



Design Review Committee

July 5, 2023

4:30 PM

- I. Call Meeting to Order**
 - Establish Quorum**
 - Approve Minutes**
- II. Old Business: None**
- III. New Business:**
 - A. 3376 East Main Street – Sukhwinder Singh, Jugaad, LLC**
 - New Construction**
 - (Accura Express, Phillip Going)
 - B. 25 West Marion Street – Anthony D. Higbie, Owner**
 - Exterior Renovation**
- IV. Staff Updates**
- V. Adjournment**

Next Regular Meeting:

August 2, 2023

Design Review Committee

Meeting Minutes

June 7th, 2023

Members Present: Scott Perkins, David Kroll, Joe Neher, Jennifer McNabb, Terry Kessinger, Sue Rempert

Members Absent: Lee Comer

Staff Present: Lesa Ternet & Tasha Hensley

Guests: Kevin Cavanaugh, Michael Rogers, Matt Howrey, Brian Ferry

Minutes from May 3rd, 2023, meeting were approved.

Old Business: None

New Business:

202 West Main Street- North Salem State Bank Exterior Renovation (Michael Rogers. Just R Time Construction, LLC)

S. Perkins went over all the changes being made for clarification. The building will be stone with lap siding. S. Perkins asked that the posts be dressed up. The existing window will remain. M. Howrey – CEO of North Salem State Bank stated that the building will not be re-inhabited. They are capping the water lines. D. Kroll made a motion to approve with no conditions. S. Rempert seconded the motion. Motion carried 6-0.

200 East Campus Boulevard- Hendricks County Facilities Department on behalf of the Hendricks County Board of Commissioners

New Construction – Work Release Center (Eric Weflen, ESW Consulting, LLC)

K. Cavanaugh with the county explained the use of the work release program and why they need additional space. He stated this is a short-term fix (5-10 year) for now to accommodate their immediate need. Brian Ferry with InMod Construction stated that the modular unit being used is inspected by Indiana code as it is built. So once the unit is assembled it has been fully inspected. He stated it is not on a foundation, it is a temporary setup that will be skirted in the same material as the exterior of the unit. The committee discussed when they should review this matter considering it is temporary. D. Kroll made a motion to approve the conditions of using smart panels to match the existing unit, installation of landscaping, and that the Design Review Committee review this in 5 years. J. McNabb seconded the motion. Motion carried 6-0

Staff Updates: None

Meeting was adjourned at 5:02 p.m.

Scott Perkins, Design Review Committee Chairman

DRC

Meeting Briefing

July 5, 2023

Sukhwinder Singh, Jugaard, LLC – 3376 East Main St.

This is a request to construct a gas station/convenience store on property previously known as Red Earth Indiana Shop. The site plan and building plans are included in your packet of information. A recommendation to the Plan Commission is necessary and will be placed on the next scheduled meeting agenda on July 12, 2023.

Anthony D. Higbie, Owner – 25 West Marion Street

This is a request to replace an existing double window with a square picture window. The scope of work with the trim paint color is included in your packet of information. A recommendation to the Plan Commission is necessary and will be placed on the next scheduled meeting agenda on July 12, 2023.

Application for CPOD Design Review

JUN 1 2 2023

APPLICANT INFORMATION

Name of Applicant: JUGAAD, LLC Sukhwinder Singh
 Mailing Address: 13150 Ditch Road, Carmel, IN 46032
 Phone: (812) 391-3062 Email: sukhwinders73@icloud.com
 Property Owner(s) JUGAAD LLC
 Mailing Address: same
 Phone: same Email: same
 Project Engineer/Architect: Accura Land Surveying, Philip Going
 Address: 9 S. Franklin Street, Greenfield, IN 46140
 Phone: (317) 462-3734 Email: accura@prodigy.net

PROJECT INFORMATION

Location of Project: 3376 E. Main Street, Danville
 Existing Use of Property: Vacant Commercial Current Zoning: GB
 Proposed Use of Property: Convenience with fuel Acreage: 0.700
 Type of Activity: New Construction ☒ Exterior Renovation ☐ Sign ☒
 Est. Project Cost: _____ Est. Start Date: 8/1/2023

Documents to be included with application (1 original and 1 electronic):

- ☒ Building elevations of all elevations new and/or altered
- ☐ Color samples
- ☐ Photos of adjacent structures
- ☒ Signage and/or lighting
- ☒ List of work to be completed in numerical order -
- ☒ Letter of Intent describing in detail the scope of work to be performed

Signature of Applicant: Philip Going AGENT Date: 6/10/2023

APPLICATION FEES

Residential	\$50
Residential accessory >150 sq ft	\$25
Commercial	<u>\$150</u>
Commercial accessory	\$100
Sign	\$50

Fee paid: 150.00 Received by: Asha Jait Date: 6-28-23

Town of Danville, Indiana
Plan Commission
49 N. Wayne Street
Danville, IN 46122

JUN 1 2 2023

RE: Project Owner Statement of Intent

I am the owner of the proposed project site located at 3376 East Main Street, Danville, IN, 46122. As the owner, I am proposing to provide fuel and convenience items to the residents of Danville within this vicinity. There will be no food preparation on the premises.

The project will include the demolition of an existing commercial building that is currently vacant and not in use. A new Convenience Store with fuel service will be constructed on the site as shown on the construction plans.

Respectfully,
Sukhwinder Singh
JUGAAD, LLC

Corridor Protection Overlay District (CPOD) Review Checklist

JUN 1 2 2023

Property Location: 3376 E. Main Street, Denville, IN 46122

Name of Applicant: Sukhwinder Singh, JUGAAD, LLC

Design Review Committee Meeting Date: _____

DEVELOPMENT STANDARDS

Rev. KLS
6/26/23

Architecture (pg 97)

New construction conforms to the following architectural style:

- | | | |
|---|---|---|
| ☐ American Four Square | ☐ Gothic Revival | ☐ Renaissance Revival |
| ☐ Bungalow | ☐ Greek Revival | ☐ Roman Classicism |
| ☐ Colonial Revival | ☐ Italianate | ☐ Romanesque Revival |
| ☐ Eastern Stick | ☐ Neoclassical | ☐ Second Empire |
| ☐ Federal | ☐ Prairie | ☐ Tudor Revival |
| ☐ Georgian | ☐ Queen Anne | ☐ Victorian Gothic |
| | | ☐ Victorian Vernacular |

☐ Exterior renovation of existing building conforms in style and context with the existing building's architecture.

☒ New construction style compatible with the intent of the CPOD.

Comments: _____

Building Orientation (pg 98)

- ☒ The primary structure faces the front of the lot on which it is located.
- ☐ The structure is located in the CB-P District and is set to the prevailing streetwall.
- ☐ The structure is located in the CB-S District and is no closer to the front lot line than the adjacent primary structure that is closest to the front lot line. The location of the primary structure is no further from the lot line than the adjacent primary structure that is farthest from the front lot line. In any case, the structure is not set back from the front lot line more than 5 feet.
- ☒ The structure is not in a CB-P or CB-S District and is setback according to the setback requirements listed for that district.
- ☐ This is an existing structure. The building orientation is not being altered.
- ☒ There are no loading docks, overhead service doors, or trash collection bins placed on or adjacent to any façade which faces a public street.

Comments: _____

BUILDING NOTES Added on
6/26/23

By KENNETH SIMPSON, P.E.
812-719-8345

Large Building Elevations (pg 98)

The front elevation of large structures must be divided into smaller areas or planes. If the front elevation of the structure is more than 750 square feet in area, the elevation must be divided into distinct planes of 750 square feet or less. For the purpose of this standard, areas of wall that are entirely separated from other wall areas by a projection, such as a porch or a roof over a porch, are also individual building wall planes. This division is accomplished by the following:

- ___ A porch, a dormer that is at least 4 feet wide, or a balcony that is at least 2 feet deep and is accessible from an interior room.
- ___ A bay window extending at least 2 feet.
- ___ A recessed section of the façade at least 2 feet deep and at least 6 feet long.
- ___ The front elevation does not exceed 750 sq. ft. in area.
- ___ This is an existing structure.

Comments: 4' x 11'-8" metal awning - Also looking at Block
Front, different areas are: Stone (210 ft²), Brick (340 ft²), Stone (380)
Brick (340 ft²), Stone (210 ft²) = Total

Building Height (pg 99)

- ✓ The maximum height of the primary structure does not exceed 50 feet.
- ___ The structure is in the CB-P District and the minimum height of the primary structure is at least 26 feet.
- ✓ The structure is not in the CB-P District and the minimum height of the primary structure is at least 16 feet.
- ___ This is an existing structure. The height is not being altered.

Comments: _____

Main Entrance (pg 99)

Non-residential

- ✓ The main entrance to the structure faces Main Street. On corner lots the main entrance may face either Main Street or be oriented to the corner.
- ✓ If the front entrance has an awning, it is made of professional-grade fabric or canvas.
- ✓ If the front entrance has a canopy, the design is architecturally integrated, is shaped to fit the opening, and is without back lighting. AWNING IS 11'-8" x 4'-0" - METAL
- ___ If the front porch or covered balcony at a main entrance provides columns as corner supports, the columns are consistent with the architectural style of the primary structure.
- ___ All openings between the porch floor and the ground are covered with a solid material or lattice.

Residential

- ___ The main entrance to the structure faces Main Street. On corner lots the main entrance may face either Main Street or be oriented to the corner.
- ___ There is a front porch surrounding the main entrance that faces a street. If the porch projects out from the building, it must have a roof. If the roof of a required porch is developed as a deck or balcony, it may be flat.
- OR
- ___ There is a covered balcony over the main entrance that faces a street. The floor of the covered balcony must be no more than 15 feet above grade, and must be accessible from the interior space of the building.

- ___ If the front entrance has an awning, it is made of professional-grade fabric or canvas.
- ___ If the front entrance has a canopy, the design is architecturally integrated, is shaped to fit the opening, and is without back lighting.
- ___ If the front porch or covered balcony at a main entrance provides columns as corner supports, the columns are consistent with the architectural style of the primary structure.
- ___ All openings between the porch floor and the ground are covered with a solid material or lattice.

Non-residential or Residential

- ___ This is an existing structure. The main entrance is not being altered.

Comments: _____

Reinforcing the Corner (pg 100)

On sites within the CB-P and CB-S Districts, all of the following requirements have been met:

- ___ The primary structure meets the average front setback of adjacent buildings, but is not more than 10 feet from the edge of the right-of-way.
- ___ The highest point of the building's street-facing elevation is within 25 feet of the corner.
- ___ The main entrance is on a street-facing wall and either at the corner, or within 25 feet of the corner.
- ___ There is no parking within 40 feet of the corner.
- ___ This is an existing structure. The footprint is not being altered.

Comments: N/A

Exterior Finish Materials (pg 100)

On all building facades, at least 80% of the structure's exterior is finished using the following:

- ___ Quarried stone
- ✓ Cultured stone
- ✓ Brick
- ___ Wood siding
- ___ Composite lap siding*
- ___ Architectural concrete

*EXCEPT FOR WINDOWS & DOORS &
THE CANOPY THE ENTIRE BUILDING
IS STONE & BRICK*

On all building facades, no more than 20% of the structure's exterior is finished using the following materials:

- ✓ Metal
- ___ Wood shakes
- ___ Stucco (EIFS)
- ✓ Exterior color is appropriate to the architectural style and compatible with adjacent buildings.
- ___ Another building material is proposed but must be approved by the Committee.
- ___ This is an existing structure. Exterior alterations or renovations are consistent with the existing façade finish.

**Where horizontal siding is used, it is shiplap or clapboard siding composed of boards with a reveal of 3 to 6 inches. Vinyl or aluminum siding that is in clapboard or shiplap pattern may be used where the boards in the pattern are 6 inches or less in width.*

Comments: _____

Foundation Material (pg 101)

- ☐ Plain concrete block or exposed concrete is being used as foundation material since the foundation material is not revealed more than 1 foot above the finished grade level adjacent to the foundation wall.
- ☐ This is an existing structure. No new foundation is being added.

Comments: FOUNDATION WALL IS NOT EXPOSED

Foundation Landscaping (pg 103)

For any non-residential use, all street-facing elevations must have landscaping along their foundation. The landscaped area may be along the outer edge of a porch instead of the foundation. This landscaping requirement does not apply to portions of the building façade that provide access to the building for pedestrians or vehicles. The foundation landscaping must meet the following standards:

- ☒ The landscaping plants comply with the list provided in Appendix C.
- ☐ The landscaped area is at least 3 feet wide.
- ☐ There is at least one (1) three-gallon shrub for every three (3) lineal feet of foundation AND ground cover plants will fully cover the remainder of the landscaped area.
- ☐ This is an existing non-residential structure. No new foundation is being created.

Comments: _____

Distinct Ground Floor (pg 101)

- ☐ The ground floor of the primary structure is visually distinct from upper stories. This distinction is provided by the following:
 - ☐ a cornice above the ground level,
 - ☐ an arcade,
 - ☐ a portico, or
 - ☐ changes in building material or texture.
- ☒ This is a single story structure.
- ☐ This is an existing structure. The existing ground floor distinction is not being altered.

Comments: _____

Windows (pg 101)

- ☒ This is a new non-residential structure in a commercial district. At least 60% of the street-facing ground level façade is comprised of windows. The windows are:
 - ☐ Either square or vertical and are at least as tall as they are wide.
 - ☐ Horizontal window openings have been created by two or more vertical windows grouped together to provide a horizontal opening and they are either all the same size, or no more than two sizes are used.
- ☐ This is a non-residential renovation and windows are being replaced with ones that match the existing windows.*
- ☐ This is a residential structure and at least 15% of the area of the street-facing façade is comprised of windows.
- ☐ This is an existing structure. Existing windows are not being altered.

*Where applicable, the Committee may approve replacement windows that do not match.

Comments: less than 60% facade

WINDOWS COMPRISE⁴ APPROX 21% = 310 SF
1420 SF

Trim and Historic Details (pg 102)

- ☒ Trim marks all building roof lines, porches, windows, and doors on all elevations.
- ☐ The trim is at least 3-1/2 inches wide.
- ☐ Historic details are being retained or replicated.*
- ☐ This structure is constructed with a masonry exterior and is exempt from this standard.

*Where applicable, the Committee may approve replacement materials that do not match.

Comments: masonry structure & arcade with metal wall cap

Roofs (pg 102)

This structure has:

- ☐ A sloped roof with a pitch that is no flatter than 4/12 and no steeper than 12/12
- OR**
- ☒ A roof with a pitch of less than 4/12 and has a cornice that meets the following:
 - ☐ Contains a two-part cornice. The top part of the cornice projects at least six inches from the face of the building and is at least 2 inches further from the face of the building than the bottom part of the cornice; **AND**
 - ☐ The height of the cornice is based on the height of the building as follows:
 - ☐ This building is 16 feet in height and has a cornice at least 12 inches high.
 - ☐ This building is more than 16 feet but less than 26 feet and has a cornice at least 18 inches high.
 - ☐ This building is 26 feet or more and has a cornice at least 24 inches high.

- ☐ This is an existing structure. The roof is not being altered.

Comments: THIS BUILDING IS A BRICK & STONE STRUCTURE WITH A 5' HIGH METAL CAP & PARAPET WALLS

Roof Eaves (pg 103)

- ☐ Roof eaves on all elevations project from the building wall at least 12 inches for every 12 feet of building height.
- ☐ This structure is located in the CB-P District and is exempt from this standard.
- ☐ This is an existing structure. The eaves are not being altered.

Comments: surrounded by parapet walls

Exterior Stairs and Fire Escapes (pg 103)

- ☐ Exterior stairs, other than those leading to a main entrance, are at least 40 feet from all streets.
- ☒ This structure is not located in the CB-P District and the fire escapes are at least 40 feet from all streets.
- ☐ This is an existing structure. The exterior stairs and/or fire escapes are not being altered.

Comments: ONE STORY. NO STAIRS

Parking Lot Location (pg 106)

For parking areas which include *15 or more* parking spaces:

- ☐ If located in the CB-P or CB-S District, no parking lot is placed between the primary structure and the abutting public street.
- ☐ If located in any other district, no more than 10% of the parking spaces provided are placed between the front façade of the primary structure and the abutting public street.
- ☒ The parking area contains less than 15 spaces.
- ☐ The existing parking area is not being altered.

Comments: _____

Parking Area Landscaping (pg 103)

- ☐ Landscape screening is provided around the perimeter of all parking areas which include *15 or more* parking spaces.
- ☒ The landscaping plants comply with the list provided in Appendix C.
- ☐ The screening is located within 5 feet of the edge of the parking area
- ☐ The screening is at least 4 feet in height for at least 75% of the perimeter or the parking area.
- ☐ The screening consists of either a row of evergreen shrubs or a combination of mounding, ground covers and shrubs.
 - ☐ If only shrubs are used, they measure a minimum of 24 inches in height from ground level at the time of planting and are placed 5 feet on center.
 - ☐ If landscape mounding is used, it undulates between the heights of 2 and 4 feet from ground level and the following requirements must be met:
 - ☐ Shrubs are planted on the mound at a ratio of one shrub for every 5 horizontal feet of mounding, **AND**
 - ☐ Shrubs measure a minimum of 18 inches in height from ground level at the time of planting and are placed in an irregular, natural pattern.
- ☒ The parking area is less than 15 spaces.
- ☐ This is an existing structure. No additional parking is being created.

Comments: _____

Pedestrian Walkways/Sidewalks (pg 106)

- ☒ Pedestrian sidewalks are provided across the front of all lots, connecting the lot, the primary structure, and parking areas to each other and with adjacent properties.
- ☒ Sidewalks are provided along the full length of all facades which include a customer entrance and/or are adjacent to a parking area.
- ☒ Walkways are concrete and are a minimum of 4 feet in width.
- ☐ Walkways parallel to parking lots and interior drives are separated from such areas by a curbed landscaped area measuring a minimum of 5 feet in width.
- ☐ Walkways passing through vehicle use areas are of a paving material different from that of the vehicle use area.
- ☐ Except for the CB-P District, walkways along the facades of the primary structure are separated from the building by a landscape area which is a minimum of 5 feet in width.

- ___ For each 100 square feet of hard-surface area between the building and the street lot line at least one of the following amenities is provided:
- ___ a bench or other seating;
 - ___ a fountain; or
 - ___ a landscape planter or similar feature.
- ___ This structure is in the CB-P District and is exempt from this requirement.
- ___ This is an existing structure with existing sidewalks.

Comments: _____

Street Trees (pg 104)

- ___ One (1) tree is planted in the area between the sidewalk and the street for each 30 feet of street frontage on any street.
- ✓ ___ The location of the street trees is limited and the Committee may approve alternate tree locations.

Comments: _____

Outdoor Storage/Docks/Mechanical Equipment/Waste Containers (pg 104)

- ___ All outdoor storage of finished products, all trash and recycling containers, all truck docks, and all mechanical equipment is completely enclosed or screened using the following standards:
- ✓ ___ The enclosure(s) is a fence or walls constructed of the same materials as the primary structure.
 - ✓ ___ The enclosure does not exceed 8 feet in height.
 - ___ No stored products or waste containers or materials exceed the height of the enclosure.
 - ✓ ___ An opaque wooden gate, painted consistent with the main color of the primary structure is provided at all access points to the enclosed area.
 - ✓ ___ Mechanical equipment located on the roof is screened on all sides by a parapet or other building feature based on an elevation view of the building.
 - ✓ ___ Mechanical equipment located on the ground is screened on all sides by the building, walls, or fences using a material or color which is compatible with the primary building or an evergreen hedge which is not less than the height of the mechanical equipment at the time of planting.
 - ___ No enclosure created for the storage of waste materials is located within 20 feet of any public street right-of-way, public sidewalk, or internal pedestrian way.
 - ___ Truck docks are screened from view from all public areas, including parking lots and adjacent public streets. The screening enclosure consists of a fence or wall constructed of the same material as the exterior of the primary structure.
- ___ There is no outdoor storage of unfinished products or supplies provided on this property.

Comments: No outdoor storage / one trash enclosure

Gas Stations, Gas Island Canopies and Related Facilities (pg 105)

- ☒ All structures on the site (such as kiosks, car wash buildings, gas pump islands, etc) are architecturally consistent with the primary structure.
- ☒ All building elevations are architecturally detailed to avoid the appearance of the "back of the building" and contribute a positive presence to the streetscape.
- ☒ Gas island canopies are built of the same high quality materials as the convenience store or kiosk associated with the gas island. These structures create architectural harmony with the primary structure on the site.
- ☐ Gas island canopy structural columns are covered with the same architectural materials as the primary structure.
- ☒ Gas station canopies have flush-mounted or shielded canopy fixtures.
- ☐ The existing canopy and/or related structures are not being altered.
- ☐ This project is not a gas station facility.

Comments: _____

Fencing (pg 105)

The following type of fence is provided for this project:

- ☐ Masonry wall
- ☐ Ornamental iron
- ☐ Wood or vinyl
- ☐ Live hedge
- ☐ The fence complies with the requirements of Section 4.8 and Section 12.8 of the Danville Zoning Ordinance.
- ☒ There is no fence being constructed on this site.
- ☐ The existing fence is not being altered.

Comments: _____

Lighting (pg 105)

Lighting on each lot shall be designed to reduce light pollution while providing the minimum light necessary for security and safe pedestrian and vehicle traffic movements.

- ☒ Exterior lighting is limited to those areas needed for safety and security purposes only.
- ☒ All outdoor lighting limits light spillage onto adjacent property to no more than one (1) footcandle through the use of light fixture shielding, location, height, and aim.
- ☒ All lighting fixtures have 90-degree cutoff luminaires (shielded down lighting).
- ☒ If a structure is illuminated, all fixtures are designed to wash the façade of the building in light rather than providing a spot or floodlight effect.
- ☐ Light poles in parking areas are round and do not exceed 20 feet in height.
- ☐ Sidewalks have 90-degree cutoff luminaires (shielded down lighting). Bollard-style lighting is preferred adjacent to pedestrian walkways.
- ☐ No additional lighting is proposed for this project.

Comments: _____

Signs (pg 107)

In addition to the sign regulations described in Section 12 of the Danville Zoning Ordinance, the following regulations apply:

___ The following type of sign(s) are provided for this project:

___ Wall sign

☒ Monument or ground sign

___ Projecting or blade sign

___ Awning or canopy sign

☒ All signs are architecturally integrated with their surroundings in terms of size, shape, color, texture, and lighting so that they are complementary to the overall design of the project.

___ When applicable, sign themes are designed so that all signs within a strip-style development are comprised of one single sign type (i.e. cabinet type, channel letters, projecting, etc.) for each commercial use.

☒ Sign is constructed of materials that match or are compatible with the principal materials of the primary structures and landscaping on the property.

___ Monument or ground sign does not exceed five (5) feet in height.

☒ Sign area of monument or ground sign in the CB-P or CB-S zoning districts with frontage on Main Street is equal to 1/2 sq ft of signage per each ft of linear building frontage, but does not exceed 32 sq ft.

☒ Monument or ground sign is setback a minimum of one (1) foot from the road right-of-way and does not inhibit vision clearance.

___ If sign is located in the CB-P or CB-S zoning district, it is not internally illuminated.

☒ In all other districts, illuminated signs comply with Section 12.5.C of the Danville Zoning Ordinance.

☒ Projecting signs do not project more than thirty-six (36) inches from the wall surface upon which they are mounted and the bottom edge of the sign is at least nine (9) feet from grade.

☒ No signage is located on roof top screening or roof top equipment penthouses, above the roof line, or on sloped roofs.

☒ A landscaped area is provided around the entire base of all monument or ground signs:

___ For CB-P and CB-S districts, the landscaped area is one-half (1/2) square foot in area for every one (1) square foot of sign area.

___ For all other districts, the landscaped area is one (1) square foot in area for every one (1) square foot of sign area.

___ Non-residential directional signs do not exceed three (3) feet in height and three (3) square feet in area for each sign. All directional signs are used for directional indications and address identification purposes only and are not used for business advertising purposes.

___ This is a residential use. No signage is proposed for this project.

___ The existing signage is not being altered.

Comments: _____

Design Review Committee Recommendation

PROJECT NAME:

SINGH DANVILLE
CONVENIENCE STORE

LOCATION:



VICINITY MAP

SCALE: N.T.S.

PROJECT ADDRESS:

3376 E MAIN ST
DANVILLE IN 46122

OWNER:

JUGAOD, LLC
13150 DITCH RD
CARMEL IN 46032

PROJECT INFORMATION:

PROPOSED USE: COMMERCIAL
BUILDING HEIGHT: APPROX. 22'
AREA INFORMATION:
TOTAL: 2,867 sq. ft.
Includes 6' canopy
Includes 6' canopy

CODE SUMMARY:

CONSTRUCTION TYPE: TYPE I
EXIT ACCESS TRAVEL DIST: MAX 125' FOR SINGLE EXIT ACCESS
TYPE OF OCCUPANCY: FACTORY
FLOOR AREA: 2,867 sq. ft.
MAX. NO. OF OCCUPANTS: 100
MAX. NO. OF EMPLOYEES: 100

SHEET INDEX:

1001	TITLE SHEET
1002	EXISTING SITE LAYOUT
1003	FOUNDATION
1004	FLOOR PLAN
1005	SECTION
1006	ROOF PLAN
1007	ELEVATIONS
1008	FINISHES
1009	MECHANICAL
1010	ELECTRICAL
1011	PLUMBING

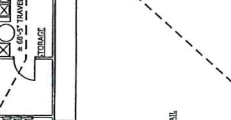
GENERAL SYMBOLS:

1	INDICATOR LETTER
2	DOOR NUMBER
3	KEYED NOTE NUMBER
4	ROOM NUMBER
5	WALL TYPE
6	ELEVATION
7	REVISION MARK

GENERAL NOTES:

- DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF FORTUNE COMPANIES BEFORE PROCEEDING WITH WORK.
- REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS CONSTRUCTIBLE AS SHOWN. CONTACTS OR OMISSIONS, ETC. SHALL BE IMMEDIATELY REPORTED TO FORTUNE COMPANIES FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS IN CASE OF CONFLICT. NOTIFY FORTUNE COMPANIES. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THE THICKNESS OF FINISHES, INCLUDING CARPET, PAD, CERAMIC TILE, V.C.T., ETC.
- MAKE LOCATIONS OF PARTITIONS AND DOORS FOR REVIEW BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT. COORDINATE AND VERIFY CONDITIONS TO ENSURE PROPER FIT.
- DURING ALL PHASES OF WORK, DO NOT DISTURB THE UTILITIES AND FUNCTIONS OF ADJACENT AND NEIGHBORING TENANTS.
- DESIGN & PERMITTING FOR ANY REQUIRED FIRE PROTECTION SYSTEM SHALL BE THE RESPONSIBILITY OF A FIRE PROTECTION CONTRACTOR AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL BY APPROPRIATE AUTHORITIES.
- DESIGN & PERMITTING FOR ANY REQUIRED KITCHEN HOOD SYSTEM SHALL BE THE RESPONSIBILITY OF THE KITCHEN HOOD CONTRACTOR AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL BY APPROPRIATE AUTHORITIES.
- DESIGN & PERMITTING FOR ANY REQUIRED RETRACTION RELIEF VALVE SYSTEM SHALL BE THE RESPONSIBILITY OF THE RETRACTION SYSTEM CONTRACTOR AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL BY APPROPRIATE AUTHORITIES.
- DESIGN & PERMITTING FOR ANY REQUIRED SMOKE EXHAUST SYSTEM SHALL BE THE RESPONSIBILITY OF THE SMOKE EXHAUST CONTRACTOR AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL BY APPROPRIATE AUTHORITIES.

LIFE SAFETY PLAN



GENERAL INSTALL HEIGHTS:



GENERAL NOTES:

- DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF FORTUNE COMPANIES BEFORE PROCEEDING WITH WORK.
- REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS CONSTRUCTIBLE AS SHOWN. CONTACTS OR OMISSIONS, ETC. SHALL BE IMMEDIATELY REPORTED TO FORTUNE COMPANIES FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS IN CASE OF CONFLICT. NOTIFY FORTUNE COMPANIES. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THE THICKNESS OF FINISHES, INCLUDING CARPET, PAD, CERAMIC TILE, V.C.T., ETC.
- MAKE LOCATIONS OF PARTITIONS AND DOORS FOR REVIEW BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT. COORDINATE AND VERIFY CONDITIONS TO ENSURE PROPER FIT.
- DURING ALL PHASES OF WORK, DO NOT DISTURB THE UTILITIES AND FUNCTIONS OF ADJACENT AND NEIGHBORING TENANTS.
- DESIGN & PERMITTING FOR ANY REQUIRED FIRE PROTECTION SYSTEM SHALL BE THE RESPONSIBILITY OF A FIRE PROTECTION CONTRACTOR AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL BY APPROPRIATE AUTHORITIES.
- DESIGN & PERMITTING FOR ANY REQUIRED KITCHEN HOOD SYSTEM SHALL BE THE RESPONSIBILITY OF THE KITCHEN HOOD CONTRACTOR AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL BY APPROPRIATE AUTHORITIES.
- DESIGN & PERMITTING FOR ANY REQUIRED RETRACTION RELIEF VALVE SYSTEM SHALL BE THE RESPONSIBILITY OF THE RETRACTION SYSTEM CONTRACTOR AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL BY APPROPRIATE AUTHORITIES.
- DESIGN & PERMITTING FOR ANY REQUIRED SMOKE EXHAUST SYSTEM SHALL BE THE RESPONSIBILITY OF THE SMOKE EXHAUST CONTRACTOR AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL BY APPROPRIATE AUTHORITIES.



FORTUNE COMPANIES, INC.
329 NORTH MAIN STREET
KOKOMO INDIANA 46901

765-457-1700 OFF - 765-452-7998 FAX - www.fc-inc.com

TITLE SHEET

Sheet number

T001



Plot Information:
File Name: Danville-Store
CAD Operator: JML and KLS
Date: 1/13/23
Drawing Date: 1/13/23
Revision Date:

Drawn: JML & KLS
Checked: JML & KLS
Reviewed: JML & KLS

Engineer Associates, Inc.
844 Main Street, Suite 201
Tel City Phone: 812-647-1500
Tel Home Phone: 812-647-1500
Email: info@engineerassociates.com
Website: www.engineerassociates.com

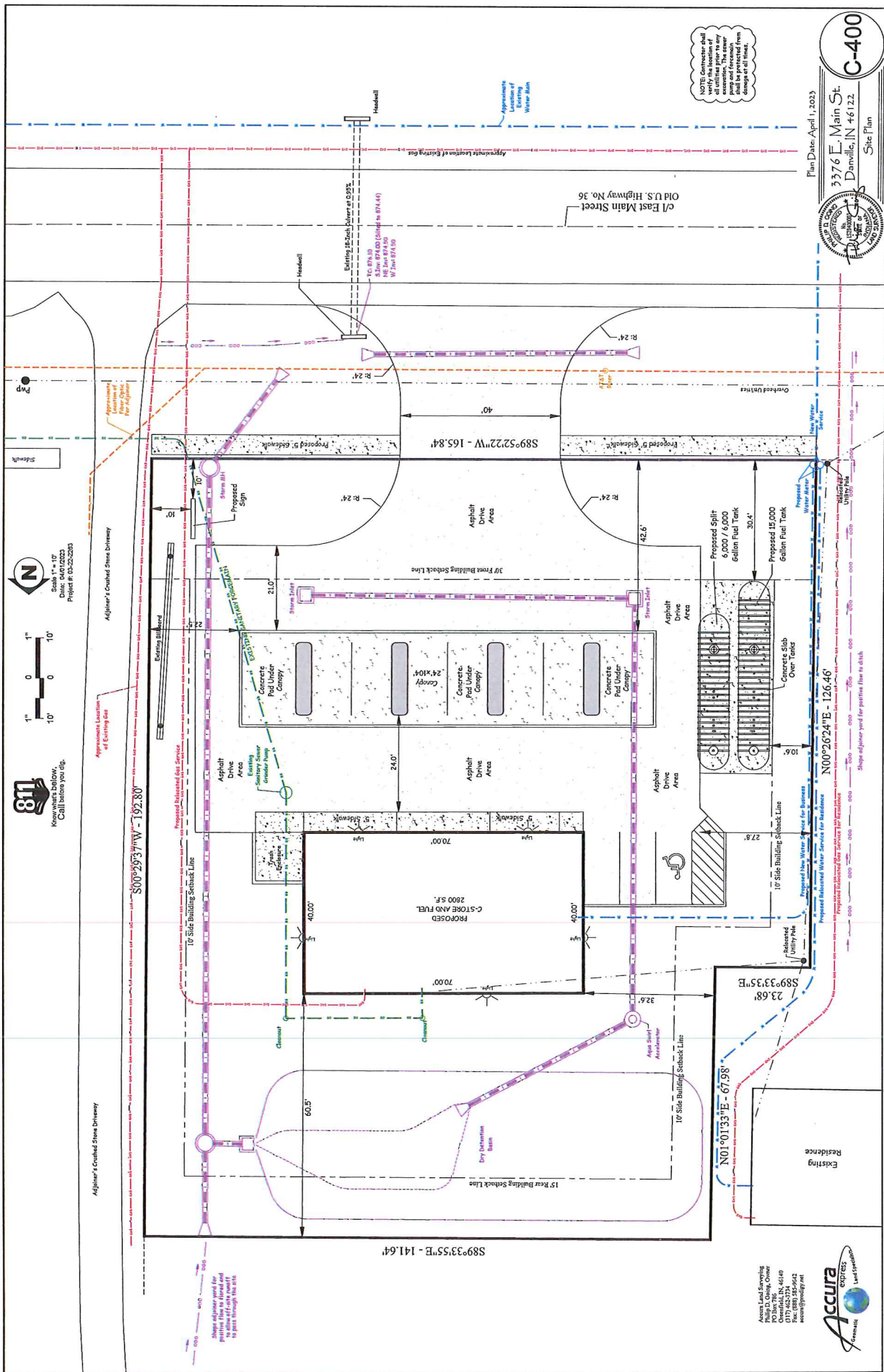
MEMBER
AIA
Professional Engineer
Matthew A. Johnson
Professional Engineer
Indiana License No. 20887

PROJECT NAME:
SINGH DANVILLE CONVENIENCE STORE
PROJECT ADDRESS:
3376 E. Main Street, Danville, IN 46122
OWNER:
JUGAOD, LLC
13150 DITCH RD CARMEL IN 46032
(765) 452-7998 fax
(765) 457-1700

PORTUNE COMPANIES
329 N. Main Street
Danville, IN 46122
(765) 452-7998 fax
(765) 457-1700

ALL ISSUES, REVISIONS, ADDENDUMS AND FIELD NOTES OR NOTES BEING MADE TO THESE DOCUMENTS SHALL BE MADE BY THE ENGINEER OR ARCHITECT AND SHALL BE MAINTAINED AND SHALL ALLOW FOR THE THICKNESS OF FINISHES, INCLUDING CARPET, PAD, CERAMIC TILE, V.C.T., ETC.

JUN 1 2 2023



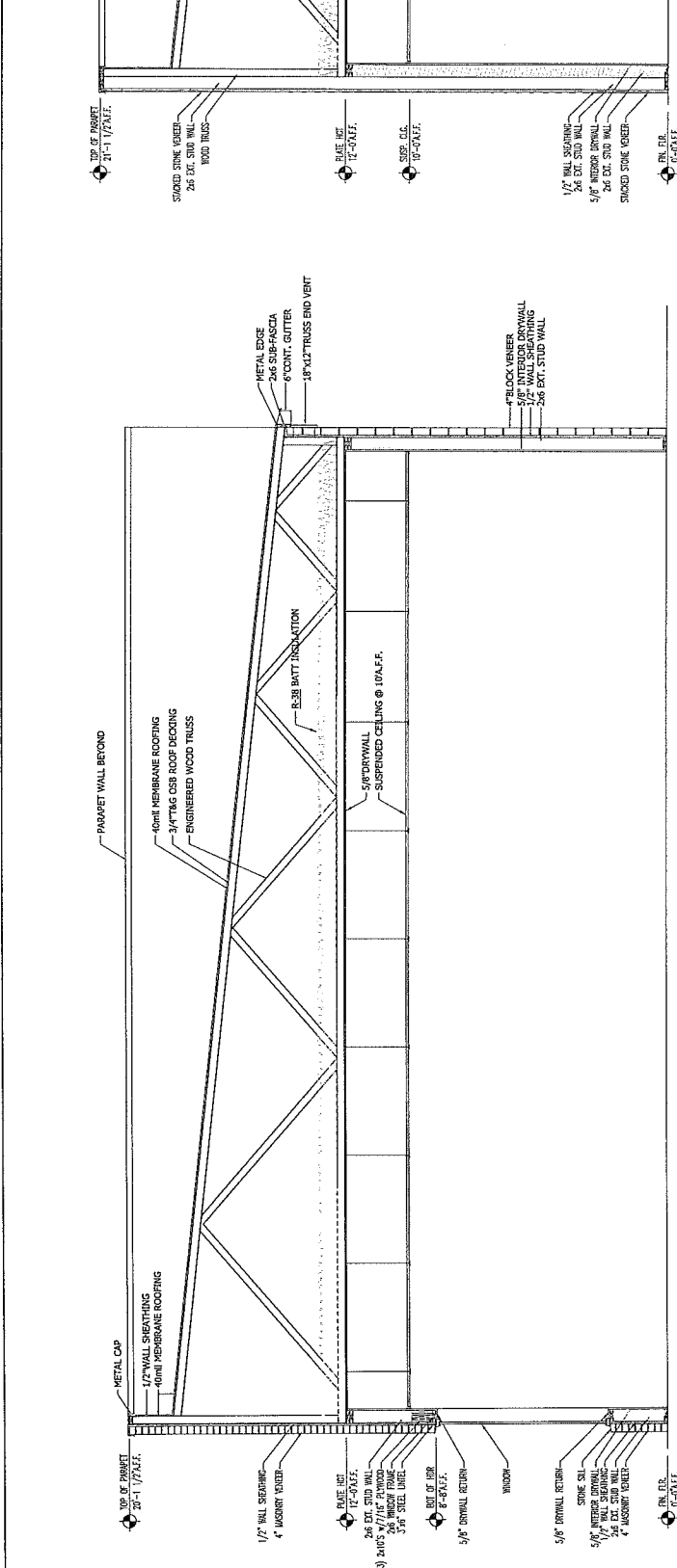
NOTE: Contractor shall verify the location of excavation. The owner shall be protected from damage of all kinds.

Plan Date: April 1, 2023
3376 E. Main St.
Danville, IN 46122
C-400
Site Plan

811
Know what's below.
Call before you dig.

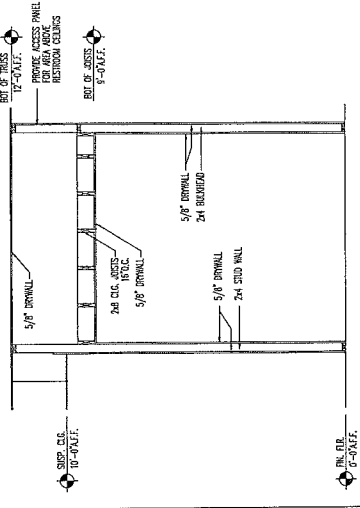
Scale: 1" = 10'
Date: 04/01/2023
Project: 15-02-023

Accura
Accura Land Surveying
PO Box 200
Greenfield, IN 46140
Phone: (888) 335-6642
www.accuraland.com



1 BUILDING SECTION
A202/A301

2 WALL SECTION
A202/A301



TYPICAL WALL SECTION
SCALE: N.T.S.

SECTION
SCALE: 1/4"=1'-0"

23-02
Project Information:
File Name: Danville Office
CAD Operator: MJD and G.S.
Scale:
Sheet number

23-02
Project Information:
File Name: Danville Office
CAD Operator: MJD and G.S.
Scale:
Sheet number

23-02
Project Information:
File Name: Danville Office
CAD Operator: MJD and G.S.
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Project Information:
File Name: Danville Office
CAD Operator: MJD and G.S.
Scale:
Sheet number

23-02
Project Information:
File Name: Danville Office
CAD Operator: MJD and G.S.
Scale:
Sheet number

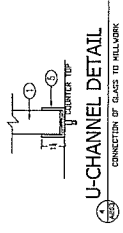
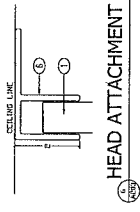
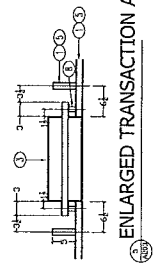
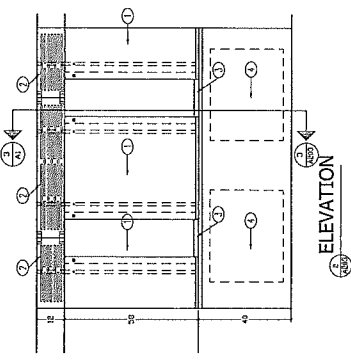
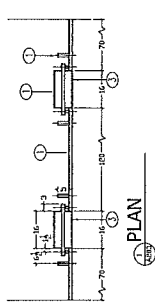
23-02
Project Information:
File Name: Danville Office
CAD Operator: MJD and G.S.
Scale:
Sheet number

23-02
Project Information:
File Name: Danville Office
CAD Operator: MJD and G.S.
Scale:
Sheet number

23-02
Project Information:
File Name: Danville Office
CAD Operator: MJD and G.S.
Scale:
Sheet number

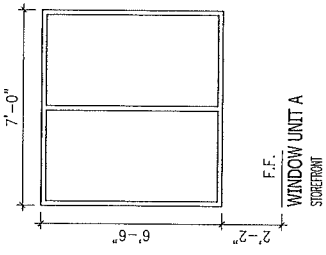
BULLET-PROOF GLASS NOTES:

1. BULLET RESISTANT ACRYLIC OR ACRYL/CYTOCARBONATE COMPOSITE.
2. IF GLASS IS USED, IT SHALL BE LAMINATED GLASS.
3. IF GLASS BRUSHED STAINLESS STEEL IDEAL TRANS.
4. UL RATED BALLISTIC FIBERGLASS FOR UNDERCOUNTER PROTECTION.
5. EXTENDED BALLISTIC FIBERGLASS SHALL BE USED WITH THE LEVEL OF ACRYLIC PROTECTION. STANDARD COLORS: TYP.
6. ALUMINUM ANGLE OR CHANNEL ATTACHMENT FOR HEAD CONNECTION.
7. SUPPLY BALLISTIC FIBERGLASS TO MATCH THE LEVEL OF SYSTEM.
8. BULLET RESISTANT GLAZING MATERIAL TO MATCH THE REST OF SYSTEM.
9. VERIFY FINAL DESIGN DETAILS WITH OWNER.



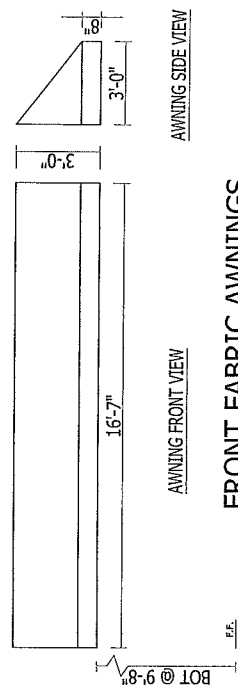
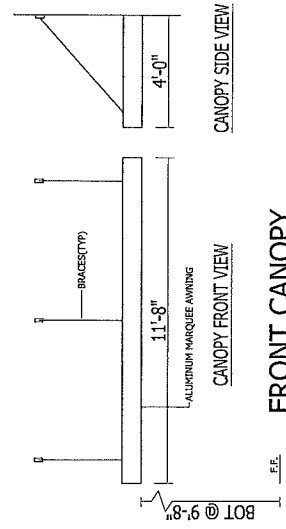
WINDOW ELEVATIONS:

SIZES SHOWN ARE ROUGH OPENINGS



FRONT CASH COUNTER BULLET-PROOF GLASS DETAILS

COORDINATE ALL FINAL SIZING, MATERIALS & FINISHES WITH VENDOR & OWNER - INFORMATION PROVIDED FOR CONCEPTUAL PURPOSES ONLY



FRONT CANOPY

General Awnings brand Imperial Marquee Awning with 8"-Wide Flat Panels or equal
Color: TBD

FRONT FABRIC AWNINGS

TYPICAL 2 PLACES
Color: TBD

AWNING SIDE VIEW

AWNING FRONT VIEW

CANOPY SIDE VIEW

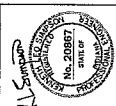
CANOPY FRONT VIEW

SECTIONS / DETAILS

SCALE: 1/4"=1'-0"

Sheet number

A203



23-02
Plot Information:
File Name: Inverse Color
CAD Operator: MUWELIS
Scale:
Drawn: MAJ & MJS
Drawing Date: 1/13/23
Revision Date:

Engineer Associates, Inc.
645 Main Street, Suite 201
Danville, Indiana 46017
Tel: 765/457-1700
Fax: 765/457-1700
Email: info@engineerassoc.com
Kenneth Lee Simpson, P.E.
Drawing Date: 1/13/23
Revision Date:

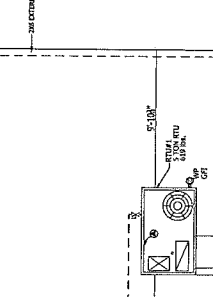


PROJ: NAME
PROJ: LOCATION
CLIENT ADDRESS
13150 DITCH RD CARMEL IN 46032
JUGAAD, LLC
3376 E. Main Street, Danville, IN 46162

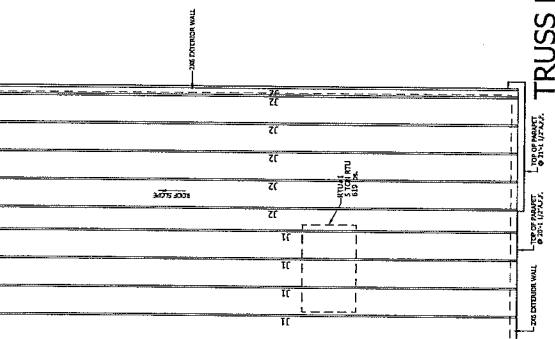
FORTUNE COMPANIES
329 N. Main Street
Kokomo, Indiana 46901
(765) 457-1700
(765) 452-7998 fax

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[illegible]



TRUSSES TO BE ENGINEERED BY TRUSS MANUFACTURER



TRUCK WALL
TOP OF PARAPET
@ 20'-1 1/2" A.J.X.
TOP OF
@ 21'-0"



23-02
Plot Information:
File Name: D:\a401.dwg
CAD Operator: MJA and KLS
Scale:
Scal

Drawn: MJA & KLS
Revision Date: 1/11/23
Revised By:

Engineer Associates, Inc.
640 Main Street, Suite 202
Danville, IN 46011
Tel: 765/947-1100
Fax: 765/947-1100
Email: info@engineer-associates.com
Matthew A. Johnson, P.E.
Danville, IN 46011

NEWBERRY
BD.
Architectural
Professional
Matthew A. Johnson
Professional Engineer
No. 20887
State of Indiana
01/11/23

SINGH DAYVILLE CONVENIENCE STORE
PROJECT LOCATION:
3376 E. Main Street, Danville, IN 46162
OWNER:
JUGAD, LLC
13150 DITCH RD CARMEL IN 46032
(765) 452-7998 fax
323 N. Main Street
Kokomo, Indiana 46901
(765) 457-1700

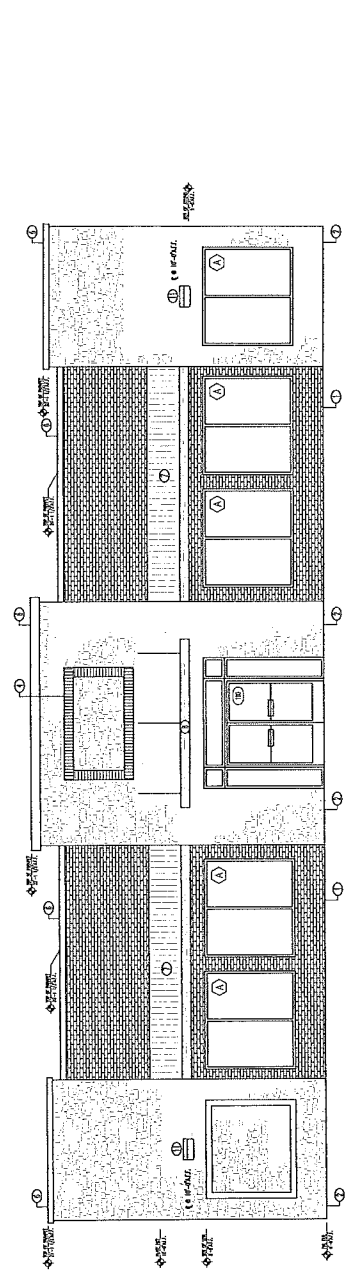
PORTUNE COMPANIES
ALL TRUCKS, TRAILERS, SEMI-TRAILERS AND RIGS REGISTERED IN INDIANA MUST BE EQUIPPED WITH AN EMISSIONS TESTER. ALL EMISSIONS TESTERS MUST BE CALIBRATED AND MAINTAINED IN ACCORDANCE WITH THE EMISSIONS TESTER MAINTENANCE AND CALIBRATION REQUIREMENTS. ALL EMISSIONS TESTERS MUST BE MAINTAINED AND CALIBRATED IN ACCORDANCE WITH THE EMISSIONS TESTER MAINTENANCE AND CALIBRATION REQUIREMENTS. ALL EMISSIONS TESTERS MUST BE MAINTAINED AND CALIBRATED IN ACCORDANCE WITH THE EMISSIONS TESTER MAINTENANCE AND CALIBRATION REQUIREMENTS.

ELEVATION KEYED NOTES:

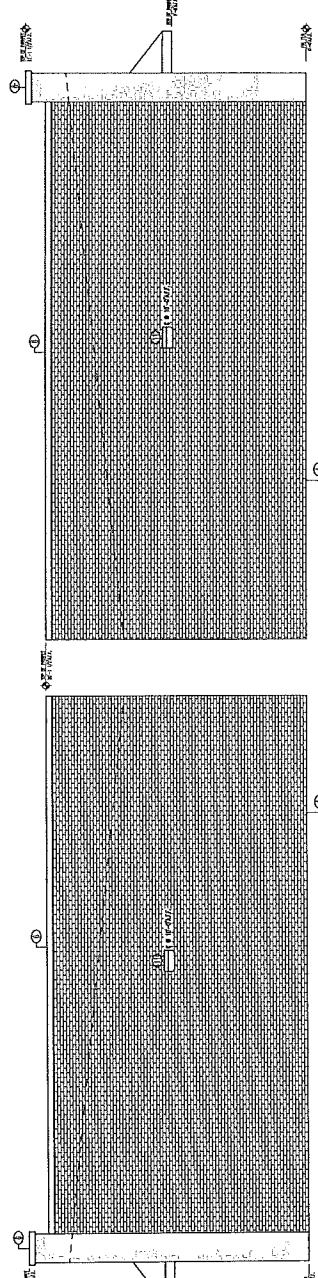
- ① EXISTING
- ② NEW
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FINISH SCHEDULE												
ROOM	NORTH			EAST			WEST			CEILING		
	P1	P2	P3	P1	P2	P3	P1	P2	P3	F1	F2	F3
RETAIL	P1	P1	P1	P1	P1	P1	P1	P1	P1	F1	F1	F1
CASH	P1	P1	P1	P1	P1	P1	P1	P1	P1	F1	F1	F1
RESTROOM	P1	P1	P1	P1	P1	P1	P1	P1	P1	F1	F1	F1
STORAGE	P1	P1	P1	P1	P1	P1	P1	P1	P1	F1	F1	F1
MECH-EL	P1	P1	P1	P1	P1	P1	P1	P1	P1	F1	F1	F1
OFFICE	P1	P1	P1	P1	P1	P1	P1	P1	P1	F1	F1	F1
REAR	P1	P1	P1	P1	P1	P1	P1	P1	P1	F1	F1	F1

FINISH SPECIFICATIONS	
PAINT	P1 = COLOR: T80 (EXTERIOR PAINT)
WALL	P2 = COLOR: T80 (EXTERIOR PAINT)
FLOOR	F1 = COLOR: T80 (EXTERIOR PAINT)
FLOOR	F2 = COLOR: T80 (EXTERIOR PAINT)
FLOOR	F3 = COLOR: T80 (EXTERIOR PAINT)
CEILING	C1 = RESTAURANT QUARTZ TILE - COLOR: T80
CEILING	C2 = RESTAURANT QUARTZ TILE BASE - COLOR: T80
CEILING	C3 = RESTAURANT QUARTZ TILE BASE - COLOR: T80
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CEILING	C100 = RESTAURANT QUARTZ TILE BASE - COLOR: T80

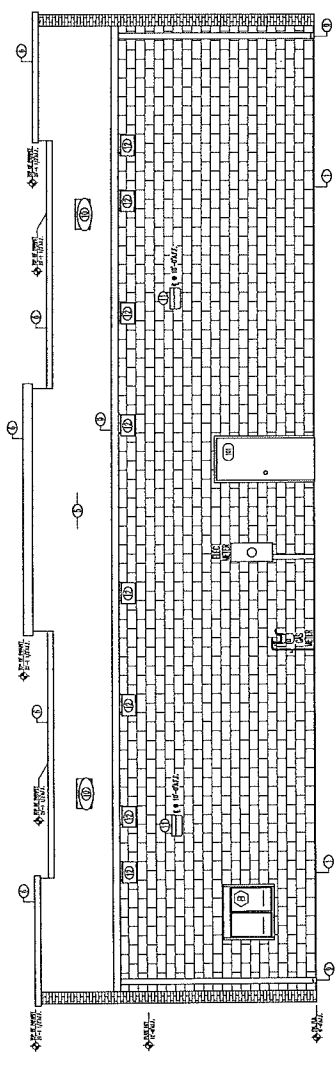


FRONT FACADE



LEFT FACADE

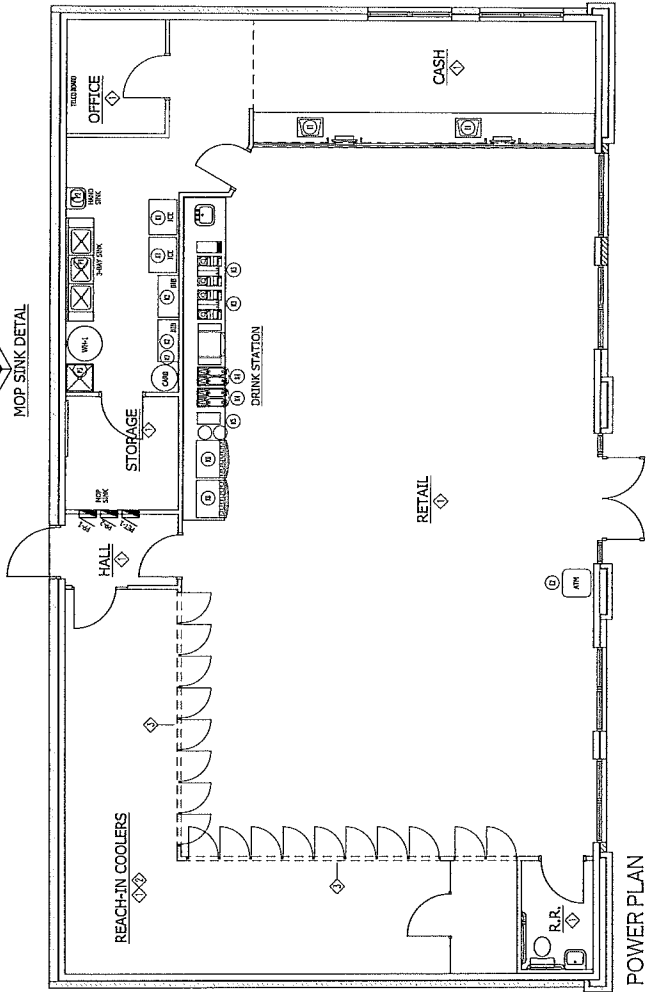
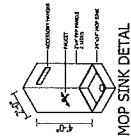
RIGHT FACADE



REAR FACADE

FINISH SCHEDULE												
ROOM	WALL	CEILING	FLOOR	BASE	DOOR	CEILING	DOORS	REMARKS				
RETAIL	P1	P1	P1	P1	P1	P1	P1					
CASH	P1	P1	P1	P1	P1	P1	P1					
OFFICE	P1	P1	P1	P1	P1	P1	P1					
STORAGE	P1	P1	P1	P1	P1	P1	P1					
HALL	P1	P1	P1	P1	P1	P1	P1					
DRINK STATION	P1	P1	P1	P1	P1	P1	P1					
REACH-IN COOLERS	P1	P1	P1	P1	P1	P1	P1					
WALL	P1	P1	P1	P1	P1	P1	P1					
CEILING	P1	P1	P1	P1	P1	P1	P1					

FINISH SCHEDULE												
PAINT	P1	P1	P1	P1	P1	P1	P1					
WALL	P1	P1	P1	P1	P1	P1	P1					
WALL	P1	P1	P1	P1	P1	P1	P1					
FLOOR	P1	P1	P1	P1	P1	P1	P1					
FLOOR	P1	P1	P1	P1	P1	P1	P1					
CEILING	P1	P1	P1	P1	P1	P1	P1					



FINISH GENERAL NOTES:

1. ALL PAINTED FINISHES SHALL BE NO LESS THAN ONE (1) COAT PRIMER AND TWO (2) COATS FINISH PAINT.
2. ALL FINISHES AND METHODS OF ATTACHMENT SHALL MEET THE REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL AGENCIES.
3. ALL FINISHES SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
4. AT AN AREA WHERE MULTIPLE FLOOR FINISHES MEET, CONTRACTOR TO PATCH THE SUB FLOOR AND/OR FINISHES TO MATCH THE FINISHES OF THE ADJACENT FLOOR.
5. ALL FINISHES SHALL BE INSTALLED TO MATCH THE FINISHES OF THE ADJACENT FLOOR.
6. ALL FINISHES SHALL BE INSTALLED TO MATCH THE FINISHES OF THE ADJACENT FLOOR.
7. ALL FINISHES SHALL BE INSTALLED TO MATCH THE FINISHES OF THE ADJACENT FLOOR.
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13. ALL FINISHES SHALL BE INSTALLED TO MATCH THE FINISHES OF THE ADJACENT FLOOR.
14. ALL FINISHES SHALL BE INSTALLED TO MATCH THE FINISHES OF THE ADJACENT FLOOR.
15. ALL FINISHES SHALL BE INSTALLED TO MATCH THE FINISHES OF THE ADJACENT FLOOR.

EQUIPMENT SCHEDULE												
EQUIPMENT	NAME	MODEL	MANUFACTURER	QUANTITY	UNIT PRICE	TOTAL PRICE	REMARKS	DATE	BY	REVISION	DATE	BY
1	REACH-IN COOLER	12\"/>										

*NOT ALLOWED INTO THE UNIT IF EQUIPMENT IS NOT SHOWN.

FINISH NOTES:

1. ALL FINISHES SHALL BE INSTALLED TO MATCH THE FINISHES OF THE ADJACENT FLOOR.
2. ALL FINISHES SHALL BE INSTALLED TO MATCH THE FINISHES OF THE ADJACENT FLOOR.
3. ALL FINISHES SHALL BE INSTALLED TO MATCH THE FINISHES OF THE ADJACENT FLOOR.
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13. ALL FINISHES SHALL BE INSTALLED TO MATCH THE FINISHES OF THE ADJACENT FLOOR.
14. ALL FINISHES SHALL BE INSTALLED TO MATCH THE FINISHES OF THE ADJACENT FLOOR.
15. ALL FINISHES SHALL BE INSTALLED TO MATCH THE FINISHES OF THE ADJACENT FLOOR.



FINISHES/EQUIP/SCHEDULES

SCALE: 1/4"=1'-0"



Sheet number

A601

Plot Information:
Drawing Date: 12/1/23
Revision Date: 12/1/23

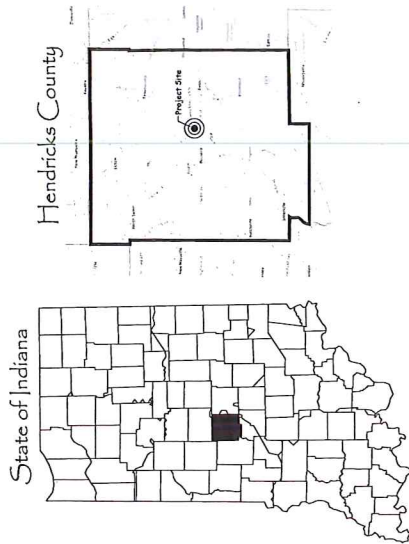
Project Information:
Project Name: SINGH DANVILLE CONVENIENCE STORE
Project Location: 3376 E. Main Street, Danville, IN 46122
Client: JUGAAD, LLC
13150 DITCH RD CARMEL IN 46032

Engineer: Engineer Associates, Inc.
444 Main Street, Suite 201
Tel: 317.438.4444
Fax: 317.438.4444
Email: info@ea-inc.com
Website: www.ea-inc.com

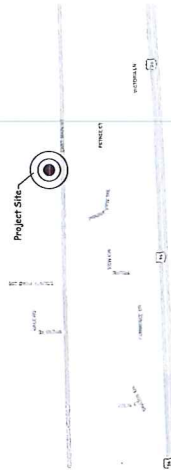
Architect: Architect Associates, Inc.
444 Main Street, Suite 201
Tel: 317.438.4444
Fax: 317.438.4444
Email: info@aa-inc.com
Website: www.aa-inc.com

Fortune Companies
329 N. Main Street
Kokomo, Indiana 46901
(765) 452-7998 fax
(765) 457-1700

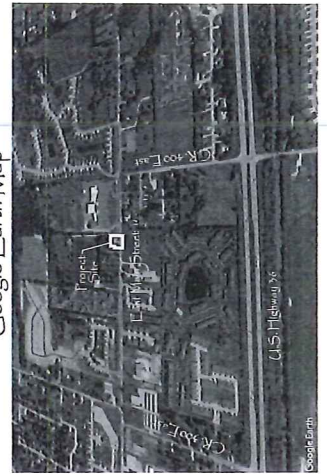
These notes are intended to provide information to the contractor and are not to be used as a substitute for the manufacturer's instructions. The contractor is responsible for obtaining the manufacturer's instructions for all materials and equipment used in the project. The contractor is also responsible for obtaining the necessary permits for the project. The contractor is not responsible for the accuracy of the information provided in these notes. The contractor is also responsible for obtaining the necessary permits for the project. The contractor is not responsible for the accuracy of the information provided in these notes.



Area Street Map

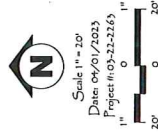


Google Earth Map



3376 East Main St.

Part of Section 06, T12N, R1E
Center Township, Hendricks County, Indiana
Zoned GB - General Business
HUC 14: 05120201150100



JUN 1 2 2023

NOTE: Any variation from the approved plan must be approved in writing by Accura Express, LLC. Any evidence found in the field that differs from that shown on the plan shall be brought to the attention of Accura Express LLC immediately.

Table of Contents

Table of Contents	Revisions
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Grading Plan.....	C-500
Erosion Control Plan.....	C-600
SWPPP.....	C-700
Landscape Plan.....	C-800
Lighting Plan.....	C-900

Contact Information

Philip Going, Surveyor.....(317) 462-3734
Danville Plan Commission.....(317) 745-4180 x 1101
Town Manager.....(317) 745-4180 x 1001
West Central Conservancy.....(317) 272-2980
Danville Water Dept.....(317) 745-4180 x 8001
Duke Energy.....(317) 745-1000
Vectren Energy Delivery.....(317) 718-3604
A.T. & T. - SBC Global.....(888) 635-5050
Indiana Underground PPS.....(800) 382-5544

EMERGENCY NOTIFICATION

Emergency Management.....(317) 745-9729
Police (non-emergency).....(317) 745-2486
Sheriff (non-emergency).....(317) 745-6269
E-911 EMERGENCY.....911
DNR (Div. of Water).....(317) 232-4160
IDEM (General).....(317) 232-8603
IDEM (Report Emergencies).....(888) 233-7745
Danville Fire Dept. Headquarters.....(317) 745-3008

Project Owner:
Jugaad LLC
13150 Ditch Road
Carmel, IN 46032
Contact:
Sukhwinder Singh
(812) 391-3062



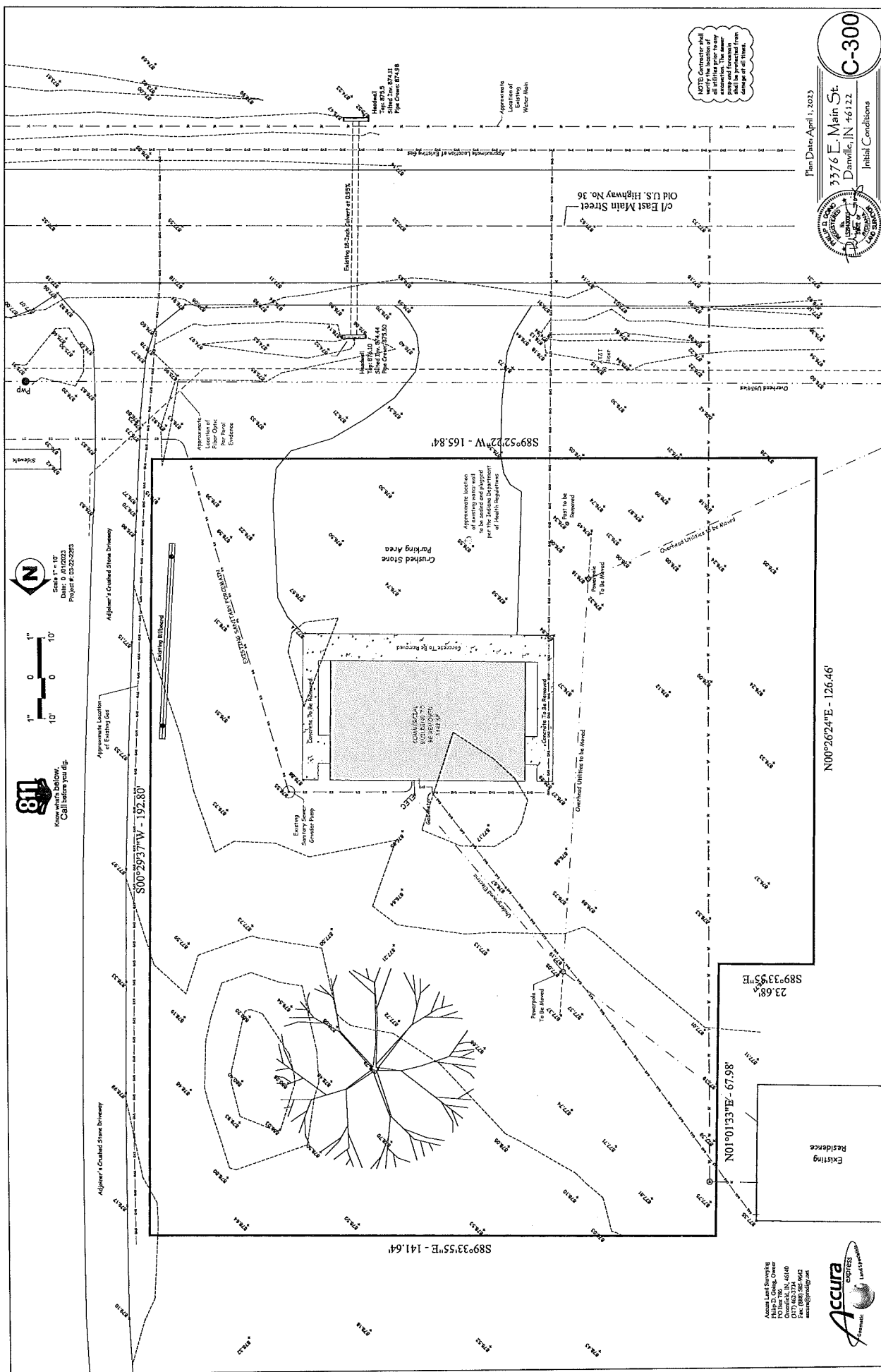
Know what's below.
Call before you dig.

Plan Date: April 1, 2023

3376 E. Main St.
Danville, IN 46122

Cover Sheet

C-100



NOTE: Contractor shall excavate the sewer all utilities prior to any excavation. The sewer shall be protected from damage at all times.

Plan Date: April 1, 2023
 3376 E. Main St.
 Danville, IN 46122
 Initial Conditions



Scale: 1" = 10'
 Date: 04/01/23
 Project #: 15232-2200

Know what's below.
 Call before you dig.



Accura
 10000 N. 100th Ave.
 PO Box 786
 Danville, IN 46122
 (317) 662-2734
 Fax: (888) 555-5623
 www.accura.com

N00°26'24"E - 126.46'

S89°33'55"E - 141.64'

N01°01'33"E - 67.98'

S89°52'22"W - 165.84'

S00°29'37"W - 192.80'

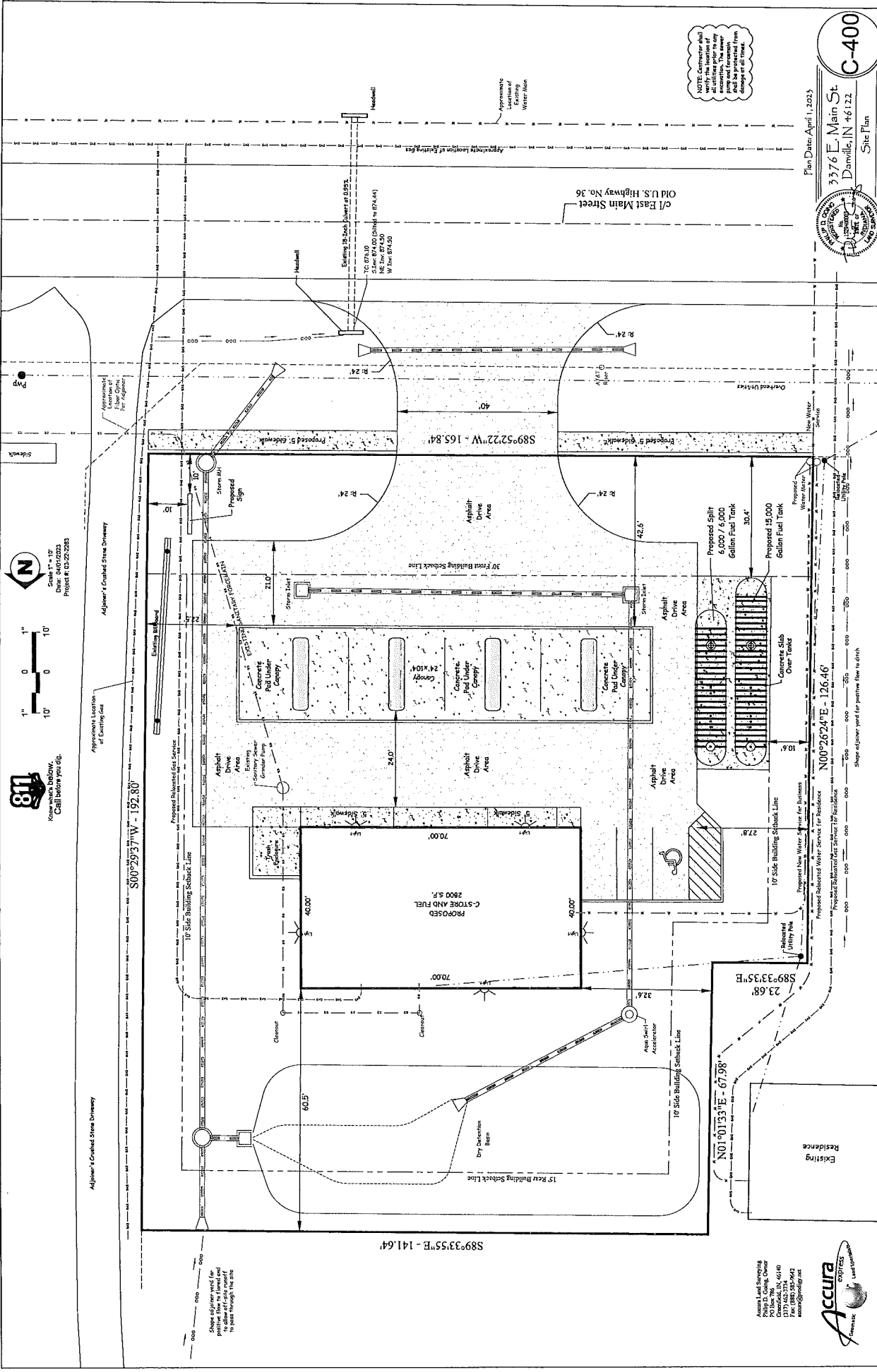
Adjacent's Cracked Stone Driveway

Adjacent's Cracked Stone Driveway

Adjacent's Cracked Stone Driveway

Adjacent's Cracked Stone Driveway

Adjacent's Cracked Stone Driveway



NOTE: Contractor shall
at utilities prior to any
excavation. The owner
pump and sewer
shall be protected from
damage.

Plan Date: April 1, 2023

3376 E. Main St
Danville, IN 46122

C-400

Site Plan

811

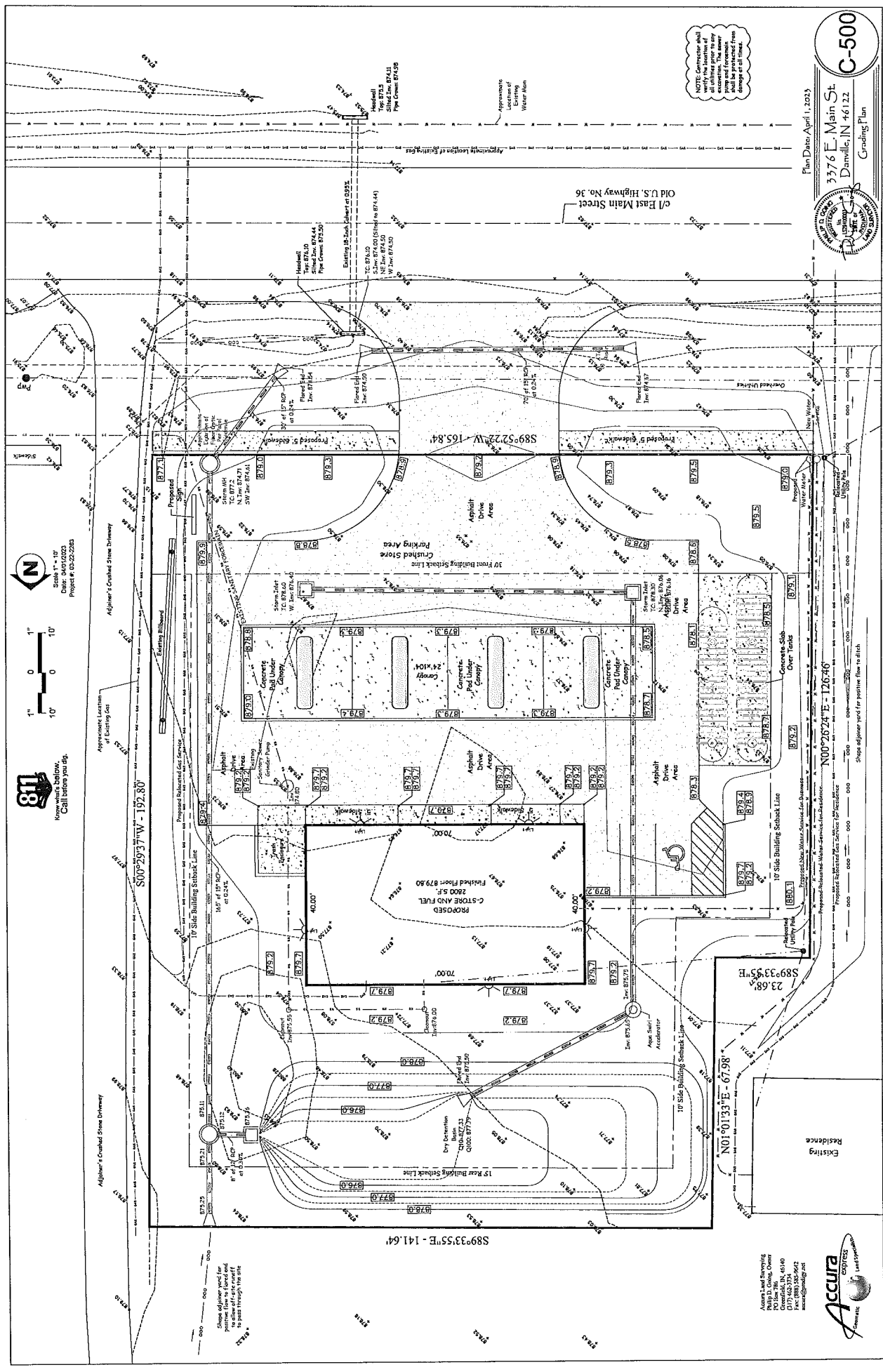
Know what's below.
Call before you dig.

Scale 1" = 10'

Project # 13-22-2283

accura
EXPRESS

Accura Land Surveying
PO Box 786
Danville, IN 46122
Office: (812) 232-4040
Cell: (812) 232-9642
accura@accura.net



NOTE: Contractor shall verify all utility prior to any excavation. The owner shall be protected from damage at all times.

Plan Date: April 1, 2013

3376 E. Main St.
Danville, IN 46122

C-500

Grading Plan

Know what's below.
Call before you dig.

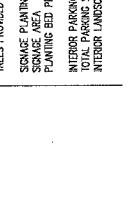
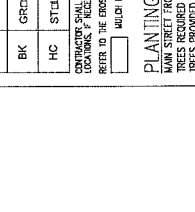
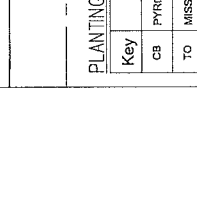
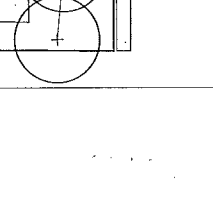
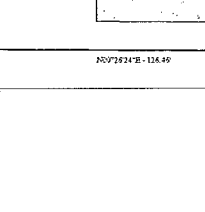
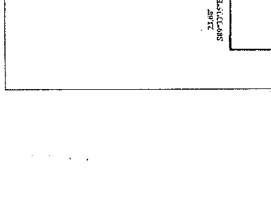
Scale 1" = 10'
0 10'

Project #: 03-22-2293

Accura

Accurate Grading
PO Box 786
PO Box 786
03742-0786
Fax: (888) 555-5627
www.accuragrading.com

Region Details



1

1

21057
L5511C-085

1880

NOV 28

724-E-126.46

1

PLANTING

Key	PYRI	MISS
CB		
TO		

BK	GR
HC	ST

CONTRACTOR SHALL

LOCATIONS, IF NEEDED, REFER TO THE EROSION ☐ MULCH PLANTING

MAIN STREET FROM
TREES REQUIRED
TREES PROVIDED

SIGNAGE PLANTING
SIGNAGE AREA
PLANTING RET. P.

INTERIOR PARKING
TOTAL PARKING
INTERIOR LANDSCAPE



3735 Old U.S. 36
3376 East Main Street - Proposed site for Convenience Store

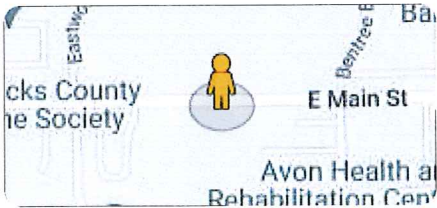


Danville, Indiana

 Google Street View

May 2023 See more dates

Image capture: May 2023 © 2023 Google





3735 Old U.S. 36

3376 East Main Street - Proposed Convenience Store - Looking West

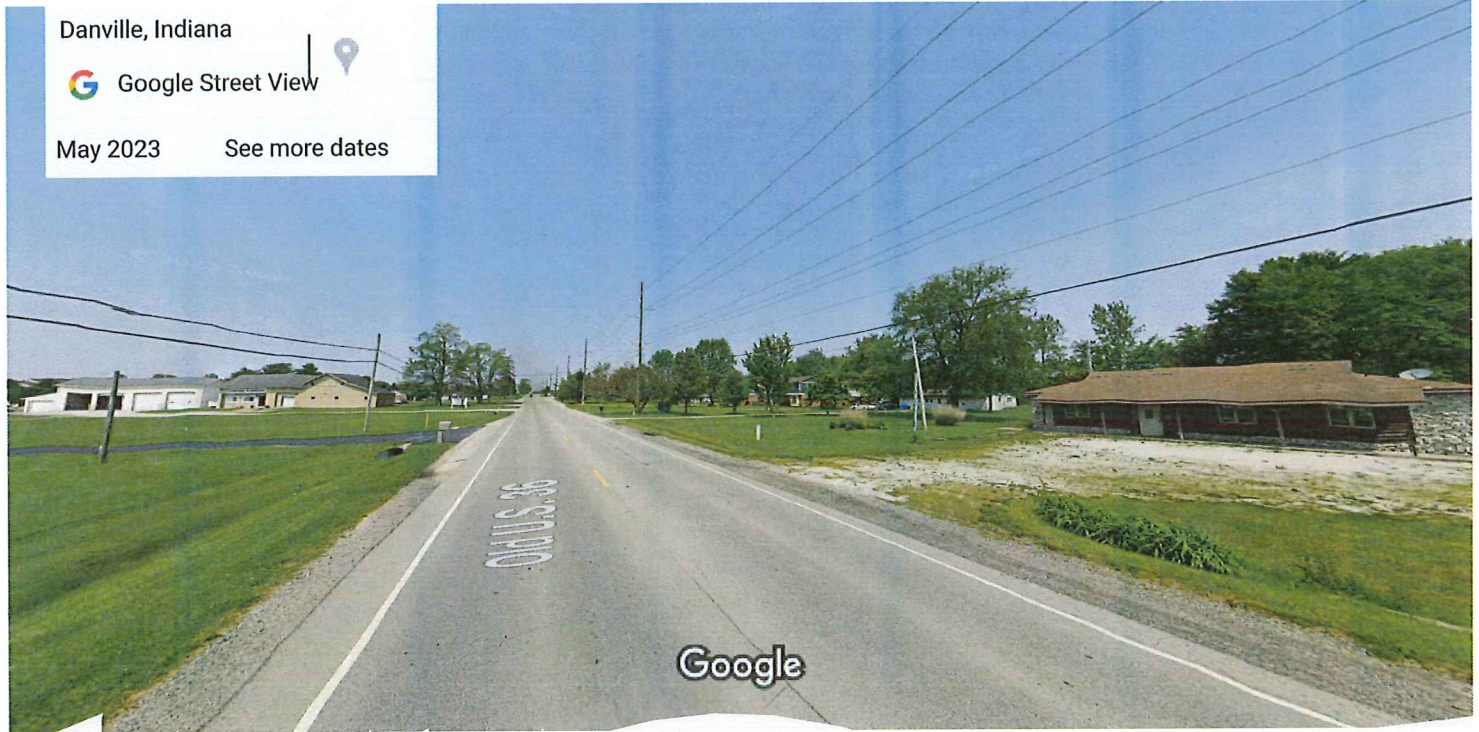
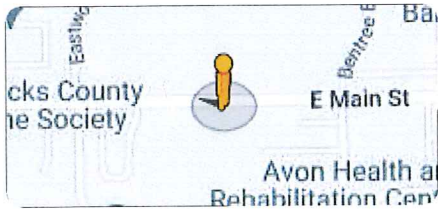


Image capture: May 2023 © 2023 Google





3735 Old U.S. 36

3376 East Main St. - Proposed Convenience Store - Looking South

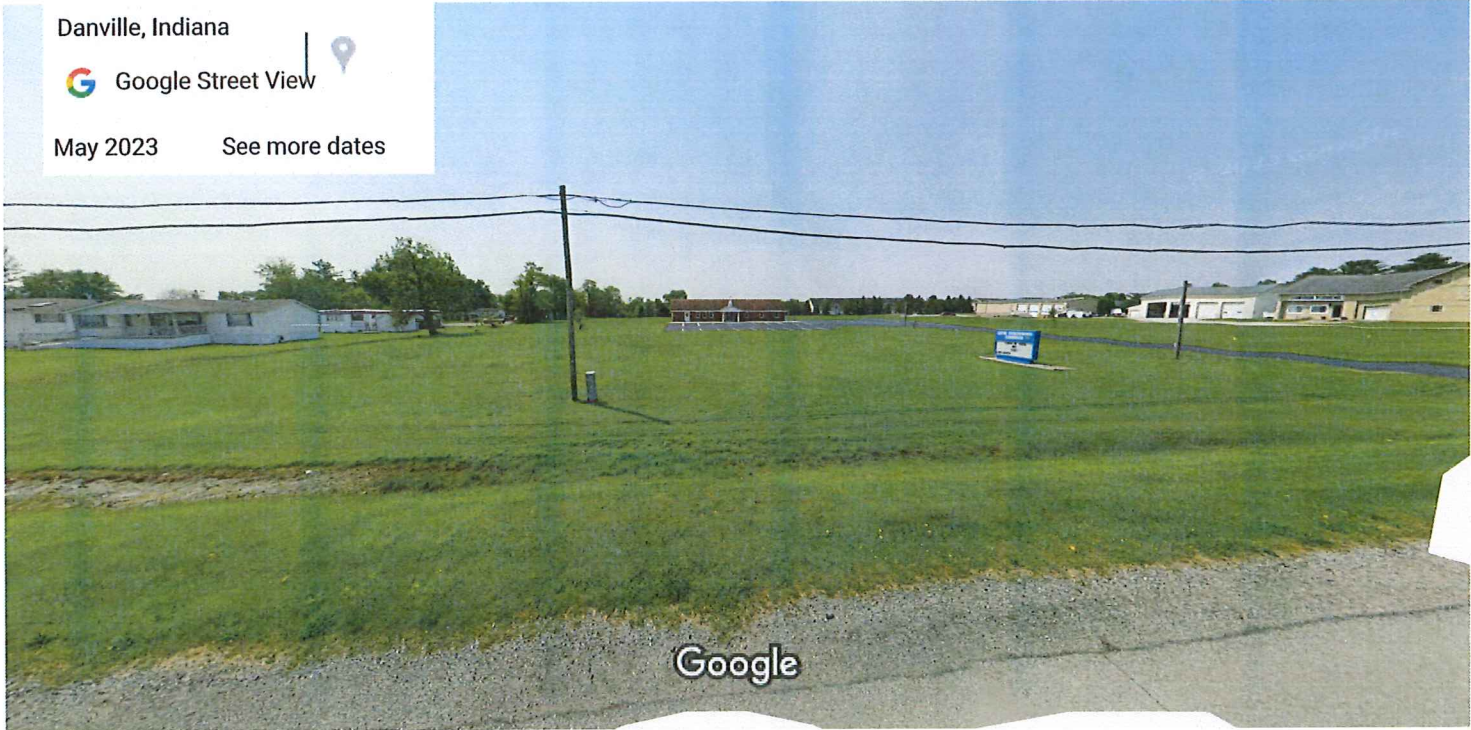
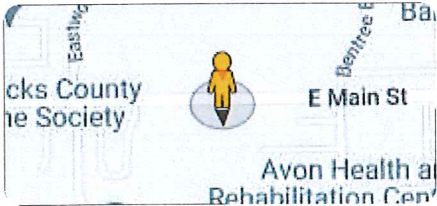


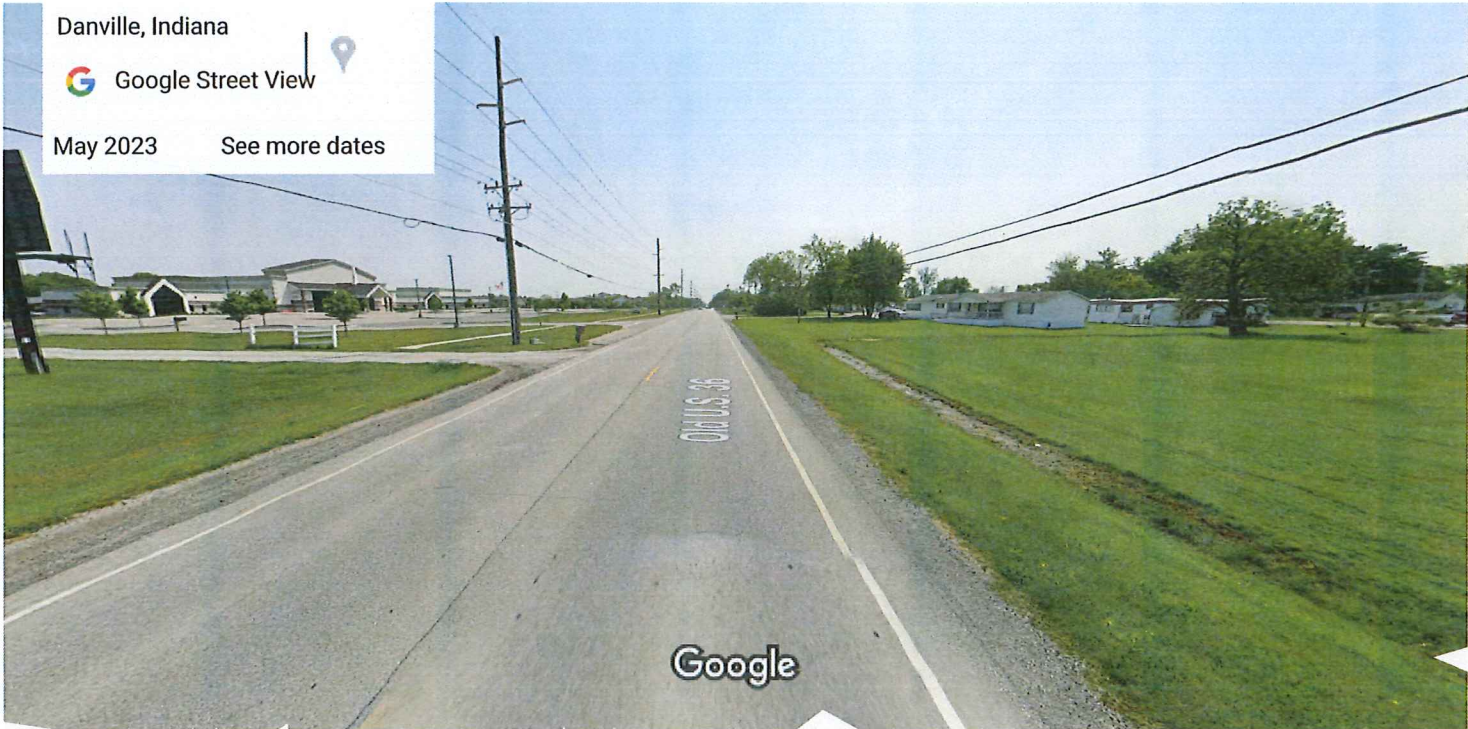
Image capture: May 2023 © 2023 Google





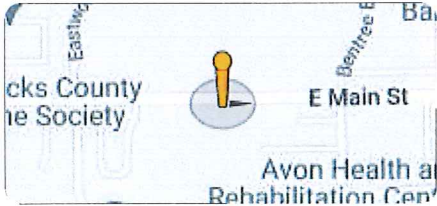
3735 Old U.S. 36

3376 East Main St - Proposed Convenience Store - Looking East



Danville, Indiana
Google Street View
May 2023 See more dates

Image capture: May 2023 © 2023 Google



Application for CPOD Design Review

APPLICANT INFORMATION

JUN 20 2023

Name of Applicant: ANTHONY D. HIGBIE
 Mailing Address: 6141 WALKABOUT WAY BROWNSBURG, IN 46112
 Phone: 317-979-2822 Email: tonyhigbie@gmail.com
 Property Owner(s) ANTHONY D. HIGBIE
 Mailing Address: SAME AS ABOVE
 Phone: 317-979-2822 Email: SAME AS ABOVE
 Project Engineer/Architect: Anthony D. Higbie P.S.
 Address: 6141 Walkabout Way Brownsburg, IN 46112
 Phone: 317-979-2822 Email: tonyhigbie@gmail.com

PROJECT INFORMATION

Location of Project: 25 West Marion Street Danville, IN 46122
 Existing Use of Property: Land Surveying Office Current Zoning: Primary CB District
 Proposed Use of Property: Same Acreage: 0.03 Acs
 Type of Activity: New Construction _____ Exterior Renovation Window Sign Door (Front)
 Est. Project Cost: \$2500 + Est. Start Date: End of July if can't be fixed

Documents to be included with application (1 original and 1 electronic):

- ☐ Building elevations of all elevations new and/or altered NA
- ☒ Color samples
- ☒ Photos of adjacent structures
- ☐ Signage and/or lighting NA
- ☒ List of work to be completed in numerical order
- ☒ Letter of Intent describing in detail the scope of work to be performed

Signature of Applicant: Anthony D. Higbie P.S. Date: 6/19/2023

APPLICATION FEES

Residential	\$50
Residential accessory >150 sq ft	\$25
Commercial	<u>\$150</u>
Commercial accessory	\$100
Sign	\$50

Fee paid: 150.00 Received by: Jana Turt Date: 6-20-2023

PETITIONER MUST BE PRESENT FOR DRC & PC MEETINGS

Anthony Higbie

25 West Marion Street
Danville, IN 46122

19th June 2023

JUN 20 2023

COPD Design Review Committee

49 Wayne Street
Danville, IN 46122

To whom it may concern,

The scope of this proposed project is to replace the existing window on the east side of my office building located at 25 West Marion Street in the town of Danville, Indiana.

The location is also known as part of Lot 7 in Block 28 in the original town of Danville, Indiana.

The existing window I want to replace is a double window with a mull that is approximately a 68" rectangle.

This existing window is enclosed with brick and trim on each side and a stone window sill on the bottom which sits on top of the brick.

The new window will be a picture window square which will be approximately 68" on each side with matching trim and color to the windows on the west window.

My front door has a problem closing. This should be fixable with a new bottom closer. If not, I will replace the door to be like my existing door.

Sincerely,

Anthony H. Higbie P.S.

Corridor Protection Overlay District (CPOD) Review Checklist

Property Location: 25 West Marion Street Dandville, IA 46122

Name of Applicant: Anthony Higbie

Design Review Committee Meeting Date: _____

DEVELOPMENT STANDARDS

Architecture (pg 97)

New construction conforms to the following architectural style:

☐ American Four Square	☐ Gothic Revival	☐ Renaissance Revival
☐ Bungalow	☐ Greek Revival	☐ Roman Classicism
☐ Colonial Revival	☐ Italianate	☐ Romanesque Revival
☐ Eastern Stick	☐ Neoclassical	☐ Second Empire
☐ Federal	☐ Prairie	☐ Tudor Revival
☐ Georgian	☐ Queen Anne	☐ Victorian Gothic
		☐ Victorian Vernacular

- ☒ Exterior renovation of existing building conforms in style and context with the existing building's architecture.
- ☒ New construction style compatible with the intent of the CPOD.

Comments: I am replacing an old Double Window with a mull. The New Window will be a picture window with Trim and color to match The Remaining Exterior.

Building Orientation (pg 98)

- ☒ The primary structure faces the front of the lot on which it is located.
- ☐ The structure is located in the CB-P District and is set to the prevailing streetwall.
- ☐ The structure is located in the CB-S District and is no *closer* to the front lot line than the adjacent primary structure that is closest to the front lot line. The location of the primary structure is no *further* from the lot line than the adjacent primary structure that is farthest from the front lot line. In any case, the structure is not set back from the front lot line more than 5 feet.
- ☐ The structure is not in a CB-P or CB-S District and is setback according to the setback requirements listed for that district.
- ☒ This is an existing structure. The building orientation is not being altered.
- ☒ There are no loading docks, overhead service doors, or trash collection bins placed on or adjacent to any façade which faces a public street.

Comments: _____

Large Building Elevations (pg 98)

The front elevation of large structures must be divided into smaller areas or planes. If the front elevation of the structure is more than 750 square feet in area, the elevation must be divided into distinct planes of 750 square feet or less. For the purpose of this standard, areas of wall that are entirely separated from other wall areas by a projection, such as a porch or a roof over a porch, are also individual building wall planes. This division is accomplished by the following:

- ☐ A porch, a dormer that is at least 4 feet wide, or a balcony that is at least 2 feet deep and is accessible from an interior room.
- ☐ A bay window extending at least 2 feet.
- ☐ A recessed section of the façade at least 2 feet deep and at least 6 feet long.
- ☒ The front elevation does not exceed 750 sq. ft. in area.
- ☒ This is an existing structure.

Comments: _____

Building Height (pg 99)

- ☐ The maximum height of the primary structure does not exceed 50 feet.
- ☐ The structure is in the CB-P District and the minimum height of the primary structure is at least 26 feet.
- ☐ The structure is not in the CB-P District and the minimum height of the primary structure is at least 16 feet.
- ☒ This is an existing structure. The height is not being altered.

Comments: *My Building has a Mansard Roof which Continues Along Kevin Hinkles Law Firm*

Main Entrance (pg 99)

Non-residential

- ☒ The main entrance to the structure faces Main Street. On corner lots the main entrance may face either Main Street or be oriented to the corner.
- ☐ If the front entrance has an awning, it is made of professional-grade fabric or canvas.
- ☐ If the front entrance has a canopy, the design is architecturally integrated, is shaped to fit the opening, and is without back lighting.
- ☐ If the front porch or covered balcony at a main entrance provides columns as corner supports, the columns are consistent with the architectural style of the primary structure.
- ☐ All openings between the porch floor and the ground are covered with a solid material or lattice.

Residential

- ☐ The main entrance to the structure faces Main Street. On corner lots the main entrance may face either Main Street or be oriented to the corner.
- ☐ There is a front porch surrounding the main entrance that faces a street. If the porch projects out from the building, it must have a roof. If the roof of a required porch is developed as a deck or balcony, it may be flat.
- OR**
- ☐ There is a covered balcony over the main entrance that faces a street. The floor of the covered balcony must be no more than 15 feet above grade, and must be accessible from the interior space of the building.

- ☐ If the front entrance has an awning, it is made of professional-grade fabric or canvas.
- ☐ If the front entrance has a canopy, the design is architecturally integrated, is shaped to fit the opening, and is without back lighting.
- ☐ If the front porch or covered balcony at a main entrance provides columns as corner supports, the columns are consistent with the architectural style of the primary structure.
- ☐ All openings between the porch floor and the ground are covered with a solid material or lattice.

Non-residential or Residential

- ☐ This is an existing structure. The main entrance is not being altered.

Comments: _____

Reinforcing the Corner (pg 100)

On sites within the CB-P and CB-S Districts, all of the following requirements have been met:

- ☐ The primary structure meets the average front setback of adjacent buildings, but is not more than 10 feet from the edge of the right-of-way.
- ☐ The highest point of the building's street-facing elevation is within 25 feet of the corner.
- ☐ The main entrance is on a street-facing wall and either at the corner, or within 25 feet of the corner.
- ☐ There is no parking within 40 feet of the corner.
- ☐ This is an existing structure. The footprint is not being altered.

Comments: _____

Exterior Finish Materials (pg 100)

On all building facades, at least 80% of the structure's exterior is finished using the following:

- ☐ Quarried stone
- ☐ Cultured stone
- ☒ Brick
- ☐ Wood siding
- ☐ Composite lap siding*
- ☐ Architectural concrete

On all building facades, no more than 20% of the structure's exterior is finished using the following materials:

- ☐ Metal
- ☐ Wood shakes
- ☐ Stucco (EIFS)
- ☒ Exterior color is appropriate to the architectural style and compatible with adjacent buildings.
- ☐ Another building material is proposed but must be approved by the Committee.
- ☒ This is an existing structure. Exterior alterations or renovations are consistent with the existing façade finish.

**Where horizontal siding is used, it is shiplap or clapboard siding composed of boards with a reveal of 3 to 6 inches. Vinyl or aluminum siding that is in clapboard or shiplap pattern may be used where the boards in the pattern are 6 inches or less in width.*

Comments: _____

Foundation Material (pg 101)

- ☐ Plain concrete block or exposed concrete is being used as foundation material since the foundation material is not revealed more than 1 foot above the finished grade level adjacent to the foundation wall.
- ☒ This is an existing structure. No new foundation is being added.

Comments: _____

Foundation Landscaping (pg 103)

For any non-residential use, all street-facing elevations must have landscaping along their foundation. The landscaped area may be along the outer edge of a porch instead of the foundation. This landscaping requirement does not apply to portions of the building façade that provide access to the building for pedestrians or vehicles. The foundation landscaping must meet the following standards:

- ☐ The landscaping plants comply with the list provided in Appendix C.
- ☐ The landscaped area is at least 3 feet wide.
- ☐ There is at least one (1) three-gallon shrub for every three (3) lineal feet of foundation
- ☐ **AND** ground cover plants will fully cover the remainder of the landscaped area.
- ☒ This is an existing non-residential structure. No new foundation is being created.

Comments: _____

Distinct Ground Floor (pg 101)

- ☐ The ground floor of the primary structure is visually distinct from upper stories. This distinction is provided by the following:
 - ☐ a cornice above the ground level,
 - ☐ an arcade,
 - ☐ a portico, or
 - ☐ changes in building material or texture.
- ☒ This is a single story structure.
- ☒ This is an existing structure. The existing ground floor distinction is not being altered.

Comments: *I am replacing a double window which has a mull with a (old) picture window.*

Windows (pg 101)

- ☐ This is a new non-residential structure in a commercial district. At least 60% of the street-facing ground level façade is comprised of windows. The windows are:
 - ☒ Either square or vertical and are at least as tall as they are wide.
 - ☐ Horizontal window openings have been created by two or more vertical windows grouped together to provide a horizontal opening and they are either all the same size, or no more than two sizes are used.
- ☒ This is a non-residential renovation and windows are being replaced with ones that match the existing windows.*
- ☐ This is a residential structure and at least 15% of the area of the street-facing façade is comprised of windows.
- ☐ This is an existing structure. Existing windows are not being altered.

*Where applicable, the Committee may approve replacement windows that do not match.

Comments: *I am altering a Double Window with a picture. Size will be the same*

Trim and Historic Details (pg 102)

- ☒ Trim marks all building roof lines, porches, windows, and doors on all elevations.
- ☒ The trim is at least 3-1/2 inches wide.
- ☒ Historic details are being retained or replicated.*
- ☐ This structure is constructed with a masonry exterior and is exempt from this standard.

*Where applicable, the Committee may approve replacement materials that do not match.

Comments: _____

Roofs (pg 102)

This structure has:

- ☐ A sloped roof with a pitch that is no flatter than 4/12 and no steeper than 12/12
- OR**
- ☐ A roof with a pitch of less than 4/12 and has a cornice that meets the following:
 - ☐ Contains a two-part cornice. The top part of the cornice projects at least six inches from the face of the building and is at least 2 inches further from the face of the building than the bottom part of the cornice; **AND**
 - ☐ The height of the cornice is based on the height of the building as follows:
 - ☐ This building is 16 feet in height and has a cornice at least 12 inches high.
 - ☐ This building is more than 16 feet but less than 26 feet and has a cornice at least 18 inches high.
 - ☐ This building is 26 feet or more and has a cornice at least 24 inches high.
- ☒ This is an existing structure. The roof is not being altered.

Comments: _____

Roof Eaves (pg 103)

- ☐ Roof eaves on all elevations project from the building wall at least 12 inches for every 12 feet of building height.
- ☐ This structure is located in the CB-P District and is exempt from this standard.
- ☒ This is an existing structure. The eaves are not being altered.

Comments: _____

Exterior Stairs and Fire Escapes (pg 103)

- ☐ Exterior stairs, other than those leading to a main entrance, are at least 40 feet from all streets.
- ☐ This structure is not located in the CB-P District and the fire escapes are at least 40 feet from all streets.
- ☒ This is an existing structure. The exterior stairs and/or fire escapes are not being altered.

Comments: No stairs or Fire Escapes

Parking Lot Location (pg 106)

For parking areas which include 15 or more parking spaces:

- ☐ If located in the CB-P or CB-S District, no parking lot is placed between the primary structure and the abutting public street.
- ☐ If located in any other district, no more than 10% of the parking spaces provided are placed between the front façade of the primary structure and the abutting public street.
- ☐ The parking area contains less than 15 spaces.
- ☒ The existing parking area is not being altered.

Comments: _____

Parking Area Landscaping (pg 103)

- ☐ Landscape screening is provided around the perimeter of all parking areas which include 15 or more parking spaces.
- ☐ The landscaping plants comply with the list provided in Appendix C.
- ☐ The screening is located within 5 feet of the edge of the parking area.
- ☐ The screening is at least 4 feet in height for at least 75% of the perimeter of the parking area.
- ☐ The screening consists of either a row of evergreen shrubs or a combination of mounding, ground covers and shrubs.
 - ☐ If only shrubs are used, they measure a minimum of 24 inches in height from ground level at the time of planting and are placed 5 feet on center.
 - ☐ If landscape mounding is used, it undulates between the heights of 2 and 4 feet from ground level and the following requirements must be met:
 - ☐ Shrubs are planted on the mound at a ratio of one shrub for every 5 horizontal feet of mounding, **AND**
 - ☐ Shrubs measure a minimum of 18 inches in height from ground level at the time of planting and are placed in an irregular, natural pattern.
- ☐ The parking area is less than 15 spaces.
- ☒ This is an existing structure. No additional parking is being created.

Comments: _____

Pedestrian Walkways/Sidewalks (pg 106)

- ☒ Pedestrian sidewalks are provided across the front of all lots, connecting the lot, the primary structure, and parking areas to each other and with adjacent properties.
- ☒ Sidewalks are provided along the full length of all facades which include a customer entrance and/or are adjacent to a parking area.
- ☒ Walkways are concrete and are a minimum of 4 feet in width.
- ☐ Walkways parallel to parking lots and interior drives are separated from such areas by a curbed landscaped area measuring a minimum of 5 feet in width.
- ☒ Walkways passing through vehicle use areas are of a paving material different from that of the vehicle use area.
- ☐ Except for the CB-P District, walkways along the facades of the primary structure are separated from the building by a landscape area which is a minimum of 5 feet in width.

- ___ For each 100 square feet of hard-surface area between the building and the street lot line at least one of the following amenities is provided:
- ☒ a bench or other seating;
 - ___ a fountain; or
 - ☒ a landscape planter or similar feature.
 - ___ This structure is in the CB-P District and is exempt from this requirement.
- ☒ This is an existing structure with existing sidewalks.

Comments: _____

Street Trees (pg 104)

- ☒ One (1) tree is planted in the area between the sidewalk and the street for each 30 feet of street frontage on any street.
- ___ The location of the street trees is limited and the Committee may approve alternate tree locations.

Comments: Existing Trees

Outdoor Storage/Docks/Mechanical Equipment/Waste Containers (pg 104)

- ___ All outdoor storage of finished products, all trash and recycling containers, all truck docks, and all mechanical equipment is completely enclosed or screened using the following standards:
- ___ The enclosure(s) is a fence or walls constructed of the same materials as the primary structure.
 - ___ The enclosure does not exceed 8 feet in height.
 - ___ No stored products or waste containers or materials exceed the height of the enclosure.
 - ___ An opaque wooden gate, painted consistent with the main color of the primary structure is provided at all access points to the enclosed area.
 - ___ Mechanical equipment located on the roof is screened on all sides by a parapet or other building feature based on an elevation view of the building.
 - ___ Mechanical equipment located on the ground is screened on all sides by the building, walls, or fences using a material or color which is compatible with the primary building or an evergreen hedge which is not less than the height of the mechanical equipment at the time of planting.
 - ___ No enclosure created for the storage of waste materials is located within 20 feet of any public street right-of-way, public sidewalk, or internal pedestrian way.
 - ___ Truck docks are screened from view from all public areas, including parking lots and adjacent public streets. The screening enclosure consists of a fence or wall constructed of the same material as the exterior of the primary structure.
- ☒ There is no outdoor storage of unfinished products or supplies provided on this property.

Comments: _____

Gas Stations, Gas Island Canopies and Related Facilities (pg 105)

- ☐ All structures on the site (such as kiosks, car wash buildings, gas pump islands, etc) are architecturally consistent with the primary structure.
- ☐ All building elevations are architecturally detailed to avoid the appearance of the "back of the building" and contribute a positive presence to the streetscape.
- ☐ Gas island canopies are built of the same high quality materials as the convenience store or kiosk associated with the gas island. These structures create architectural harmony with the primary structure on the site.
- ☐ Gas island canopy structural columns are covered with the same architectural materials as the primary structure.
- ☐ Gas station canopies have flush-mounted or shielded canopy fixtures.
- ☐ The existing canopy and/or related structures are not being altered.
- ☐ This project is not a gas station facility.

Comments: _____

Fencing (pg 105)

The following type of fence is provided for this project:

- ☐ Masonry wall
- ☐ Ornamental iron
- ☐ Wood or vinyl
- ☐ Live hedge
- ☐ The fence complies with the requirements of Section 4.8 and Section 12.8 of the Danville Zoning Ordinance.
- ☒ There is no fence being constructed on this site.
- ☐ The existing fence is not being altered.

Comments: _____

Lighting (pg 105)

Lighting on each lot shall be designed to reduce light pollution while providing the minimum light necessary for security and safe pedestrian and vehicle traffic movements.

- ☐ Exterior lighting is limited to those areas needed for safety and security purposes only.
- ☐ All outdoor lighting limits light spillage onto adjacent property to no more than one (1) footcandle through the use of light fixture shielding, location, height, and aim.
- ☐ All lighting fixtures have 90-degree cutoff luminaries (shielded down lighting).
- ☐ If a structure is illuminated, all fixtures are designed to wash the façade of the building in light rather than providing a spot or floodlight effect.
- ☐ Light poles in parking areas are round and do not exceed 20 feet in height.
- ☐ Sidewalks have 90-degree cutoff luminaries (shielded down lighting). Bollard-style lighting is preferred adjacent to pedestrian walkways.
- ☒ No additional lighting is proposed for this project.

Comments: _____

Signs (pg 107)

In addition to the sign regulations described in Section 12 of the Danville Zoning Ordinance, the following regulations apply:

- ☐ The following type of sign(s) are provided for this project:
 - ☐ Wall sign
 - ☐ Monument or ground sign
 - ☐ Projecting or blade sign
 - ☐ Awning or canopy sign
- ☐ All signs are architecturally integrated with their surroundings in terms of size, shape, color, texture, and lighting so that they are complementary to the overall design of the project.
- ☐ When applicable, sign themes are designed so that all signs within a strip-style development are comprised of one single sign type (i.e. cabinet type, channel letters, projecting, etc.) for each commercial use.
- ☐ Sign is constructed of materials that match or are compatible with the principal materials of the primary structures and landscaping on the property.
- ☐ Monument or ground sign does not exceed five (5) feet in height.
- ☐ Sign area of monument or ground sign in the CB-P or CB-S zoning districts with frontage on Main Street is equal to ½ sq ft of signage per each ft of linear building frontage, but does not exceed 32 sq ft.
- ☐ Monument or ground sign is setback a minimum of one (1) foot from the road right-of-way and does not inhibit vision clearance.
- ☐ If sign is located in the CB-P or CB-S zoning district, it is not internally illuminated.
- ☐ In all other districts, illuminated signs comply with Section 12.5.C of the Danville Zoning Ordinance.
- ☐ Projecting signs do not project more than thirty-six (36) inches from the wall surface upon which they are mounted and the bottom edge of the sign is at least nine (9) feet from grade.
- ☐ No signage is located on roof top screening or roof top equipment penthouses, above the roof line, or on sloped roofs.
- ☐ A landscaped area is provided around the entire base of all monument or ground signs:
 - ☐ For CB-P and CB-S districts, the landscaped area is one-half (1/2) square foot in area for every one (1) square foot of sign area.
 - ☐ For all other districts, the landscaped area is one (1) square foot in area for every one (1) square foot of sign area.
- ☐ Non-residential directional signs do not exceed three (3) feet in height and three (3) square feet in area for each sign. All directional signs are used for directional indications and address identification purposes only and are not used for business advertising purposes.
- ☐ This is a residential use. No signage is proposed for this project.
- ☒ The existing signage is not being altered.

Comments: _____

Design Review Committee Recommendation

WINDOW COLOR SAMPLES

JUN 20 2023

CANVAS

BLACK

RED ROCK

FOREST GREEN

WHITE

DARK BRONZE

SANDTONE

TERRATONE®

COCOA BEAN

This color
is close
to existing →

ORDINANCE H-2001
IT SHALL BE UNLAWFUL
FOR ANY PERSON TO MOVE
RE-PARK OR OTHERWISE
RELOCATE A MOTOR VEHICLE
TO THE SAME POSITION OR
ANOTHER POSITION ON THE
SAME SIDE OF THE STREET
WITHIN THE SAME BLOCK
WITHIN THE DOWNTOWN
TRAFFIC AREA FOR TWO (2)
OR MORE CONSECUTIVE
TWO (2) HOUR PERIODS



JUN 20 2023

Google Maps

17 W Marion St

25 West Marion - Looking East



Image capture: Nov 2022 © 2023 Google



Google Maps

17 W Marion St

25 West Marion - Looking North



Image capture: Nov 2022 © 2023 Google



Google Maps
17 W Marion St
25 West Marion - Looking West

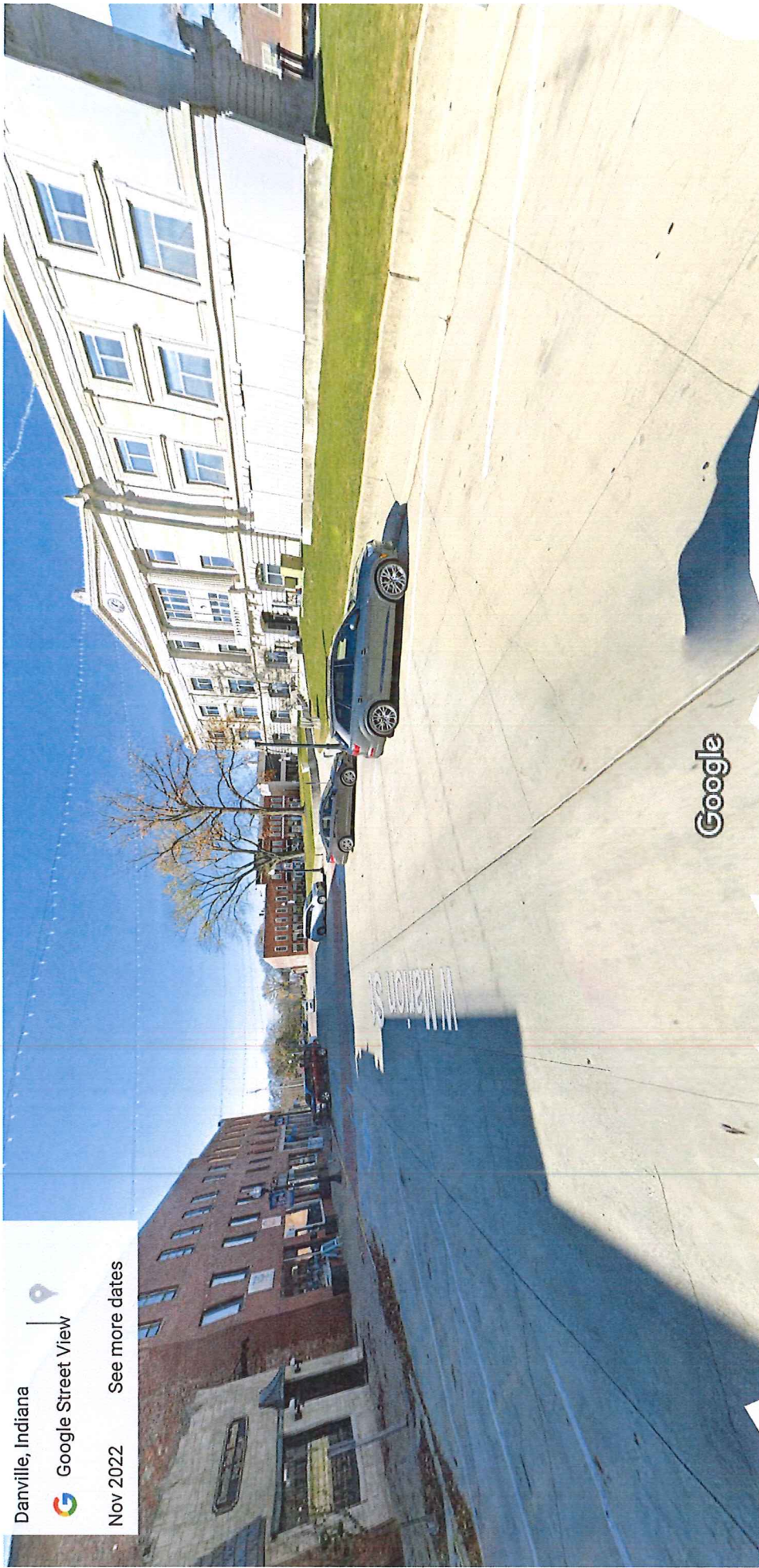


Image capture: Nov 2022 © 2023 Google

