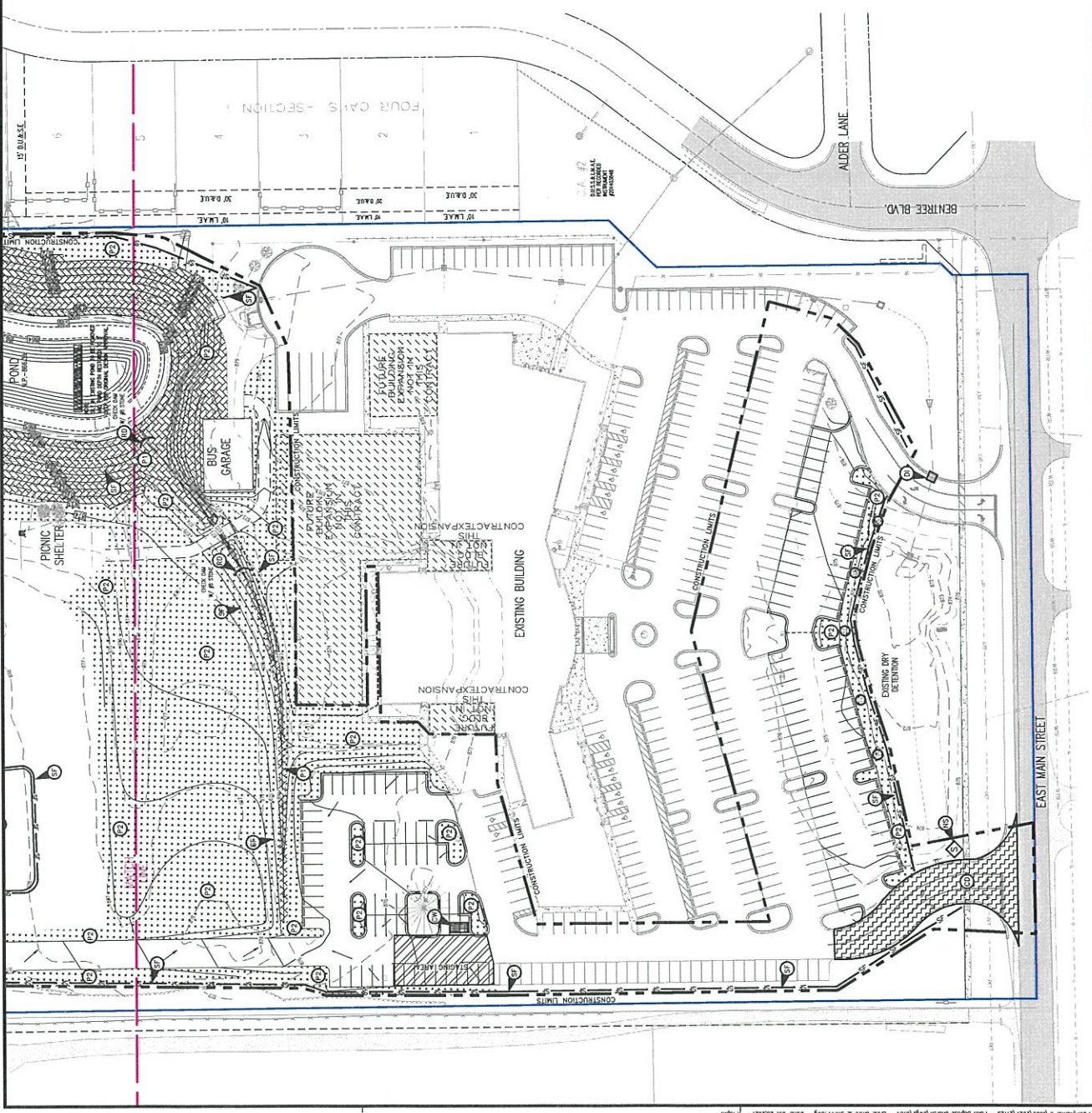
**LEGEND**

Existing Erosion Control  
Existing Sanitary Sewer  
Existing Contour  
New Perimeter Grade  
All Other Finish Grades  
Metch Existing Grades  
Ditch Existing Grades  
Ditch Contour Grades  
Surface Flow Arrow  
Swale Flowline w/Grade  
Existing Underground Gas Main  
Existing Underground Water Main  
Existing Underground Electric  
Existing Water Main  
Existing Reline

**EROSION CONTROL LEGEND**

**CONTINUOUS LAYS**

SF 3% STYRE FOAMED SAND (MIN 3' WIDE @ 5' DIA)  
CONCRETE CURBOUT  
FORMWORK (2' MIN W/ 1' EROSION CONTROL MATS (2' MIN @ 5' DIA))  
W/10' STAIN ALLOY AT 15' TYPICAL  
TEMPORARY EROSION CONTROL MATS  
ROCK ACCUMULATIONS  
VEHICLE EXISTING IMPACT DAMAGE  
CONSTRUCTION SIGN  
RECONSTRUCTION SIGN  
IMP. PAV. DRIVE  
ROCK EXPOS. 1/4"



**GENERAL NOTE**

THE PROPOSED CONSTRUCTION SEQUENCE IS PRESENTED AS A GENERAL GUIDE ONLY. THE ACTUAL SEQUENCE OF CONSTRUCTION SHALL BE DETERMINED BY THE CONTRACTOR BASED ON THE FIELD CONDITIONS AND THE SEQUENCE OF CONSTRUCTION SHALL BE APPROVED BY THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION AND THE STATE OF NEW YORK.

**PROJECT NARRATIVE**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION AND THE STATE OF NEW YORK.

**CONSTRUCTION TIMETABLE**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION AND THE STATE OF NEW YORK.

**EROSION CONTROL SEQUENCE**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION AND THE STATE OF NEW YORK.

**EROSION CONTROL NOTES**

1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.  
2. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.  
3. ALL EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.  
4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN ON THESE SHEETS.  
5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN ON THESE SHEETS.  
6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN ON THESE SHEETS.  
7. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN ON THESE SHEETS.  
8. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN ON THESE SHEETS.  
9. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN ON THESE SHEETS.  
10. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED AS SHOWN ON THESE SHEETS.

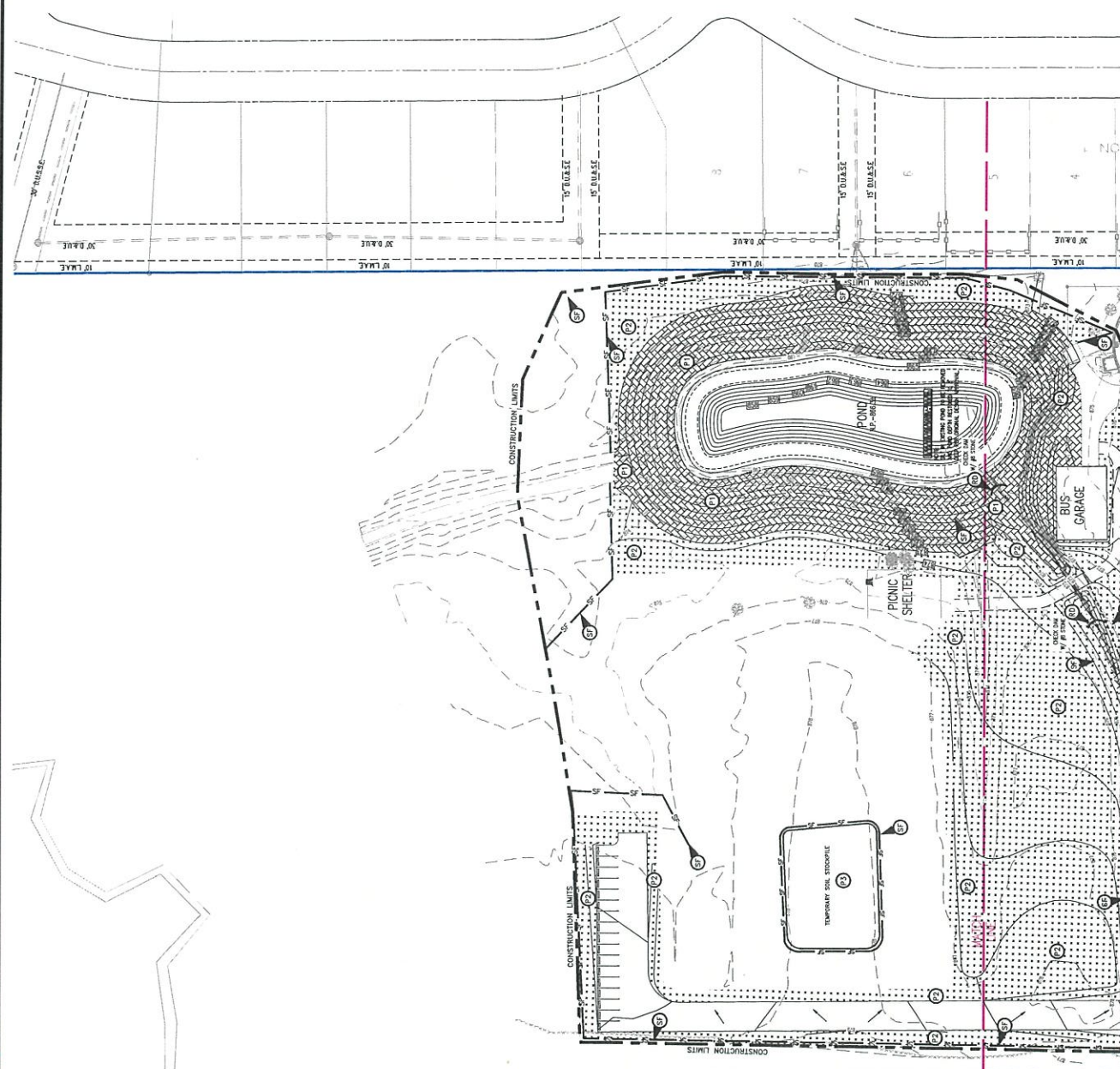


**LEGEND**

- Existing Storm Sewer
- Existing Sanitary Sewer
- Existing Catchment
- New Pipe
- All Other Pipe
- All Other Pipe
- Match Existing Grades
- Proposed Grades
- Proposed Pipe
- Surface Flow Arrow
- Swale Flowline w/Arrows
- Existing Underground Gas Main
- Existing Underground Telephone
- Existing Underground Electric
- Existing Water Main
- Existing Flowline

**EROSION CONTROL LEGEND**

CF	3:1 FACE STORMSLOPE (MINIMUM 3:1 OR EQUAL)
CW	CONCRETE WALKWAY
F1	PERMANENT SEEDING WITH EROSION CONTROL MAT
F2	PERMANENT SEEDING WITH EROSION CONTROL MAT (NON-ACCUMULATING MAT)
F3	PERMANENT SEEDING WITH EROSION CONTROL MAT (NON-ACCUMULATING MAT) WITH STORM WATER COLLECTION
P3	PERMANENT SEEDING WITH EROSION CONTROL MAT (NON-ACCUMULATING MAT) WITH STORM WATER COLLECTION
RR	ROAD
RD	ROAD CROSS DRAIN



**GENERAL NOTE**  
THE EROSION CONTROL PLAN IS BASED ON THE APPROVED GRADING PLAN. THE APPROVED GRADING PLAN IS THE BASIS FOR THE EROSION CONTROL PLAN. THE EROSION CONTROL PLAN IS BASED ON THE APPROVED GRADING PLAN. THE EROSION CONTROL PLAN IS BASED ON THE APPROVED GRADING PLAN.

**PROJECT NARRATIVE**  
THE PROJECT IS THE CONSTRUCTION OF A NEW BUILDING AT THE FAITH BAPTIST CHURCH. THE PROJECT IS THE CONSTRUCTION OF A NEW BUILDING AT THE FAITH BAPTIST CHURCH. THE PROJECT IS THE CONSTRUCTION OF A NEW BUILDING AT THE FAITH BAPTIST CHURCH.

**EROSION CONTROL SEQUENCE**  
1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE BEGINNING OF EROSION CONTROL MEASURES.  
2. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

**EROSION CONTROL NOTES**  
1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE BEGINNING OF EROSION CONTROL MEASURES.  
2. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

12. THE TIME REQUIRED FOR THE EROSION CONTROL MEASURES SHALL BE AS SHOWN ON THE PLAN.  
13. THE TIME REQUIRED FOR THE EROSION CONTROL MEASURES SHALL BE AS SHOWN ON THE PLAN.



- A1 INDEX SHOWING LOCATIONS OF REQUIRED PLAN ELEMENTS
A2 LEGAL DESCRIPTION OF PROJECT SITE
A3 LEGAL DESCRIPTION OF PROJECT SITE
A4 LEGAL DESCRIPTION OF PROJECT SITE
A5 LEGAL DESCRIPTION OF PROJECT SITE
A6 LEGAL DESCRIPTION OF PROJECT SITE
A7 LEGAL DESCRIPTION OF PROJECT SITE
A8 LEGAL DESCRIPTION OF PROJECT SITE
A9 LEGAL DESCRIPTION OF PROJECT SITE
A10 LEGAL DESCRIPTION OF PROJECT SITE
A11 LEGAL DESCRIPTION OF PROJECT SITE
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A22 LEGAL DESCRIPTION OF PROJECT SITE
A23 LEGAL DESCRIPTION OF PROJECT SITE

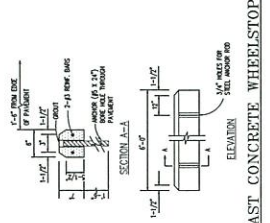
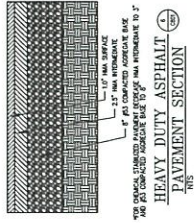
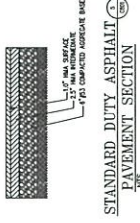
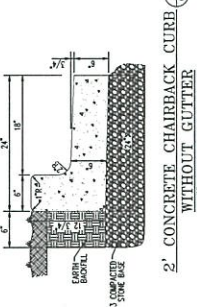
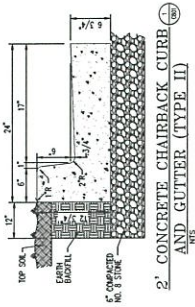
ASSESSMENT OF STORM WATER POLLUTION PREVENTION PLAN CONSTRUCTION COMPONENT (SECTION B)

- B1 TEMPORARY SURFACE STABILIZATION METHODS (CONTINUED)
B2 PERMANENT SURFACE STABILIZATION METHODS
B3 MATERIAL HANDLING AND SOIL PREVENTION PLAN
B4 MONITORING AND MAINTENANCE GUIDELINES
B5 STORM WATER POLLUTION PREVENTION PLAN
B6 STORM WATER POLLUTION PREVENTION PLAN
B7 STORM WATER POLLUTION PREVENTION PLAN
B8 STORM WATER POLLUTION PREVENTION PLAN
B9 STORM WATER POLLUTION PREVENTION PLAN
B10 STORM WATER POLLUTION PREVENTION PLAN
B11 TEMPORARY SURFACE STABILIZATION METHODS
B12 PERMANENT SURFACE STABILIZATION METHODS
B13 MATERIAL HANDLING AND SOIL PREVENTION PLAN
B14 MONITORING AND MAINTENANCE GUIDELINES
B15 STORM WATER POLLUTION PREVENTION PLAN
B16 STORM WATER POLLUTION PREVENTION PLAN
B17 STORM WATER POLLUTION PREVENTION PLAN
B18 STORM WATER POLLUTION PREVENTION PLAN
B19 STORM WATER POLLUTION PREVENTION PLAN
B20 STORM WATER POLLUTION PREVENTION PLAN

NO.	REVISIONS

**PRELIMINARY  
PENDING  
AGENCY  
APPROVAL**

DATE:	ISSUED:	SCALE:	PROJECT:
09/16/21	09/16/21	AS SHOWN	21125
JOB NUMBER:			21125
SHEET:			C801







SECTION 0230  
TRENCH CONSTRUCTION

SECTION 0230  
TRENCH CONSTRUCTION

SECTION 0230  
TRENCH CONSTRUCTION

PART 1 - GENERAL

PART 1 - GENERAL

PART 1 - GENERAL

1.01 SCOPE

1.01 SCOPE

1.01 SCOPE

1.02 MATERIALS

1.02 MATERIALS

1.02 MATERIALS

2.01 EXCAVATION

2.01 EXCAVATION

2.01 EXCAVATION

3.01 PREPARATION

3.01 PREPARATION

3.01 PREPARATION

4.01 CONCRETE

4.01 CONCRETE

4.01 CONCRETE

5.01 FINISHES

5.01 FINISHES

5.01 FINISHES

6.01 JOINTS

6.01 JOINTS

6.01 JOINTS

7.01 PROTECTION

7.01 PROTECTION

7.01 PROTECTION

8.01 GRANITE

8.01 GRANITE

8.01 GRANITE

9.01 GRANITE

9.01 GRANITE

9.01 GRANITE

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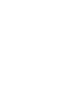
14.01 GRANITE

14.01 GRANITE

15.01 GRANITE

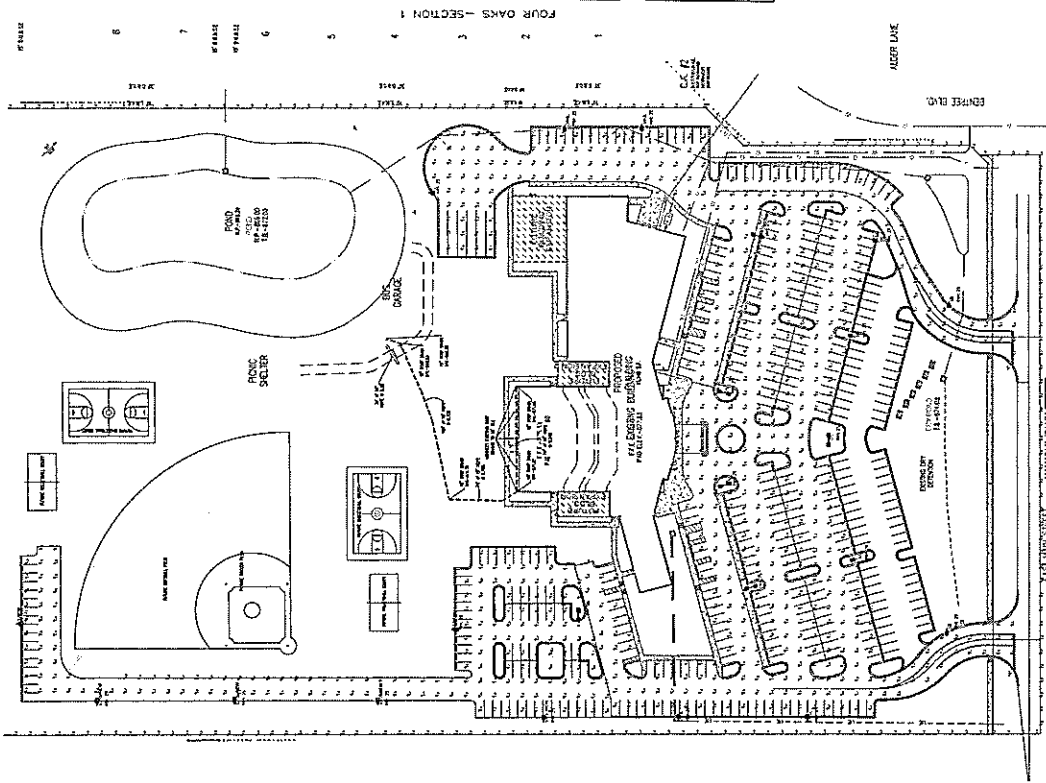
15.01 GRANITE

15.01 GRANITE



Innovative  
ENGINEERING & CONSULTING  
2067 Perry Boulevard  
Westerville, OH 43081

NO.	REVISIONS	DATE	BY



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description
□	3	S2-IL-NEW	Single	18132	0.900	MRM-LED-30L-SIL-2-30-70CRI-IL
□	2	S3-NEW	Single	39813	0.900	MRM-LED-36L-SIL-3-50-70CRI
□	1	S4-IL-NEW	SINGLE	25075	0.900	MRM-LED-36L-SIL-FT-50-70CRI-IL

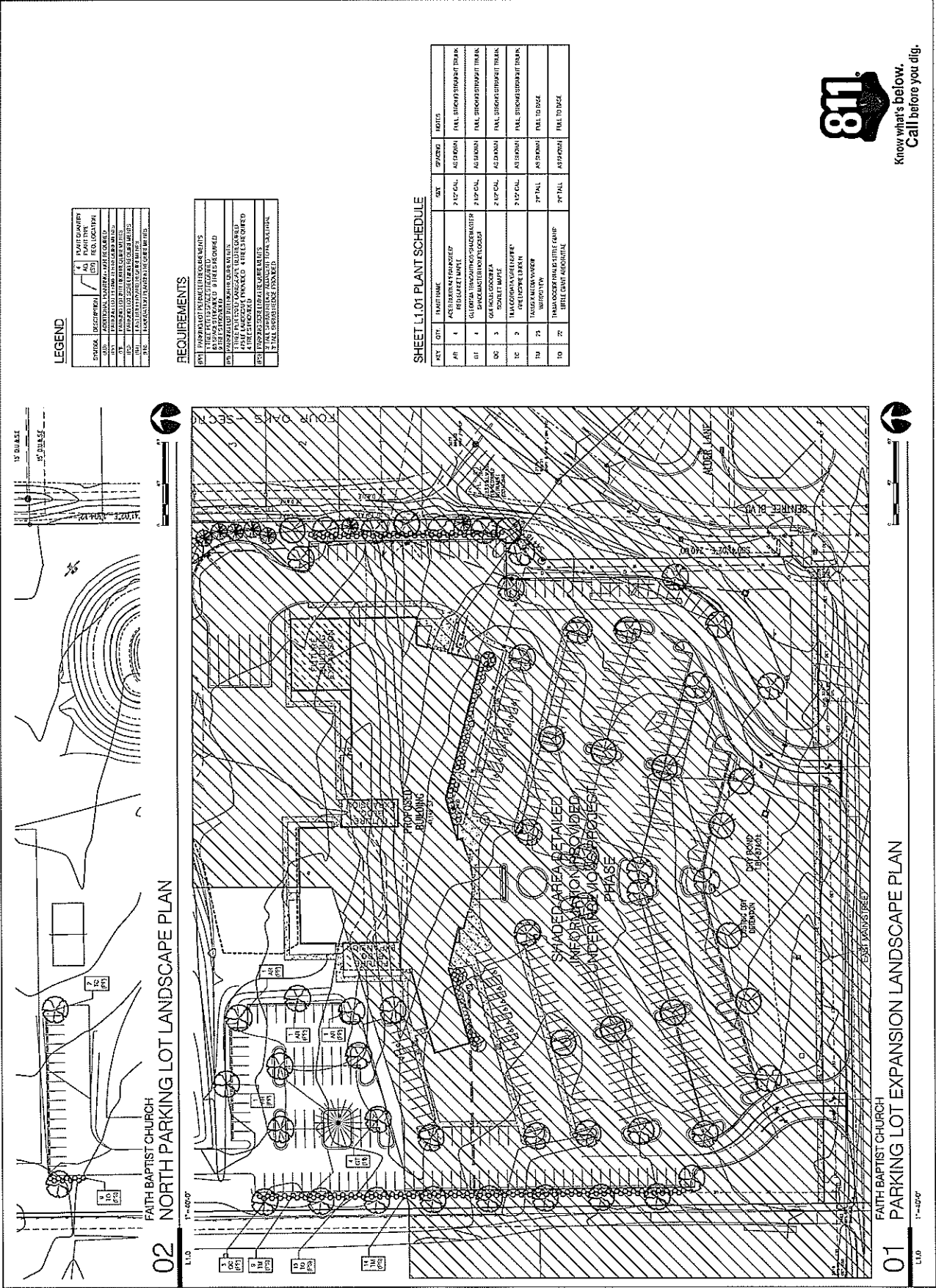
**Calculation Summary**

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Lot & Drives	Illuminance	Fc	2.81	8.9	0.4	7.03	22.25
	Illuminance	Fc	3.30	8.8	0.5	6.60	17.60
Property Line	Illuminance	Fc	0.01	0.2	0.0	N.A.	N.A.

**National Lighting Vendor:**  
 For pricing and technical assistance contact:  
 Russ Miller of CBMC INC, tel# 317-697-7510,  
 miller@cbmcinc.com

PHOTOMETRIC NOTES	
MOUNTING HEIGHT	25'
LIGHT LOSS FACTOR	0.90
REFLECTANCES	---
FOOTCANDLES CALCULATED AT	@ GRADE

BASED ON THE INFORMATION PROVIDED, THE ENGINEER HAS PREPARED THESE PLANS TO THE BEST OF HIS KNOWLEDGE AND BELIEF. THE ENGINEER DOES NOT WARRANT THAT THE INFORMATION PROVIDED IS COMPLETELY ACCURATE OR THAT THE INFORMATION PROVIDED IS FREE FROM ERROR. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE LIGHTING SYSTEM. THE ENGINEER IS NOT RESPONSIBLE FOR THE PERFORMANCE OF THE LIGHTING SYSTEM OR FOR THE RESULTS THEREOF. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE LIGHTING SYSTEM. THE ENGINEER IS NOT RESPONSIBLE FOR THE PERFORMANCE OF THE LIGHTING SYSTEM OR FOR THE RESULTS THEREOF. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE LIGHTING SYSTEM. THE ENGINEER IS NOT RESPONSIBLE FOR THE PERFORMANCE OF THE LIGHTING SYSTEM OR FOR THE RESULTS THEREOF.



**LEGEND**

SYMBOL	DESCRIPTION	KEY	PLANT SYMBOL	PLANT TYPE	PLANT SIZE	PLANT LOCATION
(Symbol)	PLANT SYMBOL	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)
(Symbol)	PLANT SYMBOL	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)
(Symbol)	PLANT SYMBOL	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)
(Symbol)	PLANT SYMBOL	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)
(Symbol)	PLANT SYMBOL	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)
(Symbol)	PLANT SYMBOL	(Symbol)	(Symbol)	(Symbol)	(Symbol)	(Symbol)

**REQUIREMENTS**

- 1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF AVON LANDSCAPE DESIGN MANUAL.
- 2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF AVON LANDSCAPE DESIGN MANUAL.
- 3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF AVON LANDSCAPE DESIGN MANUAL.
- 4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF AVON LANDSCAPE DESIGN MANUAL.
- 5. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF AVON LANDSCAPE DESIGN MANUAL.

**SHEET L1.01 PLANT SCHEDULE**

KEY	QTY	PLANT NAME	SET	SPACE	NOTES
AP	1	ASPERULATA SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
AS	1	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
BC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
CC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
DC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
EC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
FC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
GC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
HC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
IC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
JC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
KC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
LC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
MC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
NC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
OC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
PC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
QC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
RC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
SC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
TC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
UC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
VC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
WC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
XC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
YC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK
ZC	3	GLORIOSA TREBINTHUS-SPANISH BROOM	2" SPICAL	AS SPICAL	FINAL SHOWS SEPARATE TRUNK



Know what's below.  
 Call before you dig.

**NOTES**

**GENERAL NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
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6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.

**PAVING NOTES**

1. ALL PAVING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL PAVING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
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**SEEDING AND PREPARATION**

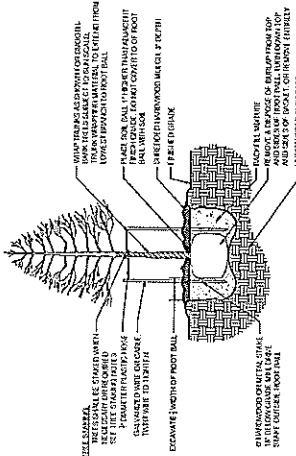
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**SEEDING AND PREPARATION**

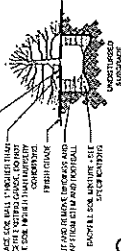
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6. ALL SEEDING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.

**TREE SPACING NOTES**

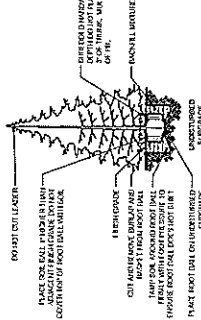
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6. ALL TREE SPACING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.



**01 DECIDUOUS TREE**  
PLANTING DETAIL - NOT TO SCALE



**02 SHRUB**  
PLANTING DETAIL - NOT TO SCALE



**03 EVERGREEN TREE**  
PLANTING DETAIL - NOT TO SCALE





# **CASE SUMMARY**

## *Final Plat & PUD Request*

- Case:** #2021-2085  
Arbor Homes, LLC, Petitioners  
HWC Engineering
- Request:** Final Plat Approval of a 66-lot Major Subdivision (the Bevy)
- Location:** North side of 10<sup>th</sup> Street – approximately 560 feet east of Money Lane
- Acreage:** 25.87 acres acres
- Zoning:** Planned Unit Development (PUD)

**Staff Summary:**

Staff recommends a 30-day continuance in order to allow additional time for the petitioner to provide revised plans for review.

**Plan Commission Action:**  
*Approve Continuance Request*  
*Deny Continuance Request*

