



Design Review Committee

August 2, 2023

4:30 PM

- I. Call Meeting to Order**
Establish Quorum
Approve Minutes

- II. Old Business:**

- A. 3376 East Main Street – Sukhwinder Singh, Jugaad, LLC**
New Construction
(Accura Express, Phillip Going)

- III. New Business: None**

- IV. Staff Updates**

- V. Adjournment**

Next Regular Meeting:

September 6, 2023

Design Review Committee
Meeting Minutes
July 5th, 2023

Members Present: Lee Comer, David Kroll, Joe Neher, Terry Kessinger, Sue Rempert

Members Absent: Scott Perkins, Jennifer McNabb

Staff Present: Lesa Ternet & Barry Lofton

Guests: Anthony Higbie, Phillip Going, Sukhwinder Singh

Minutes from the June 7th, 2023, meeting were approved.

Old Business: None

New Business:

25 West Marion Street – Anthony D. Higbie, Owner - Exterior Renovation

Owner A. Higbie would like to remove the existing double window with a square picture window. Photos were provided. D. Kroll asked if the new window was thermal and not storm. A. Higbie stated it was thermal. T. Kessinger made a motion for a favorable recommendation to the Plan Commission. S. Rempert seconded the motion. Motion carried 5-0.

3376 East Main Street – Sukhwinder Singh, Jugaad, LLC - New Construction

(Accura Express, Phillip Going)

S. Singh explained his plans to construct a gas station/convenience store. S. Rempert asked to see similar stations S. Singh had constructed. Concerns with parking spaces were discussed. D. Kroll asked about the canopy material. The committee would like to see the metal canopy, not the canvas. D. Kroll pointed out some discrepancies in the elevations vs the site plan. S. Rempert made a motion to continue to next month with newly updated plans. J. Neher seconded the motion. Motion carried 5-0.

Staff Updates: None

The meeting was adjourned at 5:45 p.m.

Scott Perkins, Design Review Committee Chairman

Application for CPOD Design Review

JUN 1 2 2023

APPLICANT INFORMATION

Name of Applicant: JUGAAD, LLC Sukhwinder Singh
 Mailing Address: 13150 Ditch Road, Carmel, IN 46032
 Phone: (812) 391-3062 Email: sukhwinders73@icloud.com
 Property Owner(s) JUGAAD LLC
 Mailing Address: same
 Phone: same Email: same
 Project Engineer/Architect: Accura Land Surveying, Philip Going
 Address: 9 S. Franklin Street, Greenfield, IN 46140
 Phone: (317) 462-3734 Email: accura2@prodigy.net

PROJECT INFORMATION

Location of Project: 3376 E. Main Street, Danville
 Existing Use of Property: Vacant Commercial Current Zoning: GB
 Proposed Use of Property: Convenience with fuel Acreage: 0.700
 Type of Activity: New Construction ☒ Exterior Renovation ☐ Sign ☒
 Est. Project Cost: _____ Est. Start Date: 8/1/2023

Documents to be included with application (1 original and 1 electronic):

- ☒ Building elevations of all elevations new and/or altered
- ☐ Color samples
- ☐ Photos of adjacent structures
- ☒ Signage and/or lighting
- ☒ List of work to be completed in numerical order -
- ☒ Letter of Intent describing in detail the scope of work to be performed

Signature of Applicant: Philip Going AGENT Date: 6/10/2023

APPLICATION FEES

Residential	\$50
Residential accessory >150 sq ft	\$25
Commercial	<u>\$150</u>
Commercial accessory	\$100
Sign	\$50

Fee paid: 150.00 Received by: Asha Jut Date: 6-28-23

Lesa Ternet

From: Kenneth Simpson <ksimpsonpe@comcast.net>
Sent: Wednesday, July 26, 2023 11:25 AM
To: Lesa Ternet; ACCURA EXPRESS
Cc: Sunny Singh; Kenneth Simpson
Subject: Re: 3376 E Main
Attachments: Danville - 7-26-23 - 10 Pages.pdf

Caution: This is an external email. Please take care when clicking links or opening attachments. If in doubt, please contact the helpdesk.

Lesa

Very perceptive on your reviewer's part. I missed it. That window in the rear was removed from all the drawing pages, except the Elevation. There is NO window planned at that location in the office.

The attached drawings reflect that change.

If there is anything else, let me know.

Ken

On 7/26/2023 8:42 AM, Lesa Ternet wrote:

Good Morning,

Can you send me the very latest set of plans for the above project? I received a couple of comments (See below) from the DRC and I want to make sure I have the latest information.

1. This set does not include a revised site plan.
2. The elevations on A401 do not match up with the floor plan on Sheet A201
3. Is the attached drawing the only thing that they have submitted regarding the Gas Island Canopies?

Thank you,

Lesa Ternet, Planner
Town of Danville
49 N. Wayne St.
Danville, IN 46122
317.745.4180 ext. 1101
www.danvillein.gov



Lesa Ternet

From: Kenneth Simpson <ksimpsonpe@comcast.net>
Sent: Monday, July 10, 2023 12:39 PM
To: Lesa Ternet
Cc: Kenneth Simpson; Phillip Going (Accura Land Surv); Sunny Singh
Subject: Danville Singh C-Store Response to Comments from Lesa and Scott 7-10-23
Attachments: Danville - 7-10-23 - 10 Pages.pdf

Caution: This is an external email. Please take care when clicking links or opening attachments. If in doubt, please contact the helpdesk.

Lesa

The following are responses to your summary comments from the Meeting as well as responses to comments made by Scott Perkins.

I have revised the drawings. They are attached and will be uploaded to your website. Some additional comments are to be made by the Site Surveyor, Phillip Going.

My responses are in RED below.

Please pardon that all lines are not uniform. Placing the listing numbers has caused some lines not to be uniform. But the information is there.

Ken

Comments compiled by Lesa Ternet on 7/7/23

1. Total number of parking spaces required is 7 based on the number of pumps (1 per gas pump) and number of employees on the largest shift. Applicant will amend the site plan to accommodate the parking requirement of the ordinance. **Answer: To be addressed by surveyor**
2. Will relocate the dumpster to accommodate additional parking. Details of the enclosure must be provided. **Answer: By Surveyor**
3. Awnings/canopies on the building will be consistent and made of metal. **Answer: has been changed. See pages A401.**
4. CMU on the rear façade must be painted or be of an integral color complimentary to the overall color scheme. **Answer: A note has been added to page A401**
5. Foundation plantings are not proposed. It was suggested that potted plants could be utilized to meet this requirement or low growing landscaping in the parking areas. **Answer: By Surveyor**

6. The landscaping plan will be re-submitted that is legible. This plan will be revised considering items 1, 2 and 5 above. **Answer: By**

Surveyor.

7. Windows do not meet the 60% requirement. It was suggested the interior be reconfigured to allow another window at the western end of the front façade. The two windows currently depicted on the east elevation could be eliminated. **Answer: the windows on the side elevation have been removed. See all floor plans. Regarding the 60% requirement. I sent an email to Lesa discussing the impracticality of providing 60% windows.**

8. All lighting shall be full cut-off and specifications must be provided. It was also requested an upgrade from the proposed wall pack fixtures. **Answer: On the Lighting Schedule, page ME201, a revised fixture that is full cut-off has been added.**

9. Existing trees along the eastern boundary of the site will remain. **Answer: See Site Plan by Accura**

10. Will submit a sketch with dimensions of the proposed signs, including the canopy wrap. **Answer: See Site Plan by Accura.**

11. The building elevations and the floor plan need to match. **Answer: Changes have been made. See Pages A101, A201, A203.**

12. The new site plan should also indicate a sidewalk to and landing at the rear entrance, and the installation of fencing along the north and partial west borders. Also a pedestrian walk from the sidewalk parallel to Main Street leading to the building entrance. **Answer: See Site Plan by Accura.**

Comments by Scott Perkins provided on 7/5/23. Provided by Lesa Ternet. **See Answers below in RED.**

Overall, I think this Submittal is incomplete because it doesn't include the canopy over the gas pumps or signage and those are specifically addressed in the ordinance. Also, I don't think there are enough marked parking spaces. There are a total of three, figure one staff and that leaves two spaces, one of which is the ADA space. The distance from the pump islands to the sidewalk in front of the building seems tight at 24'. Especially if there are cars parked there. **Answer: See Site Plan by Others.**

Architecture: in my opinion, the design would be improved by closer adherence to one of the referenced styles or by architectural refinement of the proposed design. **Answer: We consider this building to be a very nice structure. It is brick and stone and is a substantial improvement to the existing structure.**

Main Entrance: their combination of fabric and metal awnings are odd. I'd prefer all one type or the other. **Answer: All canopies are now metal. See page A401.**

Exterior Finish Materials: I'd like to see samples of their proposed materials, especially the brick, stone, and metal finishes. **Answer: The Owner, Mr. Sunny Singh, will provide these materials.**

Foundation Landscaping: I think they should provide landscaping around the parking lot in lieu of foundation landscaping. They are currently proposing no foundation landscaping.

Answer: See the Site Plan by Accura

Windows: window sizes and percentage are significantly under the ordinance. I'd like to see a much better effort to get closer to the 60%. **Answer: I sent a Note to Lesa regarding the impracticability of the 60% figure. If you look at the linear value of our building, we are at 62%, which exceeds the 60% requirement. See that email and attachment.**

Trim and historic details: again, I'd like to see a stronger effort towards defining a style or proposing a better design. **Answer: the proposed building is a beautiful brick and stone structure.**

Roofs: Cornice is insufficient. **Answer: this building has parapet walls on three sides. There is not specific place for a traditional cornice. If this answer is not sufficient, please state exactly your concern.**

Pedestrian walkways/sidewalks: there's no sidewalk from the street to the building. I'm concerned about the combination of asphalt and concrete paving types long term. **Answer: See Site Plan by Accura.**

Street trees: Planting schedule is garbled/illegible. **Answer: See Site Plan by Accura.**

Outdoor storage/Waste: no detail on dumpster enclosure. If it's attached to the building it should show on the elevations. I'd prefer it not be attached to the building. **Answer: See Site Plan by Accura.**

Rooftop mechanical equipment is not screened from the north. **Answer: No it is not. We have parapets on three side and the 4th side (to the North provides drainage of the roof. I would rather not provide screening as it means we will likely have to drill holes in the roof surface and I am concerned about leaking during storm events. Also, a screen that blocks the view might also allow snow to build up. Does the Ordinance call out screening?**

Gas Stations: no drawings or design provided for canopy. **Answer: See Site Plan by Accura.**

Lighting: exterior lighting should be selected to be consistent with the architectural style. Wall packs are utilitarian/industrial fixture types. **Answer: The Wall Packs have been changed. See page ME201, Fixture Schedule, for the specification.**

Signs: no signage designs or drawings are provided. **Answer: See Site Plan by Others.**

Ken

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Kenneth Leo Simpson, P.E.
ENGINEER ASSOCIATES, INC.
645 Main Street, Suite 201
Tell City, Indiana 47586
812-547-1100
812-719-8345 (Cell)
KLSimpsonPE@comcast.net

Corridor Protection Overlay District (CPOD) Review Checklist

JUN 1 2 2023

Property Location: 3376 E. Main Street, Danville, IN 46122

Name of Applicant: Sukhwinder Singh, JUGAAD, LLC

Design Review Committee Meeting Date: _____

DEVELOPMENT STANDARDS

Rev. KLS
6/26/23

Architecture (pg 97)

New construction conforms to the following architectural style:

- | | | |
|---|---|---|
| ☐ American Four Square | ☐ Gothic Revival | ☐ Renaissance Revival |
| ☐ Bungalow | ☐ Greek Revival | ☐ Roman Classicism |
| ☐ Colonial Revival | ☐ Italianate | ☐ Romanesque Revival |
| ☐ Eastern Stick | ☐ Neoclassical | ☐ Second Empire |
| ☐ Federal | ☐ Prairie | ☐ Tudor Revival |
| ☐ Georgian | ☐ Queen Anne | ☐ Victorian Gothic |
| | | ☐ Victorian Vernacular |

☐ Exterior renovation of existing building conforms in style and context with the existing building's architecture.

☒ New construction style compatible with the intent of the CPOD.

Comments: _____

Building Orientation (pg 98)

- ☒ The primary structure faces the front of the lot on which it is located.
- ☐ The structure is located in the CB-P District and is set to the prevailing streetwall.
- ☐ The structure is located in the CB-S District and is no closer to the front lot line than the adjacent primary structure that is closest to the front lot line. The location of the primary structure is no further from the lot line than the adjacent primary structure that is farthest from the front lot line. In any case, the structure is not set back from the front lot line more than 5 feet.
- ☒ The structure is not in a CB-P or CB-S District and is setback according to the setback requirements listed for that district.
- ☐ This is an existing structure. The building orientation is not being altered.
- ☒ There are no loading docks, overhead service doors, or trash collection bins placed on or adjacent to any façade which faces a public street.

Comments: _____

BUILDING NOTES ADDED ON
6/26/23
BY KENNETH SIMPSON, P.E.
812-719-8345

Large Building Elevations (pg 98)

The front elevation of large structures must be divided into smaller areas or planes. If the front elevation of the structure is more than 750 square feet in area, the elevation must be divided into distinct planes of 750 square feet or less. For the purpose of this standard, areas of wall that are entirely separated from other wall areas by a projection, such as a porch or a roof over a porch, are also individual building wall planes. This division is accomplished by the following:

- ☐ A porch, a dormer that is at least 4 feet wide, or a balcony that is at least 2 feet deep and is accessible from an interior room.
- ☐ A bay window extending at least 2 feet.
- ☐ A recessed section of the façade at least 2 feet deep and at least 6 feet long.
- ☒ The front elevation does not exceed 750 sq. ft. in area.
- ☐ This is an existing structure.

Comments: 4' x 11'-8" metal awning - Also looking at Block
FRONT, DIFFERENT AREAS ARE: STONE (210 FT²), BRICK (340 FT²), STONE (380)
BRICK (340 FT²), STONE (210 FT²) = TOTAL

Building Height (pg 99)

- ☒ The maximum height of the primary structure does not exceed 50 feet.
- ☐ The structure is in the CB-P District and the minimum height of the primary structure is at least 26 feet.
- ☒ The structure is not in the CB-P District and the minimum height of the primary structure is at least 16 feet.
- ☐ This is an existing structure. The height is not being altered.

Comments: _____

Main Entrance (pg 99)

Non-residential

- ☒ The main entrance to the structure faces Main Street. On corner lots the main entrance may face either Main Street or be oriented to the corner.

☒ If the front entrance has an awning, it is made of professional-grade fabric or canvas.

- ☒ If the front entrance has a canopy, the design is architecturally integrated, is shaped to fit the opening, and is without back lighting. AWNING IS 11'-8" x 4'-0" - METAL

☐ If the front porch or covered balcony at a main entrance provides columns as corner supports, the columns are consistent with the architectural style of the primary structure.

☐ All openings between the porch floor and the ground are covered with a solid material or lattice.

Residential

- ☐ The main entrance to the structure faces Main Street. On corner lots the main entrance may face either Main Street or be oriented to the corner.

☐ There is a front porch surrounding the main entrance that faces a street. If the porch projects out from the building, it must have a roof. If the roof of a required porch is developed as a deck or balcony, it may be flat.

OR

☐ There is a covered balcony over the main entrance that faces a street. The floor of the covered balcony must be no more than 15 feet above grade, and must be accessible from the interior space of the building.

- ___ If the front entrance has an awning, it is made of professional-grade fabric or canvas.
- ___ If the front entrance has a canopy, the design is architecturally integrated, is shaped to fit the opening, and is without back lighting.
- ___ If the front porch or covered balcony at a main entrance provides columns as corner supports, the columns are consistent with the architectural style of the primary structure.
- ___ All openings between the porch floor and the ground are covered with a solid material or lattice.

Non-residential or Residential

- ___ This is an existing structure. The main entrance is not being altered.

Comments: _____

Reinforcing the Corner (pg 100)

On sites within the CB-P and CB-S Districts, all of the following requirements have been met:

- ___ The primary structure meets the average front setback of adjacent buildings, but is not more than 10 feet from the edge of the right-of-way.
- ___ The highest point of the building's street-facing elevation is within 25 feet of the corner.
- ___ The main entrance is on a street-facing wall and either at the corner, or within 25 feet of the corner.
- ___ There is no parking within 40 feet of the corner.
- ___ This is an existing structure. The footprint is not being altered.

Comments: N/A _____

Exterior Finish Materials (pg 100)

On all building facades, at least 80% of the structure's exterior is finished using the following:

- ___ Quarried stone
- ✓ Cultured stone
- ✓ Brick
- ___ Wood siding
- ___ Composite lap siding*
- ___ Architectural concrete

*EXCEPT FOR WINDOWS & DOORS &
THE CANOPY THE ENTIRE BUILDING
IS STONE & BRICK*

On all building facades, no more than 20% of the structure's exterior is finished using the following materials:

- ✓ Metal
- ___ Wood shakes
- ___ Stucco (EIFS)
- ✓ Exterior color is appropriate to the architectural style and compatible with adjacent buildings.
- ___ Another building material is proposed but must be approved by the Committee.
- ___ This is an existing structure. Exterior alterations or renovations are consistent with the existing façade finish.

**Where horizontal siding is used, it is shiplap or clapboard siding composed of boards with a reveal of 3 to 6 inches. Vinyl or aluminum siding that is in clapboard or shiplap pattern may be used where the boards in the pattern are 6 inches or less in width.*

Comments: _____

Foundation Material (pg 101)

- ☐ Plain concrete block or exposed concrete is being used as foundation material since the foundation material is not revealed more than 1 foot above the finished grade level adjacent to the foundation wall.
- ☐ This is an existing structure. No new foundation is being added.

Comments: FOUNDATION WALL IS NOT EXPOSED

Foundation Landscaping (pg 103)

For any non-residential use, all street-facing elevations must have landscaping along their foundation. The landscaped area may be along the outer edge of a porch instead of the foundation. This landscaping requirement does not apply to portions of the building façade that provide access to the building for pedestrians or vehicles. The foundation landscaping must meet the following standards:

- ☒ The landscaping plants comply with the list provided in Appendix C.
- ☐ The landscaped area is at least 3 feet wide.
- ☐ There is at least one (1) three-gallon shrub for every three (3) lineal feet of foundation **AND** ground cover plants will fully cover the remainder of the landscaped area.
- ☐ This is an existing non-residential structure. No new foundation is being created.

Comments: _____

Distinct Ground Floor (pg 101)

- ☐ The ground floor of the primary structure is visually distinct from upper stories. This distinction is provided by the following:
 - ☐ a cornice above the ground level,
 - ☐ an arcade,
 - ☐ a portico, or
 - ☐ changes in building material or texture.
- ☒ This is a single story structure.
- ☐ This is an existing structure. The existing ground floor distinction is not being altered.

Comments: _____

Windows (pg 101)

- ☒ This is a new non-residential structure in a commercial district. At least ~~60%~~ of the street-facing ground level façade is comprised of windows. The windows are:
 - ☐ Either square or vertical and are at least as tall as they are is wide.
 - ☐ Horizontal window openings have been created by two or more vertical windows grouped together to provide a horizontal opening and they are either all the same size, or no more than two sizes are used.
- ☐ This is a non-residential renovation and windows are being replaced with ones that match the existing windows.*
- ☐ This is a residential structure and at least 15% of the area of the street-facing façade is comprised of windows.
- ☐ This is an existing structure. Existing windows are not being altered.

*Where applicable, the Committee may approve replacement windows that do not match.

Comments: less than 60% facade

WINDOWS COMPRISE⁴ APPROX 21% = $\frac{3105F}{14205F}$

Trim and Historic Details (pg 102)

- ☒ Trim marks all building roof lines, porches, windows, and doors on all elevations.
- ☐ The trim is at least 3-1/2 inches wide.
- ☐ Historic details are being retained or replicated.*
- ☐ This structure is constructed with a masonry exterior and is exempt from this standard.

*Where applicable, the Committee may approve replacement materials that do not match.

Comments: masonry structure & arcade with metal wall cap

Roofs (pg 102)

This structure has:

- ☐ A sloped roof with a pitch that is no flatter than 4/12 and no steeper than 12/12
- OR**
- ☒ A roof with a pitch of less than 4/12 and has a cornice that meets the following:
 - ☐ Contains a two-part cornice. The top part of the cornice projects at least six inches from the face of the building and is at least 2 inches further from the face of the building than the bottom part of the cornice; **AND**
 - ☐ The height of the cornice is based on the height of the building as follows:
 - ☐ This building is 16 feet in height and has a cornice at least 12 inches high.
 - ☐ This building is more than 16 feet but less than 26 feet and has a cornice at least 18 inches high.
 - ☐ This building is 26 feet or more and has a cornice at least 24 inches high.

- ☐ This is an existing structure. The roof is not being altered.

Comments: THIS BUILDING IS A BRICK & STONE STRUCTURE WITH A 5' HIGH METAL CAP & PARAPET WALLS

Roof Eaves (pg 103)

- ☐ Roof eaves on all elevations project from the building wall at least 12 inches for every 12 feet of building height.
- ☐ This structure is located in the CB-P District and is exempt from this standard.
- ☐ This is an existing structure. The eaves are not being altered.

Comments: surrounded by parapet walls

Exterior Stairs and Fire Escapes (pg 103)

- ☐ Exterior stairs, other than those leading to a main entrance, are at least 40 feet from all streets.
- ☒ This structure is not located in the CB-P District and the fire escapes are at least 40 feet from all streets.
- ☐ This is an existing structure. The exterior stairs and/or fire escapes are not being altered.

Comments: ONE STORY. NO STAIRS

Parking Lot Location (pg 106)

For parking areas which include 15 or more parking spaces:

- ☐ If located in the CB-P or CB-S District, no parking lot is placed between the primary structure and the abutting public street.
- ☐ If located in any other district, no more than 10% of the parking spaces provided are placed between the front façade of the primary structure and the abutting public street.
- ☒ The parking area contains less than 15 spaces.
- ☐ The existing parking area is not being altered.

Comments: _____

Parking Area Landscaping (pg 103)

- ☐ Landscape screening is provided around the perimeter of all parking areas which include 15 or more parking spaces.
- ☒ The landscaping plants comply with the list provided in Appendix C.
- ☐ The screening is located within 5 feet of the edge of the parking area
- ☐ The screening is at least 4 feet in height for at least 75% of the perimeter or the parking area.
- ☐ The screening consists of either a row of evergreen shrubs or a combination of mounding, ground covers and shrubs.
 - ☐ If only shrubs are used, they measure a minimum of 24 inches in height from ground level at the time of planting and are placed 5 feet on center.
 - ☐ If landscape mounding is used, it undulates between the heights of 2 and 4 feet from ground level and the following requirements must be met:
 - ☐ Shrubs are planted on the mound at a ratio of one shrub for every 5 horizontal feet of mounding, **AND**
 - ☐ Shrubs measure a minimum of 18 inches in height from ground level at the time of planting and are placed in an irregular, natural pattern.
- ☒ The parking area is less than 15 spaces.
- ☐ This is an existing structure. No additional parking is being created.

Comments: _____

Pedestrian Walkways/Sidewalks (pg 106)

- ☒ Pedestrian sidewalks are provided across the front of all lots, connecting the lot, the primary structure, and parking areas to each other and with adjacent properties.
- ☒ Sidewalks are provided along the full length of all facades which include a customer entrance and/or are adjacent to a parking area.
- ☒ Walkways are concrete and are a minimum of 4 feet in width.
- ☐ Walkways parallel to parking lots and interior drives are separated from such areas by a curbed landscaped area measuring a minimum of 5 feet in width.
- ☐ Walkways passing through vehicle use areas are of a paving material different from that of the vehicle use area.
- ☐ Except for the CB-P District, walkways along the facades of the primary structure are separated from the building by a landscape area which is a minimum of 5 feet in width.

- ___ For each 100 square feet of hard-surface area between the building and the street lot line at least one of the following amenities is provided:
- ___ a bench or other seating;
 - ___ a fountain; or
 - ___ a landscape planter or similar feature.
- ___ This structure is in the CB-P District and is exempt from this requirement.
- ___ This is an existing structure with existing sidewalks.

Comments: _____

Street Trees (pg 104)

- ___ One (1) tree is planted in the area between the sidewalk and the street for each 30 feet of street frontage on any street.
- ✓ ___ The location of the street trees is limited and the Committee may approve alternate tree locations.

Comments: _____

Outdoor Storage/Docks/Mechanical Equipment/Waste Containers (pg 104)

- ___ All outdoor storage of finished products, all trash and recycling containers, all truck docks, and all mechanical equipment is completely enclosed or screened using the following standards:
- ✓ ___ The enclosure(s) is a fence or walls constructed of the same materials as the primary structure.
 - ✓ ___ The enclosure does not exceed 8 feet in height.
 - ___ No stored products or waste containers or materials exceed the height of the enclosure.
 - ✓ ___ An opaque wooden gate, painted consistent with the main color of the primary structure is provided at all access points to the enclosed area.
 - ✓ ___ Mechanical equipment located on the roof is screened on all sides by a parapet or other building feature based on an elevation view of the building.
 - ✓ ___ Mechanical equipment located on the ground is screened on all sides by the building, walls, or fences using a material or color which is compatible with the primary building or an evergreen hedge which is not less than the height of the mechanical equipment at the time of planting.
 - ___ No enclosure created for the storage of waste materials is located within 20 feet of any public street right-of-way, public sidewalk, or internal pedestrian way.
 - ___ Truck docks are screened from view from all public areas, including parking lots and adjacent public streets. The screening enclosure consists of a fence or wall constructed of the same material as the exterior of the primary structure.
- ___ There is no outdoor storage of unfinished products or supplies provided on this property.

Comments: No outdoor storage / one trash enclosure

Gas Stations, Gas Island Canopies and Related Facilities (pg 105)

- ☒ All structures on the site (such as kiosks, car wash buildings, gas pump islands, etc) are architecturally consistent with the primary structure.
- ☒ All building elevations are architecturally detailed to avoid the appearance of the "back of the building" and contribute a positive presence to the streetscape.
- ☒ Gas island canopies are built of the same high quality materials as the convenience store or kiosk associated with the gas island. These structures create architectural harmony with the primary structure on the site.
- ☐ Gas island canopy structural columns are covered with the same architectural materials as the primary structure.
- ☒ Gas station canopies have flush-mounted or shielded canopy fixtures.
- ☐ The existing canopy and/or related structures are not being altered.
- ☐ This project is not a gas station facility.

Comments: _____

Fencing (pg 105)

The following type of fence is provided for this project:

- ☐ Masonry wall
- ☐ Ornamental iron
- ☐ Wood or vinyl
- ☐ Live hedge
- ☐ The fence complies with the requirements of Section 4.8 and Section 12.8 of the Danville Zoning Ordinance.
- ☒ There is no fence being constructed on this site.
- ☐ The existing fence is not being altered.

Comments: _____

Lighting (pg 105)

Lighting on each lot shall be designed to reduce light pollution while providing the minimum light necessary for security and safe pedestrian and vehicle traffic movements.

- ☒ Exterior lighting is limited to those areas needed for safety and security purposes only.
- ☒ All outdoor lighting limits light spillage onto adjacent property to no more than one (1) footcandle through the use of light fixture shielding, location, height, and aim.
- ☒ All lighting fixtures have 90-degree cutoff luminaires (shielded down lighting).
- ☒ If a structure is illuminated, all fixtures are designed to wash the façade of the building in light rather than providing a spot or floodlight effect.
- ☐ Light poles in parking areas are round and do not exceed 20 feet in height.
- ☐ Sidewalks have 90-degree cutoff luminaires (shielded down lighting). Bollard-style lighting is preferred adjacent to pedestrian walkways.
- ☐ No additional lighting is proposed for this project.

Comments: _____

Signs (pg 107)

In addition to the sign regulations described in Section 12 of the Danville Zoning Ordinance, the following regulations apply:

___ The following type of sign(s) are provided for this project:

- ___ Wall sign
- ☒ Monument or ground sign
- ___ Projecting or blade sign
- ___ Awning or canopy sign

☒ All signs are architecturally integrated with their surroundings in terms of size, shape, color, texture, and lighting so that they are complementary to the overall design of the project.

___ When applicable, sign themes are designed so that all signs within a strip-style development are comprised of one single sign type (i.e. cabinet type, channel letters, projecting, etc.) for each commercial use.

☒ Sign is constructed of materials that match or are compatible with the principal materials of the primary structures and landscaping on the property.

___ Monument or ground sign does not exceed five (5) feet in height.

☒ Sign area of monument or ground sign in the CB-P or CB-S zoning districts with frontage on Main Street is equal to 1/2 sq ft of signage per each ft of linear building frontage, but does not exceed 32 sq ft.

☒ Monument or ground sign is setback a minimum of one (1) foot from the road right-of-way and does not inhibit vision clearance.

___ If sign is located in the CB-P or CB-S zoning district, it is not internally illuminated.

☒ In all other districts, illuminated signs comply with Section 12.5.C of the Danville Zoning Ordinance.

☒ Projecting signs do not project more than thirty-six (36) inches from the wall surface upon which they are mounted and the bottom edge of the sign is at least nine (9) feet from grade.

☒ No signage is located on roof top screening or roof top equipment penthouses, above the roof line, or on sloped roofs.

☒ A landscaped area is provided around the entire base of all monument or ground signs:

___ For CB-P and CB-S districts, the landscaped area is one-half (1/2) square foot in area for every one (1) square foot of sign area.

___ For all other districts, the landscaped area is one (1) square foot in area for every one (1) square foot of sign area.

___ Non-residential directional signs do not exceed three (3) feet in height and three (3) square feet in area for each sign. All directional signs are used for directional indications and address identification purposes only and are not used for business advertising purposes.

___ This is a residential use. No signage is proposed for this project.

___ The existing signage is not being altered.

Comments: _____

Design Review Committee Recommendation



3735 Old U.S. 36

3376 East Main Street - Proposed site for Convenience Store

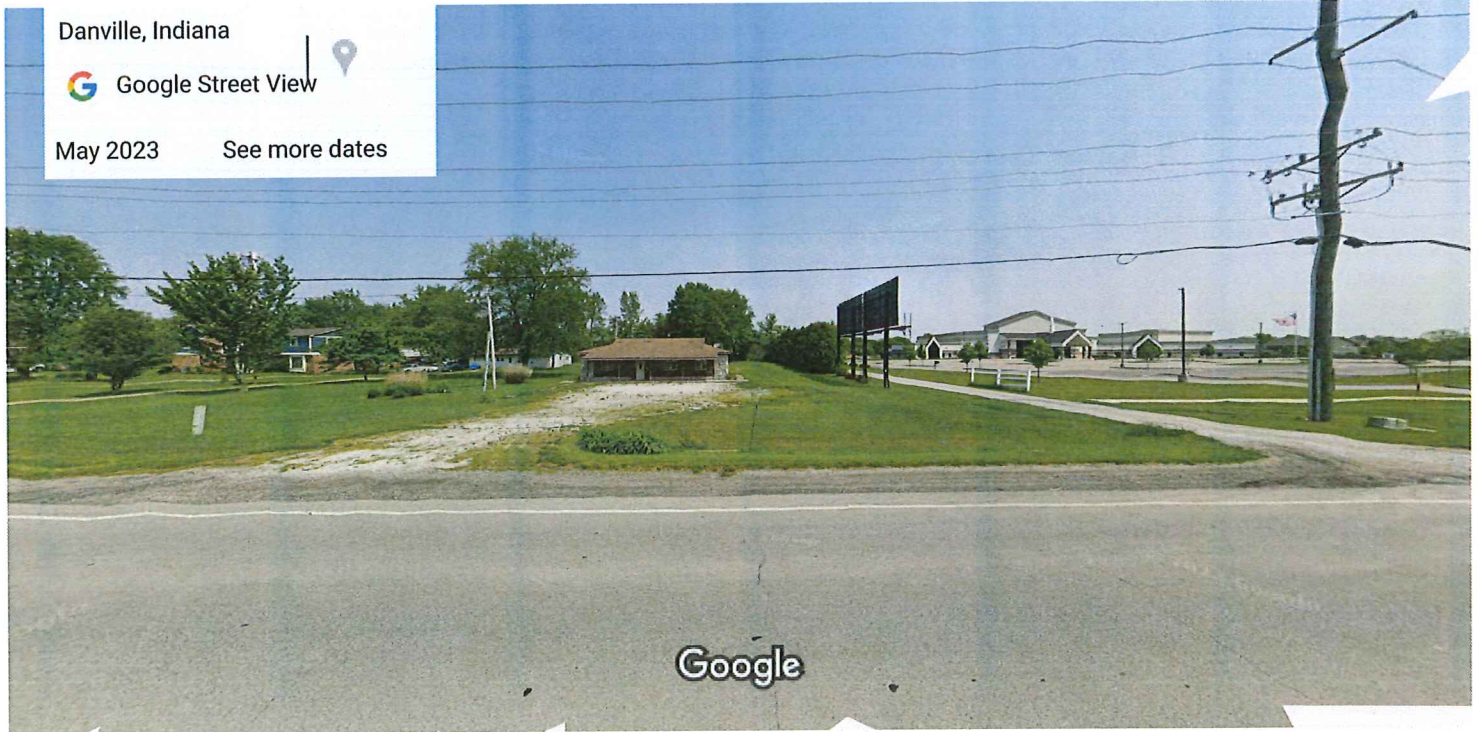
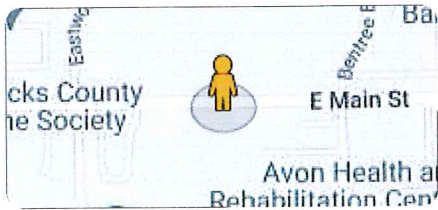


Image capture: May 2023 © 2023 Google



JUL 1 9 2023



2601 North Sherman Drive
Indianapolis, Indiana 46218
Phone: 317.426.5093
Fax: 317.426.5110

Client: **Sukhwinder Singh**

Contractor: **J2LR General Contractors**

3376 E Main St, Danville, IN, 46122

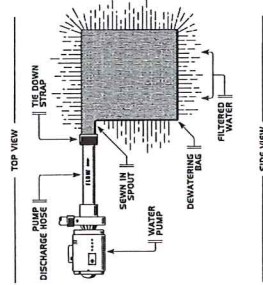
To whom it may concern,

J2LR General Contractors has been contracted to perform the project at 3376 E main street in Danville. The exterior will consist of General Shale Brick Oak Reserve, Affinity stone rock panels, ridge cut cliff ledge Cambridge sold at Graber Building Materials in Odon Indiana.

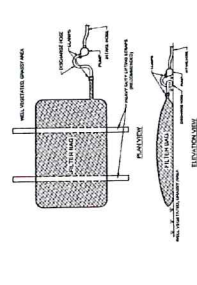
Purpose To seal a stable entrance condition the connection site. To seal and seal the connection site.	Purpose To seal a stable entrance condition the connection site. To seal and seal the connection site.	Purpose To seal a stable entrance condition the connection site. To seal and seal the connection site.	Purpose To seal a stable entrance condition the connection site. To seal and seal the connection site.
Re-use notes Re-use notes	Re-use notes Re-use notes	Re-use notes Re-use notes	Re-use notes Re-use notes
Installation Installation	Installation Installation	Installation Installation	Installation Installation
Maintenance Maintenance	Maintenance Maintenance	Maintenance Maintenance	Maintenance Maintenance

All de-watering activities shall be as approved by the City of Council. The water manager and shall use a de-watering bag for filtration.

DANDY DEWATERING BAG



AGGREGATE UNDERLAY (See section 100)



Practice 3.1 Silt Fence Sediment Fence - Cont.

Practice 3.1-B Temporary Seeding Revegetation

Seed Species	Seed Rate	Seeding Depth	Optimum Results
CP Ryegrass	100 lbs.	1/4" to 1/2"	50% to 70%
SR Ryegrass	100 lbs.	1/4" to 1/2"	50% to 70%
Annual Ryegrass	40 lbs.	1/4" to 1/2"	50% to 70%
Perennial Ryegrass	25 lbs.	1/4" to 1/2"	50% to 70%

* Personal notes may be used as a temporary cover, especially if the area is to be seeded.
 * Seeding rate should be adjusted to the specific seed type and soil conditions.

Practice 3.12-C Permanent Seeding Revegetation

This table is for use as a guide only. It is not intended to be used as a substitute for professional advice. The user is responsible for determining the appropriate seeding rate and method for their specific site conditions.

Seed Species and Mixtures	Seed Rate per Acre	Optimum Soil pH
CP Ryegrass	100 lbs.	5.6 to 7.0
SR Ryegrass	100 lbs.	5.6 to 7.0
Annual Ryegrass	40 lbs.	5.5 to 7.5
Perennial Ryegrass	25 lbs.	5.5 to 7.5
CP Ryegrass	100 lbs.	5.6 to 7.0
SR Ryegrass	100 lbs.	5.6 to 7.0
Annual Ryegrass	40 lbs.	5.5 to 7.5
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CP Ryegrass	100 lbs.	5.6 to 7.0
SR Ryegrass	100 lbs.	5.6 to 7.0
Annual Ryegrass	40 lbs.	5.5 to 7.5
Perennial Ryegrass	25 lbs.	5.5 to 7.5

For best results, a large amount should be included in the seeding. It is recommended that the seeding rate be increased by 50% in areas with poor soil conditions. The user is responsible for determining the appropriate seeding rate and method for their specific site conditions.

Practice 3.1 Erosion Control Blanket Surface-

Erosion control blanket is a biodegradable organic or synthetic material composed of natural or synthetic fibers, which is applied to the soil surface to prevent erosion and promote revegetation.

Purpose

To prevent erosion by protecting the soil from rainfall and to establish a permanent cover.

Re-vegetation

Material, when an organic straw or cellulose, will act as a second fiber, etc., or a synthetic material, when used in conjunction with a seed, will act as a seed bed.

Installation

1. Select the type and weight of erosion control blanket to fit the site conditions. e.g., 1.5 lb./sq. yd. or 2.0 lb./sq. yd.

Installation

1. Select the type and weight of erosion control blanket to fit the site conditions. e.g., 1.5 lb./sq. yd. or 2.0 lb./sq. yd.

Maintenance

1. Check the blanket regularly for erosion and adjust as needed.



Note 3.1-B. Pre- or post-installation erosion control blanket is a damper.

Maintenance

During application, establish an erosion control blanket in a damper. If any area above erosion, adjust the blanket to fit the area. If any area below erosion, adjust the blanket to fit the area.

Practice 3.1 Silt Fence Sediment Fence - Cont.

Erosion control blanket is a biodegradable organic or synthetic material composed of natural or synthetic fibers, which is applied to the soil surface to prevent erosion and promote revegetation.

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Installation

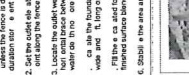
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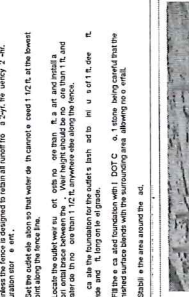
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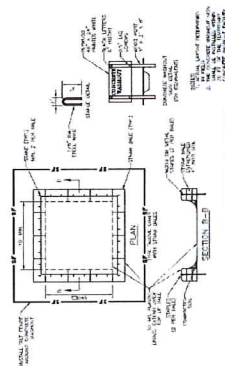


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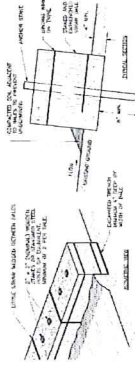
Maintenance

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Concrete Washout nit



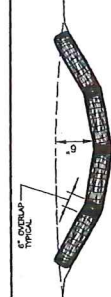
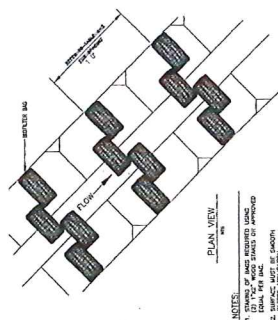
CONCRETE WASHOUT BMP



STRAW BALE FOR CONCRETE WASHOUT

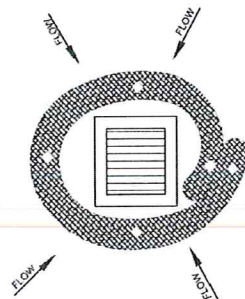
Maintenance:

- [illegible]



PROFILE

OT : Coconut fiber filter bags to be installed as check dams in all swales at intervals of 10 feet.



STAKE OR SANDBAG

Filter Tube Inlet Protection

Purpose: To trap sediment by intercepting runoff and reducing the velocity of sheet flow or concentrated flow (to trap sediment by intercepting runoff and reducing the velocity of sheet flow or concentrated flow).

Conclusions

- [illegible]

Anchor Method:

Posts - 2 x 2 inch hardwood or steel posts.

Teste 11

[illegible]

Statutemen:

- [illegible]



Indianaan
Landscape Architecture
Call before you dig

LANDSCAPE NOTES

All species of plant material and substitutions thereof are subject to acceptance by the Town of Danville Planning Department approval and of the Owner(s) or a representative of the Owner(s). All plant material to be planted is to be a representative of the species listed. No less than one year from final acceptance by the Owner(s) is to be planted in a manner that ensures its survival. Any environmental or other type of situation that is noted by the landscape Contractor could potentially injure the plant material. The landscape Contractor shall be responsible for any potential substitutions or corrections to the situation can be made at no expense to the Contractor.

All divisions taking the one year warranty period are to be replaced at the expense of the landscape Contractor.

Any deviation from responsible landscape practices and the Town of Danville Zoning Ordinance will result in the immediate termination of the Landscape Contract and the Contractor will pay all costs of removal and replacement of the plant material.

All plant material is to come from responsible sources within 100 miles of the site on which it is being installed. If no source for a plant species is available within this area, the project Landscape Architect/Engineer is to be notified immediately to make a determination of possible replacement.

All plant material is subject to approval by the project Landscape Architect/Engineer prior to installation and may be rejected for reasons of health, aesthetics, size or other reasonable causes. The landscape Contractor is responsible for the timely replacement of all material in its contract. Should there be a delay due to weather or other unforeseen, natural circumstances, the landscape Contractor shall be advised.



Indianaan
Landscape Architecture
Call before you dig

LANDSCAPE SPECIFICATIONS

LANDSCAPE SPECIFICATIONS: Perform specifications over the furnishing of other plants, equipment, and materials to perform landscape operations in connection with this construction project at the locations shown on the landscape drawing.

PRELIMINARY: Contractor shall submit a landscape plan for approval.

PLANTING: Contractor shall submit a landscape plan for approval.

PLANTING BUDGET: \$100,000.00. Budget shall be for the following:

- 1 part tropical 1 part deciduous 1 part shrub 1 part ground cover 1 part perennials 1 part annuals 1 part water feature 1 part lighting 1 part irrigation 1 part mulch 1 part soil amendment and 1 part soil and mulch.

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JUL 26 2023

PROJECT NAME:

SINGH DANVILLE
CONVENIENCE STORE

LOCATION:

LOCATION



VICINITY MAP

SCALE: N.T.S.

PROJECT ADDRESS:

3376 E MAIN ST
DANVILLE IN 46122

OWNER:

JUGAID, LLC
13150 DITCH RD
CARMEL IN 46032

PROJECT INFORMATION:

PROPOSED USE: COMMERCIAL
BUILDING HEIGHT: APPROX. 22'
AREA INFORMATION:
TOTAL: 2,897 sq.ft.
Includes 814 sq. ft. canopy

CODE SUMMARY

OCCUPANCY	M
CONSTRUCTION TYPE	TYPE VB
EXIT ACCESS TRAVEL DIST	MAX 125' FOR SINGLE EXIT ACCESS

TYPE OF OCCUPANCY	FACTOR	SIZE	# of Occupants
Residential	60 gpm	2,000	50 occupants

SHEET INDEX:

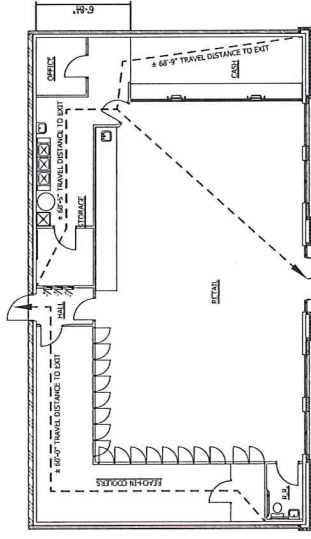
TITLE SHEET
001 - EXISTING SITE LAYOUT
002 - FOUNDATION
003 - FLOOR PLAN
004 - ROOF PLAN
005 - SECTION OF AS
006 - ELEVATIONS
007 - FINISH SCHEDULES
008 - MECHANICAL SCHEDULES
009 - ELECTRICAL SCHEDULES
010 - PLUMBING PLAN
011 - PLUMBING PLAN

GENERAL SYMBOLS:

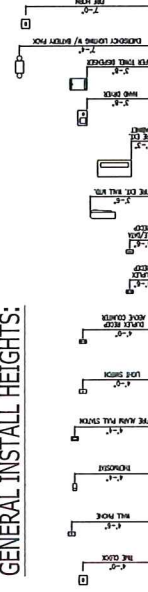
GENERAL NOTES:

- DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF FORTUNE COMPANIES BEFORE PROCEEDING WITH WORK.
- REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS CONSTRUCTIBLE AS SHOWN. CORRECTIONS OR OMISSIONS, ETC. SHALL BE IMMEDIATELY REPORTED TO FORTUNE COMPANIES FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS. IN CASE OF CONFLICT, NOTIFY FORTUNE COMPANIES. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THE THICKNESS OF FRAMES, INCLUDING CARPET AND CERAMIC TILE V.C.T. ETC.
- INTERIOR DIMENSIONS ARE TO THE FACE OF NEW STUD, UNLESS NOTED OTHERWISE.
- MARK LOCATIONS OF PARTITIONS AND DOORS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT. COORDINATE AND VERIFY CONDITIONS TO ENSURE PROPER FIT.
- ENDING ALL PHASES OF WORK, DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF ADJACENT AND NEIGHBORING TENANTS.
- DESIGN & PERMITTING FOR ANY REQUIRED FIRE PROTECTION SYSTEMS SHALL BE THE RESPONSIBILITY OF A FIRE PROTECTION CONTRACTOR AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL AS REQUIRED BY APPROPRIATE AUTHORITIES.
- DESIGN & PERMITTING FOR ANY REQUIRED UTILITY/USO SYSTEM SHALL BE THE RESPONSIBILITY OF THE UTILITY/USO CONTRACTOR AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL AS REQUIRED BY APPROPRIATE AUTHORITIES.
- DESIGN & PERMITTING FOR ANY REQUIRED PETROLEUM DELIVERY RELATED SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PETROLEUM SYSTEM CONTRACTOR AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL AS REQUIRED BY APPROPRIATE AUTHORITIES.
- DESIGN & PERMITTING FOR ANY REQUIRED STORAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE STORAGE CONTRACTOR AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL AS REQUIRED BY APPROPRIATE AUTHORITIES.

LIFE SAFETY PLAN



GENERAL INSTALL HEIGHTS:



TITLE SHEET

Sheet number

T001



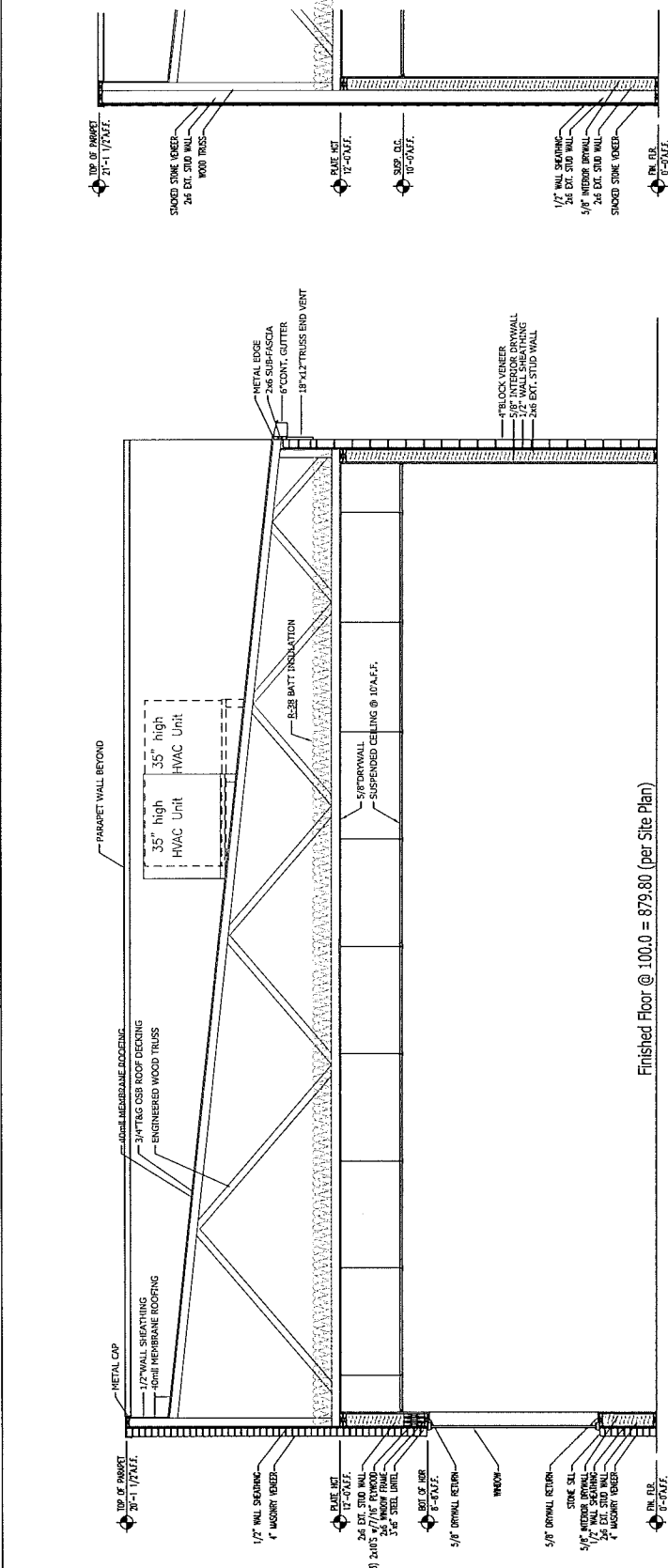
FORTUNE COMPANIES, INC.
329 NORTH MAIN STREET
KOKOMO INDIANA 46901

765-452-1700 OFF - 765-452-7998 FAX - www.fc-inc.com

Holey Moley
Call 811
1-800-382-5544

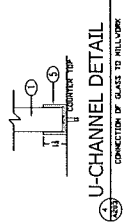
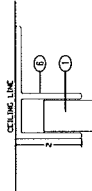
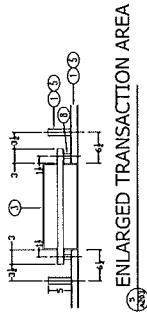
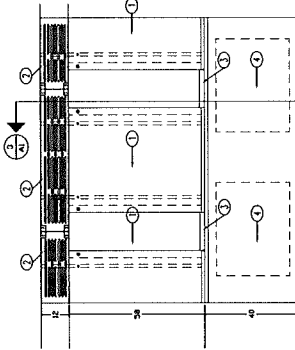
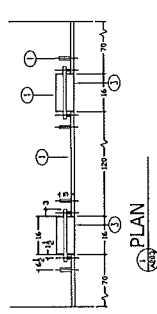
CODE AUTHORITIES:

- 2014 INDIANA BUILDING CODE (2012 INTERNATIONAL BUILDING CODE WITH 2014 AMENDMENTS)
- 2014 INDIANA MECHANICAL CODE (2012 INTERNATIONAL MECHANICAL CODE WITH 2014 AMENDMENTS)
- 2014 INDIANA FIRE CODE (2012 INTERNATIONAL FIRE CODE WITH 2014 AMENDMENTS)
- 2014 INDIANA ELECTRICAL CODE (2008 NATIONAL ELECTRICAL CODE WITH 2014 AMENDMENTS)
- 2014 INDIANA PLUMBING CODE (2008 INTERNATIONAL PLUMBING CODE WITH 2014 AMENDMENTS)
- 2014 INDIANA ELECTRICAL CODE (2008 NATIONAL ELECTRICAL CODE WITH 2014 AMENDMENTS)
- 2014 ADA ACCESSIBILITY GUIDELINES WITH 2009 AMENDMENTS
- 2000 LIFE SAFETY CODE, CHAPTER 21 (NFPA 101)



BULLET-PROOF GLASS NOTES:

1. BULLET RESISTANT ACRYLIC OR ACRYLEPOLYCARBONATE COMPOSITE
2. 1/4" ACRYLIC SLOT COVERS
3. 1/8" GLASS BRUSHED STAINLESS STEEL DEAL TRAYS
4. 1/2" ALUMINUM ANGLE WITH 1/4" RADIUS
5. EXTENDED ALUMINUM CHANNEL, SIZED TO MATCH THE LEVEL OF ACRYLIC PROTECTION. STANDARD COLORS: TPO, 6063 T5, OR ANODIZED ALUMINUM
6. ALUMINUM ANGLE WITH 1/4" RADIUS, SIZED TO MATCH THE LEVEL OF ACRYLIC PROTECTION. STANDARD COLORS: TPO, 6063 T5, OR ANODIZED ALUMINUM
7. SUPPORT BRACKET TO SUPPORT RIGID METAL SUPPORT, COMPOSED OF 1/2" ALUMINUM ANGLE WITH 1/4" RADIUS, SIZED TO MATCH THE LEVEL OF ACRYLIC PROTECTION. STANDARD COLORS: TPO, 6063 T5, OR ANODIZED ALUMINUM
8. ACRYLIC DOWEL BRACES
9. ACRYLIC DOWEL BRACES WITH OWNERS

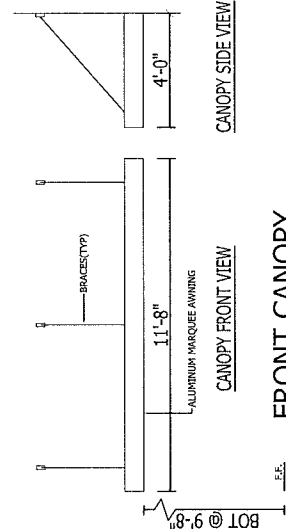
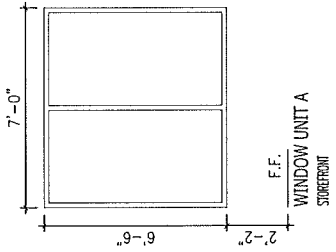


FRONT CASH COUNTER BULLET-PROOF GLASS DETAILS

COORDINATE ALL FINAL SIZING, MATERIALS & FINISHES WITH VENDOR & OWNER - INFORMATION PROVIDED FOR CONCEPTUAL PURPOSES ONLY

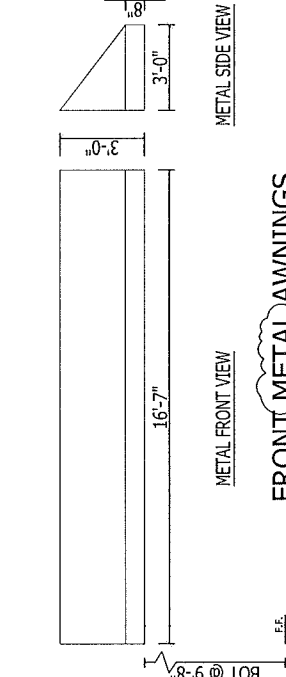
WINDOW ELEVATIONS:

SIZES SHOWN ARE ROUGH OPENINGS



FRONT CANOPY

COVERED AWNING WITH 1/2" ALUMINUM BRACKETING WITH 6" WIDE FLAT PANELS OR EQUAL
COURT: TPO, ALL AWNINGS TO BE VENT



FRONT METAL AWNINGS

TYPICAL 3 PLACES
COURT: TPO

METAL SIDE VIEW

METAL FRONT VIEW

SECTIONS/DETAILS

SCALE: 1/4"=1'-0"

Sheet number

A203



Plot Information:
File Name: D:\Projects\A203.dwg
Date Plotted: 12/15/23
Scale: 1/4"=1'-0"

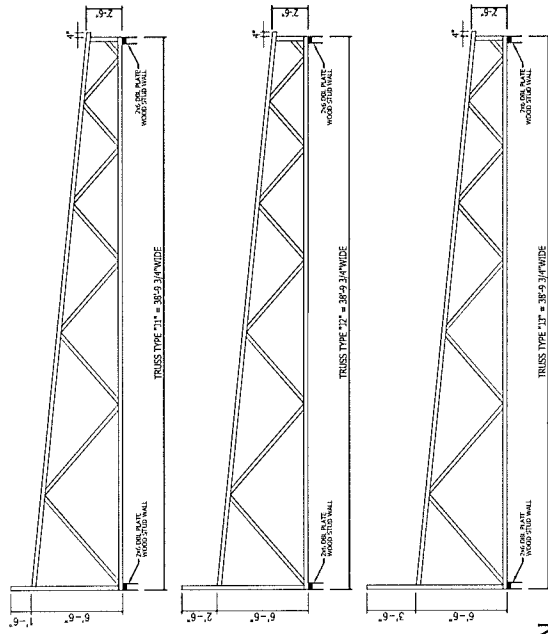
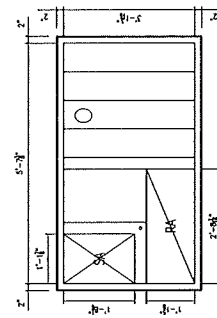
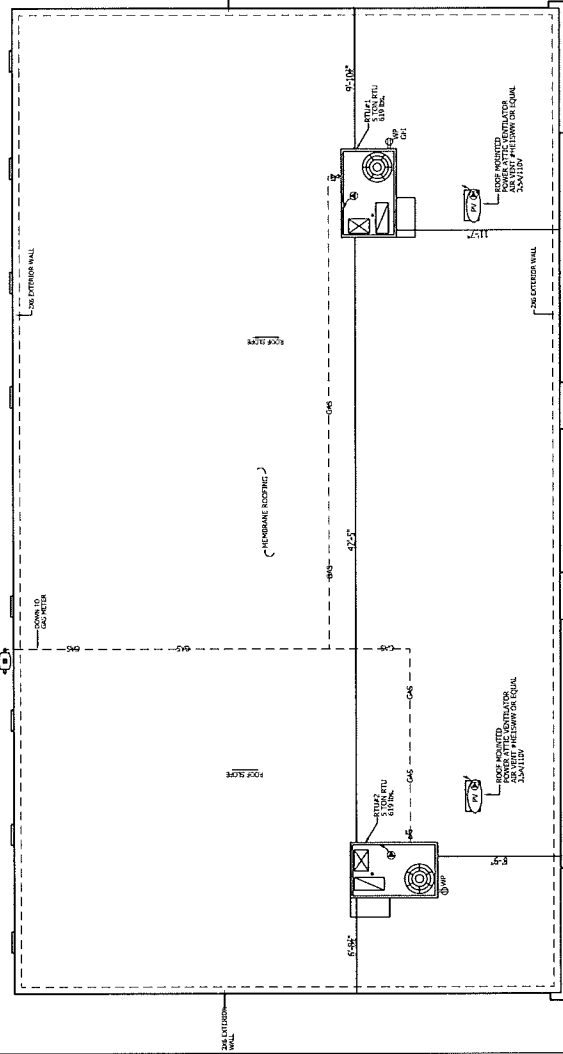
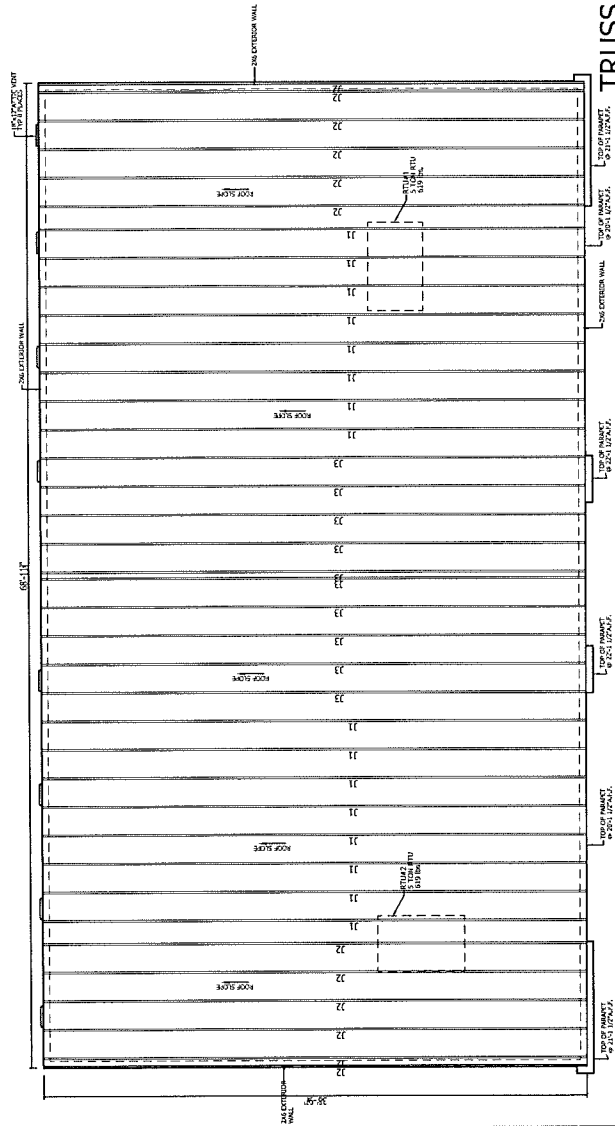
Drawn: M.A.J. & H.S.
Drawing Date: 12/15/23
Revision Date: 12/15/23
Revised By: M.A.J. & H.S.
Revised For: 1/2" Scale Additions per
Contractor's Request. Researching
Contractor's Request for 1/2" Scale
Additions. 1/2" Scale Additions
Shall be 1/2" Scale Additions. 1/2" Scale
Additions. All drawings are subject to
change without notice.

Engineer Associates, Inc.
644 Main Street, Suite 201
Yell City, Indiana 47885
Tel: 765/452-1100
Fax: 765/452-1101
Email: info@engineer-associates.com
Website: www.engineer-associates.com

PROJECT NAME:
SINGH DAVILLE CONVENIENCE STORE
PROJECT LOCATION:
3376 E. Main St., Danville, IN 46162
CLIENT:
JUGAD, LLC
CLIENT ADDRESS:
13150 DITCH RD CARMEL IN 46032

FOR FORTUNE COMPANIES
329 N. Main Street
Kokomo, Indiana 46901
(765) 452-1700
(765) 452-7998 fax

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ARROW SHOWS
DIRECTION OF VIEW

DETAIL NUMBER

THE SHEET
DETAIL IS ON

THE SHEET
DETAIL IS FROM

DETAIL MARK LEGEND

TRUSS/ROOF PLAN

SCALE: 1/4"=1'-0"

Shoot number

A204

Plot Information:
File Name: Denville C-Store
CAD Operator: MAJ and MJS

Seal

777
V.L. Sampson

PROTESTANT
STATE OF
No. 20867
HOSKINS
HOSKINS

MEMBER
A | B D.

AMERICAN INSTITUTE of
BUILDING DESIGN

Engineer Associates, Inc.
045 Main Street, Suite 201

Tell City, Indiana 47585
Tell City Phone 812-547-1100
o-milk

KLSTimpson1@Comcast.net
Kenneth Leo Simpson, P.E.
Drawn: MAJ & KLS

Drawing Date: 1/11/23
Revision Date:
7/10/23, Changes/Additions per

Danville Town Review. Remove top of parapet. Eliminate 2 windows. Show HVAC, Show HVAC unit on

Lighting details.
7/26/23. Remove window from rear (North) elevation.

Pilot Information:
File Name: Danylle Collum

23 CAD Operator MAJ and KLS

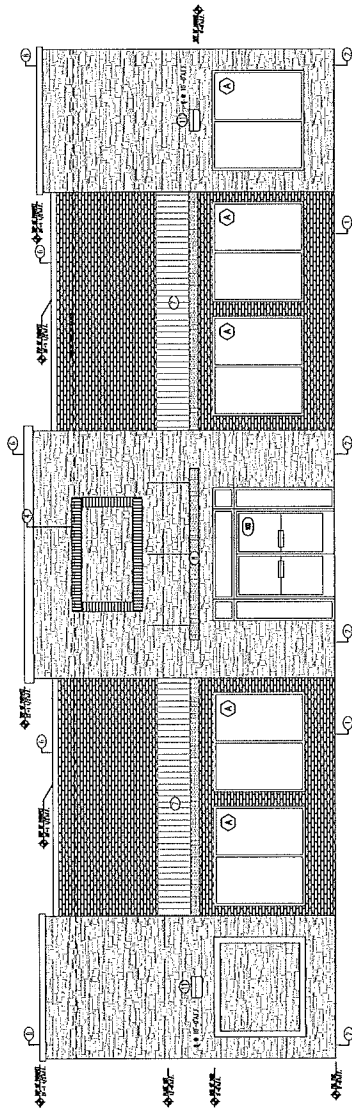
VL Simpson

KEITH
HILL
LIBRARY
No. 20867

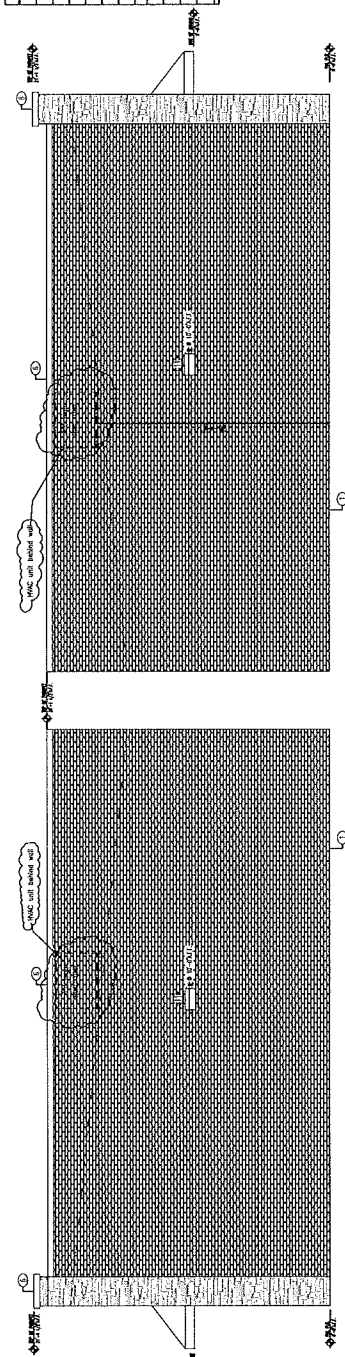
STATE OF
PROFESSOR

Shoot number

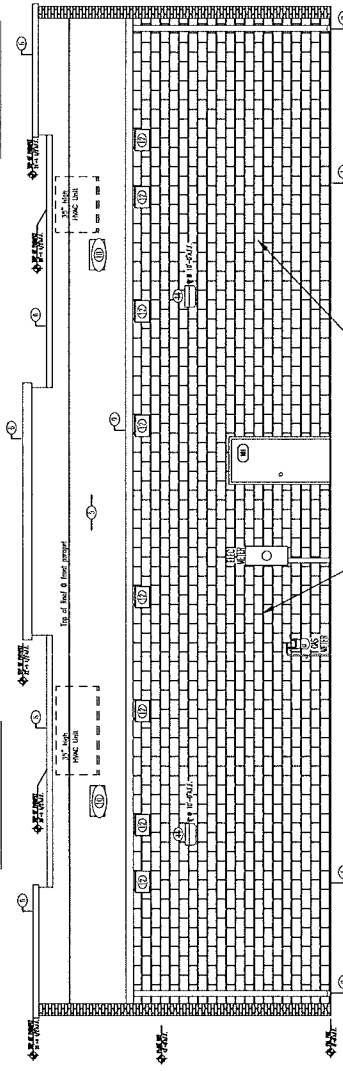
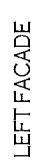
A204



FRONT FACADE



RIGHT FACADE



REAR FACADE

ROOM	ENGLISH SCHEDULE										FLOOR	CEILING	REMARKS
	MAY					JUNE							
	NORTH	EAST	SOUTH	WEST		NORTH	EAST	SOUTH	WEST				
METAL	P1	P1	P1	P1		P1	P1	P1	P1		G11	ACT	
CASH	P3	P3	P3	P3		P3	P3	P3	P3		G11	ACT	PAVED FLOOR
RENDER	P4	P4	P4	P4		P4	P4	P4	P4		G11	ACT	
GRATE	P5	P5	P5	P5		P5	P5	P5	P5		G11	ACT	
PEACHAN COLODES	P6	P6	P6	P6		P6	P6	P6	P6		NOX	ACT	
PC	P2	P2	P2	P2		P2	P2	P2	P2		G11	SPRINKAL	

FINISH SPECIFICATIONS	
PAINT	P1 = COLOR TBD
PAINT	P2 = COLOR TBD (EXCEPT BASED PAINT)
WALL	WPB = COLOR TBD
FLOOR	CT1 = RESTAURANT QUARRY TILE - COLOR TBD
FLOOR	B1 = RESTAURANT QUARRY TILE BASE - COLOR TBD
CERAMIC	ACT = ACQUEDUCI POLISHED LUXE IN CEILING PANEL - WHITE
CERAMIC	A2Z = WALL LUXE IN CEILING PANEL - WHITE
CERAMIC	V1 = STANDARD MODULAR BRICK - COLOR TBD
CERAMIC	V2 = STONED STONE PANEL - COLOR TBD (SHALLA TO BE MATCHED STONE LIPSER PANELS)
CERAMIC	AM1 = SLATE STYLE MIMING - COLOR TBD
CERAMIC	AM2 = MARBLE STYLE MIMING - COLOR TBD

ELEVATION KEYED NOTES:

- 1 BRICK VENTER
- 2 STAINED STONE VENTER
- 3 2" LAMINATING ROLL
- 4 SOLIDER KODAK
- 5 MOUNTING BOARD
- 6 METAL WALL CAP
- 7 METAL WALL PLATE
- 8 1/2" TUBING
- 9 CHAIRS & COMPOUNDS
- 10 POWER ROOF VENT
- 11 LED WALL PACK
- 12 WIRE LITE VENT

ELEVATIONS

SCALE: 1/4"=1'-0"

Sheet number:

A401

77-1560-10000
KENTHLEO SIMPSON
RECEIVED
No. 20867
STATE OF
KENTHLEO SIMPSON
PROSECUTOR

Plot Information:
File Name: Danville Colls

Drawn: MAJ & KLS
Drawing Date: 1/11/23
Revision Date: 7/10/23. Changes/Additions per
Danville Town Review. Rework top
of parapet. Eliminate 2 windows.
Show HVAC. Show HVAC unit on
Elevation. All awnings are metal. E
Lighting details.
7/26/23. Remove window from

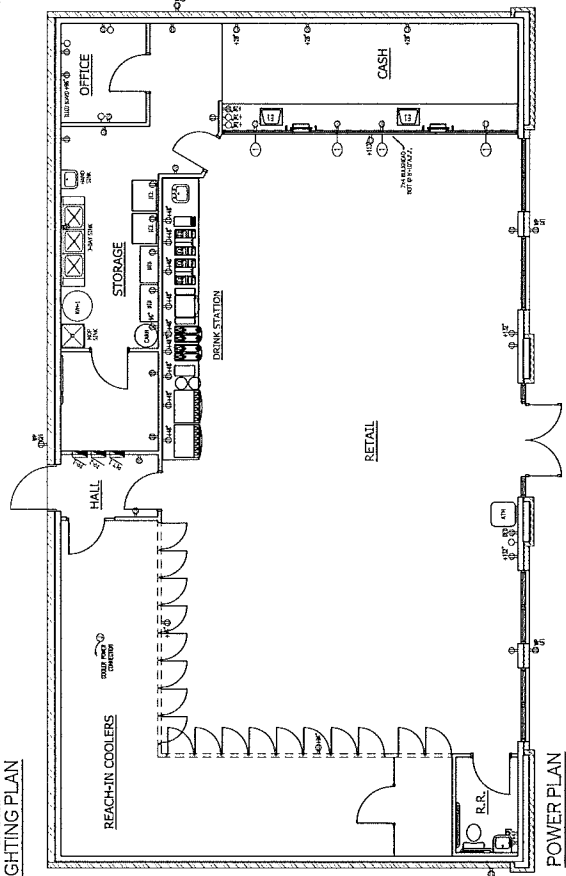
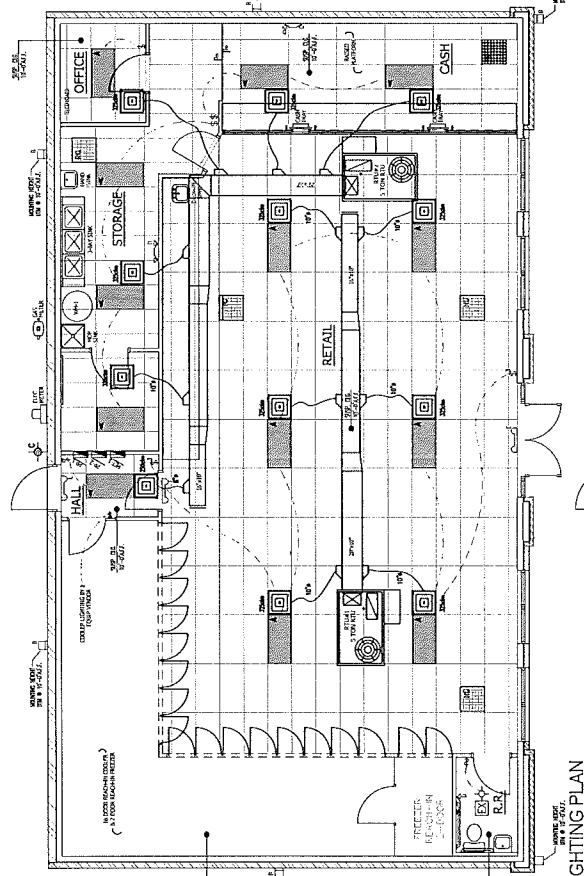
Engineer Associates, Inc.
645 Main Street, Suite 201
Toll City, Indiana 47586
Toll City Phone 812-647-1100
e-mail:

MEMBER
A I B D.
AMERICAN INSTITUTE OF
BUDGETING

PROJECT NAME: SINGH DAVYVILLE CONVENIENCE STORE
PROJECT LOCATION: 3376 E. Main St., Davyville, IN 46162
CLIENT: JUGAAD, LLC
CLIENT ADDRESS: 13150 DITCH RD CARMEL IN 46032

FORTUNE COMPANIES
329 N. Main Street
Kokomo, Indiana 46901
(765) 457-1700
(765) 452-7998 fax

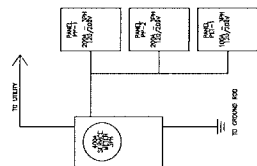
[illegible]



MWC LINE 222000														
UNIT	WPL	MODEL	SETR	UNIT WT.	UNIT SIZE	WOLTS	AC PH	WCP	TOTAL CHA	COOLING CAPACITY	HOISTING MPH	FAW MOTOR HP		
UNIT #1	DR00	48HC00AC05-00A00	15.2	019 lbs	5 TONC	220	50	1	26.5	40	2000	10.42 MPH	82/73 MPH	1.11
UNIT #2	DR00	48HC00AC05-00A00	15.2	019 lbs	5 TONC	220	50	1	26.5	40	2000	10.42 MPH	82/73 MPH	1.11

WATER HEATER SCHEDULE						
TX	MANUFACTURER	MODEL	SIZE	DTU CONN	VOLT	WATER CONN. NOTES
W4-1	REE	DS-125	75gal	1/2"	120	1"

POST VOTE FAN SCHEDULE							
PAT #	MT	MOOD	WOMING	CPM	AMPS	PHASE	VOLTS
PI	AP	NOI	CTH	BOZ	150	LS	1 110



ELECTRICAL RISER

LIGHTING LEGEND:		
☐	2x2 FLOURESCENT LAY-IN FIXTURE	1 SINGLE SWITCH
☒	2x2 FL. - NAT. LIGHT LAY-IN FIXTURE	2 3-WAY SWITCH

[illegible]

LIGHTING/POWER PLAN

SCALE: N.T.S.

ME201



Seal

Plot Information:
File Named: Dannyville C-Store

Professional Member
American Institute of Building Design
Engineer Associates, Inc.
646 Main Street, Suite 201

MEMBER
A I B D.
AMERICAN INSTITUTE OF
BUILDING DESIGNERS

50 DITCH RD CARMEL IN 46032
 SAAD, LLC
 6 E. Main St., Donville, IN 46162

329 N. Main Street
Bloomington, Indiana 46801
(765) 457-1700
(765) 452-7998 fax

[illegible]

ELECTRICAL GENERAL NOTES:

- [illegible]

KEYED NOTES:

① MOUNT DUPLY RECEIPTS HERE FROM COUNTER CASHIER. COORDINATE w/ EQUIPMENT VENDOR FOR WHICH RECEIPTS SHALL BE ISSUED. CASHIERS.

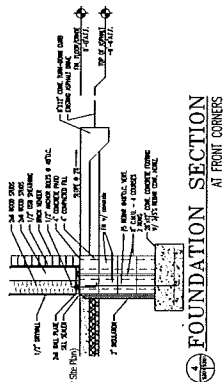
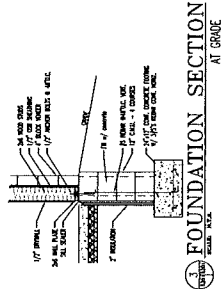
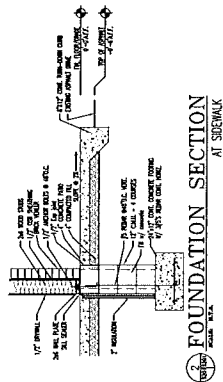
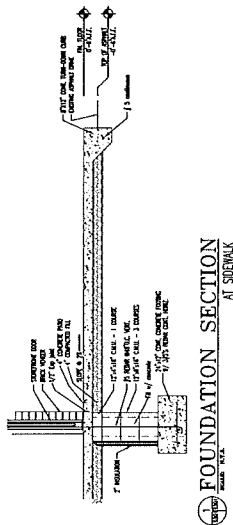
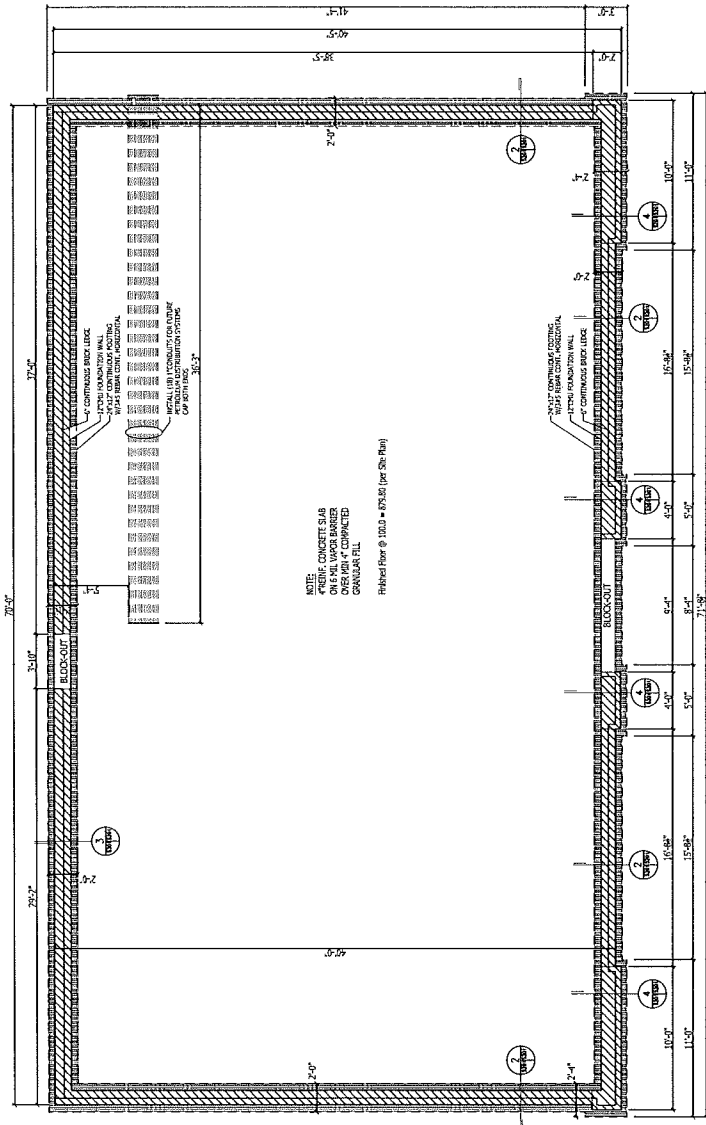
LEARNING FROM SCHOOL									
IN	NO	DESCRIPTION	INSTRUCTOR	DATE	TIME	LOCATION	STATUS	REMARKS	DATE
1	1	2nd Year Math	Mr. J. L. Smith	10/1/00	10:00 AM	Room 101	Completed		10/1/00
2	2	3rd Year Math	Mr. J. L. Smith	10/2/00	10:00 AM	Room 101	Completed		10/2/00
3	3	4th Year Math	Mr. J. L. Smith	10/3/00	10:00 AM	Room 101	Completed		10/3/00
4	4	5th Year Math	Mr. J. L. Smith	10/4/00	10:00 AM	Room 101	Completed		10/4/00
5	5	6th Year Math	Mr. J. L. Smith	10/5/00	10:00 AM	Room 101	Completed		10/5/00
6	6	7th Year Math	Mr. J. L. Smith	10/6/00	10:00 AM	Room 101	Completed		10/6/00
7	7	8th Year Math	Mr. J. L. Smith	10/7/00	10:00 AM	Room 101	Completed		10/7/00
8	8	9th Year Math	Mr. J. L. Smith	10/8/00	10:00 AM	Room 101	Completed		10/8/00
9	9	10th Year Math	Mr. J. L. Smith	10/9/00	10:00 AM	Room 101	Completed		10/9/00
10	10	11th Year Math	Mr. J. L. Smith	10/10/00	10:00 AM	Room 101	Completed		10/10/00
11	11	12th Year Math	Mr. J. L. Smith	10/11/00	10:00 AM	Room 101	Completed		10/11/00
12	12	13th Year Math	Mr. J. L. Smith	10/12/00	10:00 AM	Room 101	Completed		10/12/00
13	13	14th Year Math	Mr. J. L. Smith	10/13/00	10:00 AM	Room 101	Completed		10/13/00
14	14	15th Year Math	Mr. J. L. Smith	10/14/00	10:00 AM	Room 101	Completed		10/14/00
15	15	16th Year Math	Mr. J. L. Smith	10/15/00	10:00 AM	Room 101	Completed		10/15/00
16	16	17th Year Math	Mr. J. L. Smith	10/16/00	10:00 AM	Room 101	Completed		10/16/00
17	17	18th Year Math	Mr. J. L. Smith	10/17/00	10:00 AM	Room 101	Completed		10/17/00
18	18	19th Year Math	Mr. J. L. Smith	10/18/00	10:00 AM	Room 101	Completed		10/18/00
19	19	20th Year Math	Mr. J. L. Smith	10/19/00	10:00 AM	Room 101	Completed		10/19/00
20	20	21st Year Math	Mr. J. L. Smith	10/20/00	10:00 AM	Room 101	Completed		10/20/00
21	21	22nd Year Math	Mr. J. L. Smith	10/21/00	10:00 AM	Room 101	Completed		10/21/00
22	22	23rd Year Math	Mr. J. L. Smith	10/22/00	10:00 AM	Room 101	Completed		10/22/00
23	23	24th Year Math	Mr. J. L. Smith	10/23/00	10:00 AM	Room 101	Completed		10/23/00
24	24	25th Year Math	Mr. J. L. Smith	10/24/00	10:00 AM	Room 101	Completed		10/24/00
25	25	26th Year Math	Mr. J. L. Smith	10/25/00	10:00 AM	Room 101	Completed		10/25/00
26	26	27th Year Math	Mr. J. L. Smith	10/26/00	10:00 AM	Room 101	Completed		10/26/00
27	27	28th Year Math	Mr. J. L. Smith	10/27/00	10:00 AM	Room 101	Completed		10/27/00
28	28	29th Year Math	Mr. J. L. Smith	10/28/00	10:00 AM	Room 101	Completed		10/28/00
29	29	30th Year Math	Mr. J. L. Smith	10/29/00	10:00 AM	Room 101	Completed		10/29/00
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33	33	34th Year Math	Mr. J. L. Smith	11/2/00	10:00 AM	Room 101	Completed		11/2/00
34	34	35th Year Math	Mr. J. L. Smith	11/3/00	10:00 AM	Room 101	Completed		11/3/00
35	35	36th Year Math	Mr. J. L. Smith	11/4/00	10:00 AM	Room 101	Completed		11/4/00
36	36	37th Year Math	Mr. J. L. Smith	11/5/00	10:00 AM	Room 101	Completed		11/5/00
37	37	38th Year Math	Mr. J. L. Smith	11/6/00	10:00 AM	Room 101	Completed		11/6/00
38	38	39th Year Math	Mr. J. L. Smith	11/7/00	10:00 AM	Room 101	Completed		11/7/00
39	39	40th Year Math	Mr. J. L. Smith	11/8/00	10:00 AM	Room 101	Completed		11/8/00
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42	42	43rd Year Math	Mr. J. L. Smith	11/11/00	10:00 AM	Room 101	Completed		11/11/00
43	43	44th Year Math	Mr. J. L. Smith	11/12/00	10:00 AM	Room 101	Completed		11/12/00
44	44	45th Year Math	Mr. J. L. Smith	11/13/00	10:00 AM	Room 101	Completed		11/13/00
45	45	46th Year Math	Mr. J. L. Smith	11/14/00	10:00 AM	Room 101	Completed		11/14/00
46	46	47th Year Math	Mr. J. L. Smith	11/15/00	10:00 AM	Room 101	Completed		11/15/00
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48	48	49th Year Math	Mr. J. L. Smith	11/17/00	10:00 AM	Room 101	Completed		11/17/00
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51	51	52nd Year Math	Mr. J. L. Smith	11/20/00	10:00 AM	Room 101	Completed		11/20/00
52	52	53rd Year Math	Mr. J. L. Smith	11/21/00	10:00 AM	Room 101	Completed		11/21/00
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63	63	64th Year Math	Mr. J. L. Smith	12/2/00	10:00 AM	Room 101	Completed		12/2/00
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67	67	68th Year Math	Mr. J. L. Smith	12/6/00	10:00 AM	Room 101	Completed		12/6/00
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69	69	70th Year Math	Mr. J. L. Smith	12/8/00	10:00 AM	Room 101	Completed		12/8/00
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71	71	72nd Year Math	Mr. J. L. Smith	12/10/00	10:00 AM	Room 101	Completed		12/10/00
72	72	73rd Year Math	Mr. J. L. Smith	12/11/00	10:00 AM	Room 101	Completed		12/11/00
73	73	74th Year Math	Mr. J. L. Smith	12/12/00	10:00 AM	Room 101	Completed		12/12/00
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75	75	76th Year Math	Mr. J. L. Smith	12/14/00	10:00 AM	Room 101	Completed		12/14/00
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80	80	81st Year Math	Mr. J. L. Smith	12/19/00	10:00 AM	Room 101	Completed		12/19/00
81	81	82nd Year Math	Mr. J. L. Smith	12/20/00	10:00 AM	Room 101	Completed		12/20/00
82	82	83rd Year Math	Mr. J. L. Smith	12/21/00	10:00 AM	Room 101	Completed		12/21/00
83	83	84th Year Math	Mr. J. L. Smith	12/22/00	10:00 AM	Room 101	Completed		12/22/00
84	84	85th Year Math	Mr. J. L. Smith	12/23/00	10:00 AM	Room 101	Completed		12/23/00
85	85	86th Year Math	Mr. J. L. Smith	12/24/00	10:00 AM	Room 101	Completed		12/24/00
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87	87	88th Year Math	Mr. J. L. Smith	12/26/00	10:00 AM	Room 101	Completed		12/26/00
88	88	89th Year Math	Mr. J. L. Smith	12/27/00	10:00 AM	Room 101	Completed		12/27/00
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91	91	92nd Year Math	Mr. J. L. Smith	12/30/00	10:00 AM	Room 101	Completed		12/30/00
92	92	93rd Year Math	Mr. J. L. Smith	12/31/00	10:00 AM	Room 101	Completed		12/31/00
93	93	94th Year Math	Mr. J. L. Smith	1/1/01	10:00 AM	Room 101	Completed		1/1/01
94	94	95th Year Math	Mr. J. L. Smith	1/2/01	10:00 AM	Room 101	Completed		1/2/01
95	95	96th Year Math	Mr. J. L. Smith	1/3/01	10:00 AM	Room 101	Completed		1/3/01
96	96	97th Year Math	Mr. J. L. Smith	1/4/01	10:00 AM	Room 101	Completed		1/4/01
97	97	98th Year Math	Mr. J. L. Smith	1/5/01	10:00 AM	Room 101	Completed		1/5/01
98	98	99th Year Math	Mr. J. L. Smith	1/6/01	10:00 AM	Room 101	Completed		1/6/01
99	99	100th Year Math	Mr. J. L. Smith	1/7/01	10:00 AM	Room 101	Completed		1/7/01
100	100	101st Year Math	Mr. J. L. Smith	1/8/01	10:00 AM	Room 101	Completed		1/8/01
101	101	102nd Year Math	Mr. J. L. Smith	1/9/01	10:00 AM	Room 101	Completed		1/9/01
102	102	103rd Year Math	Mr. J. L. Smith	1/10/01	10:00 AM	Room 101	Completed		1/10/01
103	103	104th Year Math	Mr. J. L. Smith	1/11/01	10:00 AM	Room 101	Completed		1/11/01
104	104	105th Year Math	Mr. J. L. Smith	1/12/01	10:00 AM	Room 101	Completed		1/12/01
105	105	106th Year Math	Mr. J. L. Smith	1/13/01	10:00 AM	Room 101	Completed		1/13/01
106	106	107th Year Math	Mr. J. L. Smith	1/14/01	10:00 AM	Room 101	Completed		1/14/01
107	107	108th Year Math	Mr. J. L. Smith	1/15/01	10:00 AM	Room 101	Completed		1/15/01
108	108	109th Year Math	Mr. J. L. Smith	1/16/01	10:00 AM	Room 101	Completed		1/16/01
109	109	110th Year Math	Mr. J. L. Smith	1/17/01	10:00 AM	Room 101	Completed		1/17/01
110	110	111th Year Math	Mr. J. L. Smith	1/18/01	10:00 AM	Room 101	Completed		1/18/01
111	111	112th Year Math	Mr. J. L. Smith	1/19/01	10:00 AM	Room 101	Completed		1/19/01
112	112	113th Year Math	Mr. J. L. Smith	1/20/01	10:00 AM	Room 101	Completed		1/20/01
113	113	114th Year Math	Mr. J. L. Smith	1/21/01	10:00 AM	Room 101	Completed		1/21/01
114	114	115th Year Math	Mr. J. L. Smith	1/22/01	10:00 AM	Room 101	Completed		1/22/01
115	115	116th Year Math	Mr. J. L. Smith	1/23/01	10:00 AM	Room 101	Completed		1/23/01
116	116	117th Year Math	Mr. J. L. Smith	1/24/01	10:00 AM	Room 101	Completed		1/24/01
117	117	118th Year Math	Mr. J. L. Smith	1/25/01	10:00 AM	Room 101	Completed		1/25/01
118	118	119th Year Math	Mr. J. L. Smith	1/26/01	10:00 AM	Room 101	Completed		1/26/01
119	119	120th Year Math	Mr. J. L. Smith	1/27/01	10:00 AM	Room 101	Completed		1/27/01
120	120	121st Year Math	Mr. J. L. Smith	1/28/01	10:00 AM	Room 101	Completed		1/28/01
121	121	122nd Year Math	Mr. J. L. Smith	1/29/01	10:00 AM	Room 101	Completed		1/29/01
122	122	123rd Year Math	Mr. J. L. Smith	1/30/01	10:00 AM	Room 101	Completed		1/30/01
123	123	124th Year Math	Mr. J. L. Smith	1/31/01	10:00 AM	Room 101	Completed		1/31/01
124	124	125th Year Math	Mr. J. L. Smith	2/1/01	10:00 AM	Room 101	Completed		2/1/01
125	125	126th Year Math	Mr. J. L. Smith	2/2/01	10:00 AM	Room 101	Completed		2/2/01
126	126	127th Year Math	Mr. J. L. Smith	2/3/01	10:00 AM	Room 101	Completed		2/3/01
127	127	128th Year Math	Mr. J. L. Smith	2/4/01	10:00 AM	Room 101	Completed		2/4/01
128	128	129th Year Math	Mr. J. L. Smith	2/5/01	10:00 AM	Room 101			

Now open to Armed Nat. (23.04.22.02.26)

23-527 = 120 vol% v. 5000K + Peritectic
Full Cu-017COUNTING HOUSE
24 • W. 45th ST.

LIGHTING PLAN

POWER PLAN



DETAIL NUMBER
SECTION 1 OF 4
THE SHEET
DETAIL IS FROM
DETAIL MARK LEGEND



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

AL: THESE SECTION ASSIGNMENTS AND PLACED INDICATES ON THE DRAWING. THESE SECTIONS SHALL BE USED IN THE CONSTRUCTION OF THE FOUNDATION. THESE SECTIONS SHALL BE USED IN THE CONSTRUCTION OF THE FOUNDATION. THESE SECTIONS SHALL BE USED IN THE CONSTRUCTION OF THE FOUNDATION.

FORTUNE COMPANIES
329 N. Main Street
Kokomo, Indiana 46901
(765) 457-1700
(765) 452-7998 fax

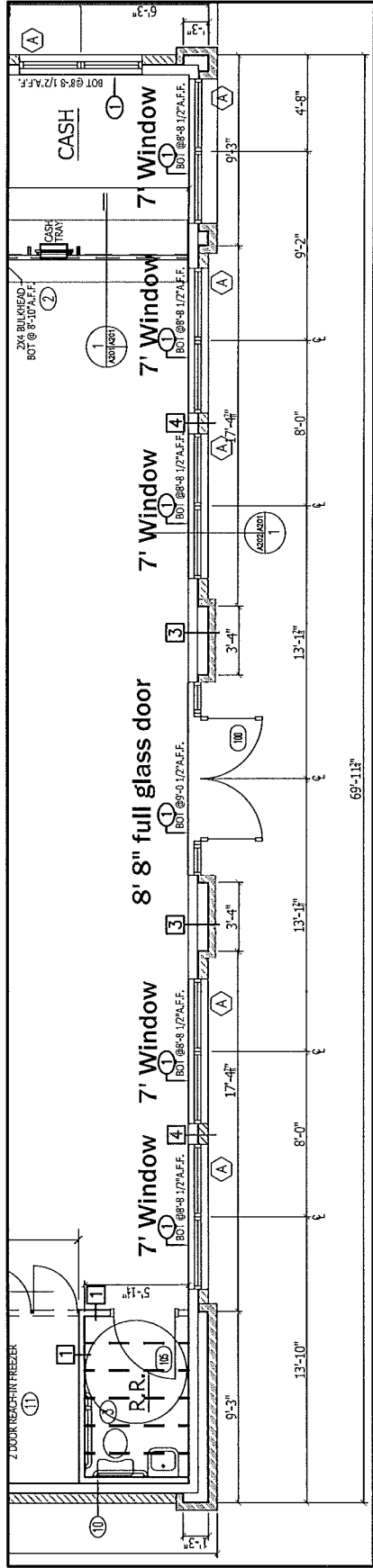
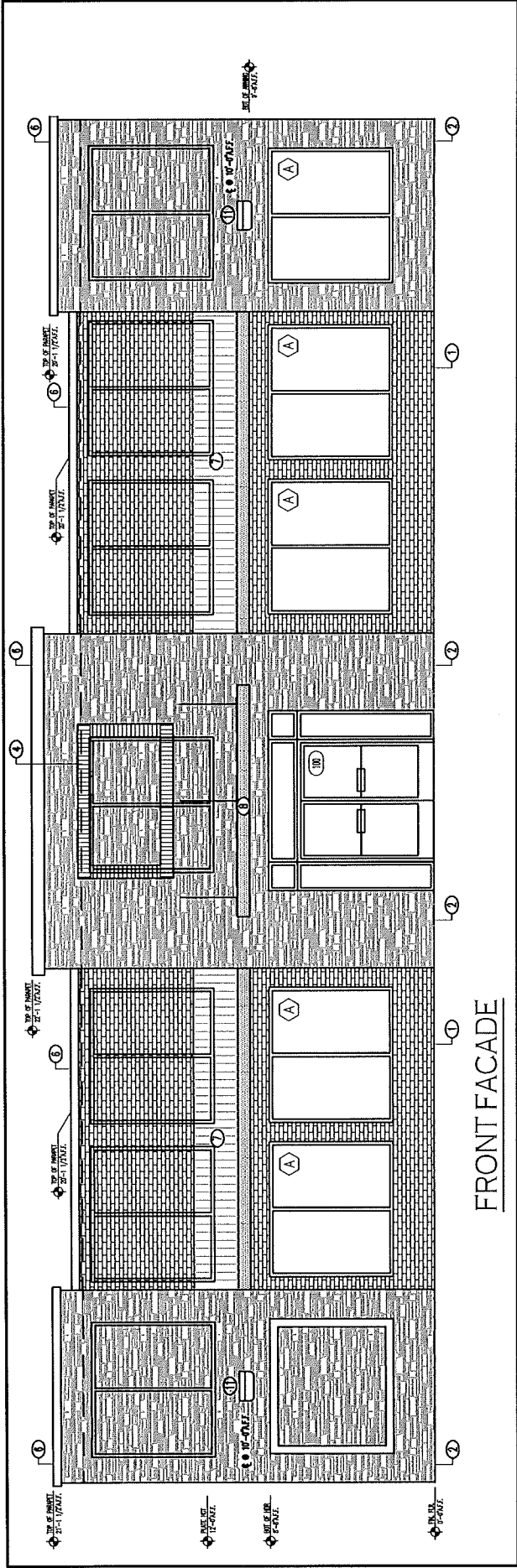
AI
BD
MEMBER
AMERICAN INSTITUTE OF BUILDING DESIGNERS

Engineer Associates, Inc.
Professional Engineer
1414 E. Main Street, Suite 202
Tipton, Indiana 47385
Tel: 765/457-1100
Fax: 765/457-1100
www.eai-inc.com

Project Information:
Project Name: SINGH DAVAYLE CONVENIENCE STORE
Project Location: 13150 DITCH RD CARMEL IN 46032
Client: JUSAD, LLC
Drawing Date: 1/11/23

Plot Information:
File Name: DAVAYLE Store.dwg
Date Plotted: 1/11/23
Plot Scale: 1/4"=1'-0"

Sheet number
S201



Window Calculations

Looking at the linear values (from Plan View)

Total length of building = $69' 11 \frac{3}{4}"$

Total windows $5 @ 7'$ wide + $1 @ 8' 8"$ (Front Door) = $43.67'$

That yields $43.67' / 69' 11 \frac{3}{4}" = 62\%$, greater than 60%

Plan View

Window Calculations

Looking at Front Facade

As originally designed -

Front Face has $1,407$ sq. ft

Windows are 308 sq. ft

This yields $308 / 1,407 = 22\%$ windows

As shown above, windows added on 2nd story

Front face has $1,407$ sq. ft.

Windows are now 627 sq. ft

This yields $627 / 1,407 = 45\%$ windows

Danville C-Store

Sunny Singh

KLS 7/7/23



