

TOWN OF DANVILLE

**Danville Plan Commission
August 9, 2023
7:00 PM**

AGENDA

- I. **Call Meeting to Order**
 - Pledge of Allegiance
 - Establish Quorum
 - Approve Minutes

- II. **Old Business: None**

- III. **New Business:**
 - A. **Design Review Committee Recommendations: Sukhwinder Singh, Jugaad, LLC (BP Gas Station/Convenience Store), 3376 East Main Street, New Construction**
(Staff)

 - B. **Public Hearing: Sukhwinder Singh, Jugaad, LLC (BP Gas Station/Convenience Store), a site plan review to construct a gas station/convenience store, located at 3376 East Main Street, 0.81 acres**
(Philip Going, Accura Land Surveying)

- IV. **Report of Officers, Committees and Staff**

- VI. **Adjourn**

**Next Meeting:
September 13, 2023**

**DANVILLE PLAN COMMISSION
MINUTES
July 12th, 2023
7:00 PM**

Members Present: Adam Harvey, Loris Thompson, Sue Rempert, Michael Chatham, Barry Lofton, Jill Howard, Nancy Leavitt
Members Absent: None
Staff Present: Will Lacey
Guests: Eric Weflen, Kevin Cavanaugh, Anthony Higbie, Joe Miller (Town Engineer)
Legal: Ashley Ulbricht, Taft Law (virtual)

A quorum was established, and the meeting was called to order by L. Thompson.

A. Harvey made a motion to approve minutes from the June 14th, 2023, meeting. S. Rempert seconded the motion, motion passed 7-0.

Old Business: None

New Business:

A. Public Hearing Hendricks County Work Release Center, a site plan review to construct a modular building, located at 200 East Campus Boulevard, 0.25 acres (Eric Weflen, ESW Consulting, LLC)

E. Weflen stated the need for the modular at this time and described its layout. L. Thompson asked if this is a temporary solution. K. Cavanaugh with Hendricks County stated this is short-term, but they don't have a time frame for the need at this time. A. Harvey asked if there were plans to expand with multiple modular units. K. Cavanaugh stated not at this time. The meeting was opened to the public, with no public comment. The meeting was closed to the public. S. Rempert made a motion to approve with the following conditions: 1. using smart panels to match the existing structure. 2. The installation of landscaping. 3. Follow up review by the Design Review Committee and Plan Commission in 5 years to check the status of the temporary structure. N. Leavitt seconded the motion.

Roll Call Vote:

S. Rempert – Aye
N. Leavitt - Aye
A. Harvey – Aye
L. Thompson – Aye
J. Howard - Aye
M. Chatham - Aye
B. Lofton – Aye

Motion Passed 7-0.

B. Design Review Committee Recommendations: Anthony D. Higbie, 25 West Marion Street, Exterior Renovation (Staff)

A. Higbie explained his proposed window replacement, the size is not changing. L. Thompson asked if Design Review had given a favorable recommendation. J. Miller with Banning stated that was correct. B. Lofton stated no permit will be required from the town. J. Howard made a motion to approve. A. Harvey seconded the motion.

Motion Passed 7-0.

Items for Discussion: None

Report of Officers, Committees and Staff: None

With there being no further business, the meeting was adjourned at 7:15 p.m.

Loris L. Thompson, President

Barry Lofton, Secretary

Meeting Briefing

August 9, 2023

Sukwinder Singh, Jugaad, LLC Site Plan Review

This is a request for preliminary and final site plan review approval of a gas station/convenience store at 3376 East Main Street. The Design Review Committee forwarded a favorable recommendation to the Plan Commission with conditions and are included in your packet. This is a public hearing and will require a vote.

Screening:

- The trash enclosure will be screened of brick and stone with a black vinyl gate.

Landscaping:

- Landscaping requirements have been satisfied for the new construction. There is an existing tree line along the eastern boundary of the property. The Design Review Committee recommended the tree line remain, however, three (3) of the trees have to be removed because they are in the area where parking is proposed. The applicant has committed to putting up a fence in place of the trees. The Plan Commission must determine if this is acceptable.

Lighting:

- A lighting plan has been provided that complies with the zoning ordinance for parking areas.

Pedestrian Circulation:

- A pedestrian walkway has been demarcated with paint from the entrance of the site to the building for safety.

Signage:

- All proposed signage must comply with the sign ordinance and permits obtained prior to installation.

As of this writing, staff has received a letter from the property owner to the north regarding their concerns and is attached.

Staff requested a few additional details on the site plan and those have been provided; therefore, staff recommends approval of the site plan as revised.

Plan Commission Action on Site Plan:

Approve Site Plan
Deny Site Plan
Approve Site Plan with conditions

CASE SUMMARY

Site Plan Review

Case: 2023-2146
Sukhwinder Singh, Jugard, LLC, Petitioner
Philip Going, Accura Land Surveying, Project Engineer

Request: Site Plan Approval, Preliminary & Final

Location: 3376 East Main Street

Acreage: 0.70 acre

Zoning: General Business, & Corridor Protection Overlay District

Staff Summary:

Zoning:

- This property currently has a vacant building that was previously used as a barber shop and Red Indian Earth retail shop. This building will be demolished, and a gas station/convenience store will be constructed. This use is permitted in the GB zoning district.
- The proposed building is subject to CPOD requirements and has been recommended for approval by the Design Review Committee with recommendations. Those recommendations are attached.

Utilities:

- This property is served by the Town's water supply system.
- This property is served by the West Central Conservancy District for sanitary sewer. An availability letter must be provided stating there is capacity to serve.

Public Streets/Public ROW:

- No new public streets or right-of-way are being created by this project.

Stormwater/Drainage:

- This project proposes to capture all of the stormwater runoff from this site and route it through a stormwater dry detention pond on the north side of the building.
- Joe Miller, Banning Engineering has reviewed the plans and drainage report dated August 2, 2023, and is satisfied that they meet the intent of the Stormwater Technical Standards.

Off-street Parking:

- Off-street parking spaces meet the requirements of the zoning ordinance.

TOWN OF DANVILLE

August 3, 2023

Sukhwinder Singh, Jugaad, LLC
13150 Ditch Road
Carmel, IN 46032

RE: Design Review Recommendations

Mr. Singh:

On August 2, 2023, the Design Review Committee (DRC) heard your request for construction of a gas station/convenience store located at 3376 East Main Street. The recommendations are as follows:

1. Trash enclosure design details must be provided. The enclosure will be constructed of brick and stone with a black vinyl gate.
2. Pump island canopy will be a flat design with supporting steel columns wrapped in brick and stone.
3. A white vinyl fence will be provided along the partial west and north side of the property.
4. All proposed signage will comply with the sign ordinance and permits obtained.
5. Faux window opening on western end of façade will be outlined with stone similar to the stone lintels for the actual window openings.
6. Existing trees along the east side of the property must remain.
7. Aluminum windows and doors will be black, projecting metal awnings will be green.

These recommendations will be forwarded to the Plan Commission for consideration of your Site Plan Review request for approval on August 9, 2023, at 7:00 pm. The Committee voted 6-1 with an abstention subject to the above recommendations.

Feel free to contact me with any questions or comments.

Thank you,



Lesla Ternet
Town Planner



853 Columbia Road, Suite 101, Plainfield, IN 46168
Phone: (317) 707-3700 | Fax: (317) 707-3800

August 2, 2023

Lesa Ternet, Planner
Town of Danville
49 N. Wayne St.
Danville, IN 46122

RE: 3376 Main Street Convenience Store and Gas Station

Dear Ms. Ternet:

I have reviewed the construction plans, BMP Manual and drainage report with a date of 08-02-2023. I have no additional comments. In my opinion the submitted plan meets the intent of the Town of Danville Stormwater Technical Standards.

If you have any questions, please contact me at 317-707-3736

All the best,

Joseph L. Miller, P.E.

Town of Danville
Construction/Stormwater Pollution Prevention Plan
Technical Review and Comment (Form 1)

Project Information	Project Name: Future Commercial Development	County: Hendricks
	Plan Submittal Date: 7/12/23	Receiving Water: West Fork White Lick Creek
	Project Location Description: Stafford Road and US 36 (south side of US 36)	
	Latitude and Longitude: North (39deg, 45min, 27.8sec) West (86deg, 30min, 37.3sec)	
	Civil Township: Center	Quarter: NE Section: 10 Township: 15N Range: 1W
	Project Owner Name: TKC Properties, LLC	
	Contact: Bill Niemier	
	Address: 6910 North Shadeland Ave.	
	City: Indianapolis	State: IN Zip: 46220
	Phone: 317-890-1714	FAX: E-Mail: bill@tharpinvest.com
Plan Review	Plan Preparer Name: Trent A. Baxter, PE	
	Affiliation: Versatile Construction Group	
	Address: 570 East Tracy Road, Suite 610	
	City: New Whiteland	State: IN Zip: 46184
	Phone: 317-535-3579	FAX: E-Mail: tbaxter@versatile-llc.com
	Review Date: 7/24/2023	
	Principal Plan Reviewer: Joseph L. Miller, PE	
Agency: Banning Engineering on behalf of the Town of Danville Indiana		
Address: 853 Columbia Road, Suite 101		
City: Plainfield	State: Indiana Zip: 46168	
Phone: 317-707-3736	FAX: 317-707-3800 E-Mail: jmiller@banningengineering.com	
Assisted By:		

Review Date: 7/24/2023

Principal Plan Reviewer: Joseph L. Miller, PE

Agency: Banning Engineering on behalf of the Town of Danville Indiana

Address: 853 Columbia Road, Suite 101

City: Plainfield **State:** Indiana **Zip:** 46168

Phone: 317-707-3736 **FAX:** 317-707-3800 **E-Mail:** jmiller@banningengineering.com

Assisted By:

A comprehensive plan review has been completed and it has been determined that the plan

X PLAN IS ADEQUATE: satisfies the minimum requirements and intent of 327 IAC 15-5

Please refer to additional information included on the following page(s).

Submit Notice of Intent (NOI): Attach a copy of this cover page when submitting the NOI to the Indiana Department of Environmental Management. Construction Activities may begin 48 hours following the submittal of the NOI. A copy of the NOI must also be sent to the Town of Danville and Banning Engineering.

A preliminary plan review has been completed; a comprehensive review will not be completed within the 28-day review period. The reviewing authority reserves the right to perform a comprehensive review at a later date and revisions to the plan may be required at that time to address deficiencies.

Please refer to additional information included on the following page(s).

Submit Notice of Intent (NOI): Attach a copy of this cover page when submitting the NOI to the Indiana Department of Environmental Management. Construction Activities may begin 48 hours following the submittal of the NOI. A copy of the NOI must also be sent to the Town of Danville and Banning Engineering.

PLAN IS DEFICIENT: Significant deficiencies were identified during the plan review.

Please refer to additional information included on the following page(s).

DO NOT file a Notice of Intent for this project.

DO NOT commence land disturbing activities until all deficiencies are adequately addresses, the plan re-submitted, and notification has been received that the minimum requirements have been satisfied.

Plan Revisions Deficient Items should be mailed or delivered to the Town of Danville and Banning Engineering.

SPLIT

DULY ENTERED
FOR TAXATION

Jan 04 2023 - SW

Nancy S. Marsh
AUDITOR HENDRICKS COUNTY

202300192 D \$25.00
01/05/2023 07:51:48AM 4 PGS
Laura Herzog
Hendricks County Recorder IN
Recorded as Presented



Tax ID:017-106511-**400007**
400008
State ID: 32-10-06-400-008.000-003

SPECIAL WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT

Terrence L. Wildman

("Grantor"), of Hendricks County, in the State of Indiana, CONVEYS AND SPECIALLY WARRANTS to:

Jugaad LLC

("Grantee"), a limited liability company organized and existing under the state of laws of the State of Indiana, for the sum of Ten and no/100 Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate in Hendricks County, in the State of Indiana.

Tract One:

Part of the West Half of the Southeast Quarter of the Southeast Quarter of Section 6, Township 15 North, Range 1 East in the Town of Danville, Center Township, Hendricks County, Indiana, said part being more particularly described as follows:

Commencing at a railroad spike marking the Southeast corner of said Section 6; thence North 89 degrees 33 minutes 55 seconds West (assumed bearing) along the South line of said Southeast Quarter Section 679.84 feet to a point that is 12.00 feet West of the Southeast corner of said Half-Quarter-Quarter Section, said point also being the Southeast corner of 0.81 acre tract of land per Instrument Number 202221492 in the Office of the Recorder of Hendricks County, Indiana; thence North 00 degrees 26 minutes 24 seconds East along the East line of said 0.81 acre tract 57.33 feet to the Northerly right of way line of Old U.S. Highway 36 as identified on Minor Plat No. 314 recorded in Plat Cabinet 1, Slide 16, Page 2 in the Office of said Recorder; thence South 89 degrees 52 minutes 22 seconds West along said right of way line 2.17 feet to a Southwesterly corner of said Minor Plat and being the POINT OF BEGINNING of this description; thence continuing South 89 degrees 52 minutes 22 seconds West along said right of way line 218.01 feet to a capped 5/8 inch rebar (Accura); thence North 00 degrees 26 minutes 24 seconds East 126.46 feet to a capped 5/8 inch rebar (Accura); thence South 89 degrees 33 minutes 35 seconds East 23.68 feet to a capped 5/8 inch rebar (Accura); thence North 01 degrees 01

minutes 33 seconds East 67.98 feet to a capped 5/8 inch rebar (Accura); thence South 89 degrees 33 minutes 55 seconds East 141.64 feet to the West line of the previously stated Minor Plat No. 314; thence South 00 degrees 29 minutes 37 seconds West along said West line 192.80 feet to the Point of Beginning, containing 0.700 of an acre, more or less.

Tract Two: (Right of way to be dedicated to the Town of Danville)

Part of the West Half of the Southeast Quarter of the Southeast Quarter of Section 6, Township 15 North, Range 1 East in the Town of Danville, Center Township, Hendricks County, Indiana, said part being more particularly described as follows:

Commencing at a railroad spike marking the Southeast corner of said Section 6; thence North 89 degrees 33 minutes 55 seconds West (assumed bearing) along the South line of said Southeast Quarter Section 679.84 feet to a point that is 12.00 feet West of the Southeast corner of said Half-Quarter-Quarter Section, said point also being the Southeast corner of 0.81 acre tract of land per Instrument Number 202221492 in the Office of the Recorder of Hendricks County, Indiana, and being the POINT OF BEGINNING of this description; thence North 00 degrees 26 minutes 24 seconds East along the East line of said 0.81 acre tract 57.33 feet to the Northerly right of way line of Old U.S. Highway 36 as identified on Minor Plat No. 314 recorded in Plat Cabinet 1, Slide 16, Page 2 in the Office of said Recorder; thence South 89 degrees 52 minutes 22 seconds West along said right of way line 218.01 feet to the West line of a 0.81 acre tract of land per Instrument Number 201623114 in the Office of the Recorder of Hendricks County, Indiana; thence South 00 degrees 26 minutes 24 seconds West along said West line 55.20 feet to the South line of said Southeast Quarter Section; thence South 89 degrees 33 minutes 55 seconds East along said South line 218.00 feet to the Point of Beginning, containing 0.282 of an acre, more or less.

Subject to any and all easements, agreements and restrictions of record. The address of such real estate is commonly known as **3376 E. Main St, Danville, IN 46122.**

Grantor hereby binds Grantor and Grantor's heirs, executors, administrators, and successors to warrant and forever defend all and singular the property to Grantee and Grantee's heirs, executors, administrators, successors, and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the reservations from and exceptions to warranty when the claim is by, through, or under Grantor, but not otherwise.

The Grantor herein confirms that he took title with Marilyn B. Wildman, his wife, by that certain Quitclaim

22-2394

Deed dated September 26, 2016, recorded October 4, 2016 as Instrument Number 201623113 in the Office of the Recorder of Hendricks County, and that they remained married until the time of Marilyn B. Wildman's death on February 21, 2017.

IN WITNESS WHEREOF, Grantor has caused this deed to be executed this 4th day of January 2023.

Terrence L. Wildman
Terrence L. Wildman

State of Indiana
County of MARION

Before me, a Notary Public, in and for said County and State, personally appeared **Terrence L. Wildman** who acknowledged the execution of the foregoing Special Warranty Deed, and stated that the foregoing representations are true.

Witness my hand and Notarial seal, this January 4th, 2023.

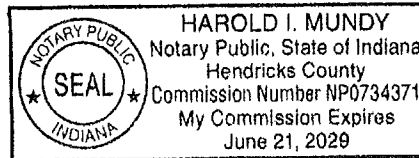
Printed Name of Notary Public

[Signature]
Signature of Notary Public

My Commission Expires

Commission Number

County of Residence



Return deed to: **Royal Title Services, 365 East Thompson Road, Indianapolis, IN 46227-1624**

The mailing address to which tax and assessment statements should be mailed under IC 6-1.1-22-8.1 is **13150 Ditch Road, Carmel, IN 46032**

The mailing address of the grantee is **13150 Ditch Road, Carmel, IN 46032**

This instrument prepared by: Jennifer E. Jones, Attorney at Law

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

HARVIO MURRAY
Printed Name

EXHIBIT "A"

Cross Reference: Instr. No. 202225465
Cross Reference: Instr. No. 202300192

This document prepared by Philip Going, RLS, Accura Express LLC. I affirm under penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document unless required by law.

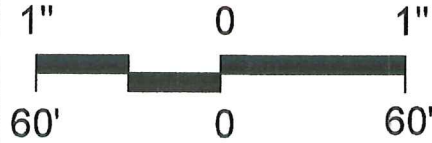
Philip Going



Scale 1" = 60'

Date: 07/01/2023

Project #: 03-22-2263



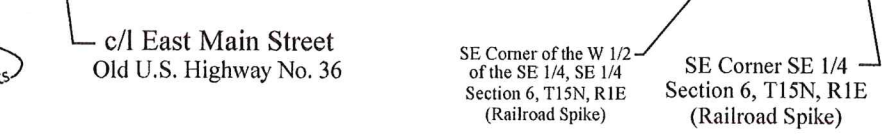
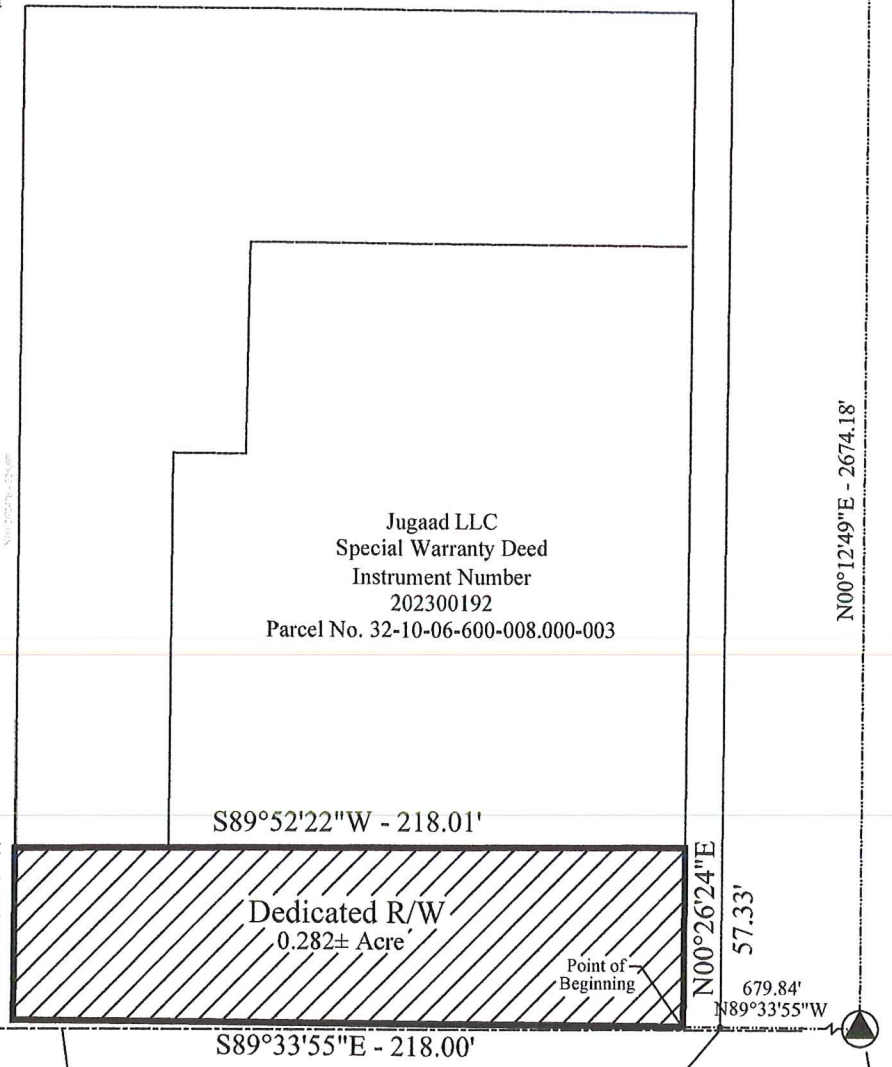
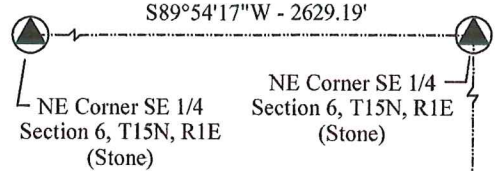
Philip Going

PHILIP D. GOING, Registered
Land Surveyor, LS29400003

July 1, 2023



Accura Land Surveying
Philip D. Going, Owner
PO Box 786
Greenfield, IN, 46140
(317) 462-3734
Fax: (888) 585-9642
accura@prodigy.net



Date of Hearing: August 9, 2023
Plan Commission Action: _____

JUN 1 2 2023

App. No. 2023-2146
Fee: \$1,028.00
Received By: LT
\$200.00
Storage Water

APPLICATION FOR APPROVAL (Check all that apply)

- Plat
- Replat
- Revision
- Amendment
- Minor Plat
- PUD
- SPR
- Rezone
- Exempt Subdivision

* Please fill out the form in its entirety

Name (s) of Owner (s) JUGAAD, LLC Sukhwinder Singh
Address (s) 13150 Ditch Rd, Carmel, IN 46032
Phone (s) (912) 391-3062 Email (s) sukhwinders73@icloud.com

Owners' Representative (Subdivider, if any) and /or Registered Engineer or Land Surveyor: Accura Land Surveying
Address (s) P.O. Box 796, 9 S. Franklin St, Greentfield, IN 46140
Phone (s) (317) 462-3734 Email (s) accura@prodigy.net

I (We) do hereby apply for approval of the following described plat of a subdivision in accordance with the Subdivision Control Ordinance. I (We) am (are) the owner (s) of the real estate included in said subdivision.

Name of Subdivision: 3376 E. Main St. Convenience Store

Address of Subject Property: 3376 E. Main St, Danville, IN

Generally described as follows:

Area (in acres): 0.700 Number of Lots: 1

Existing Zoning District (if applicable to rezone): GB

Proposed Zoning District (if applicable to rezone): GB

Parcel ID#: 32-10-06-400-008,000-003 Current Zoning District: GB

Feet of new streets to be dedicated to the public: 0

Feet of sanitary sewers to be dedicated to the public: 0

Feet of water main to be dedicated to the public: 0

Feet of storm sewer to be dedicated to the public: 0

STATE OF INDIANA)
) SS:
HENDRICKS COUNTY)

The undersigned certifies that the above information is true and correct to the best of his (her) knowledge.

Philip Gouge
Signature of Owner/Applicant (s)
AGENT
Title of Applicant

Town of Danville, Indiana
Plan Commission
49 N. Wayne Street
Danville, IN 46122

JUN 1 2 2023

RE: Project Owner Statement of Intent

I am the owner of the proposed project site located at 3376 East Main Street, Danville, IN, 46122. As the owner, I am proposing to provide fuel and convenience items to the residents of Danville within this vicinity. There will be no food preparation on the premises.

The project will include the demolition of an existing commercial building that is currently vacant and not in use. A new Convenience Store with fuel service will be constructed on the site as shown on the construction plans.

Respectfully,
Sukhwinder Singh
JUGAAD, LLC

JUL 19 2023



2601 North Sherman Drive
Indianapolis, Indiana 46218
Phone: 317.426.5093
Fax: 317.426.5110

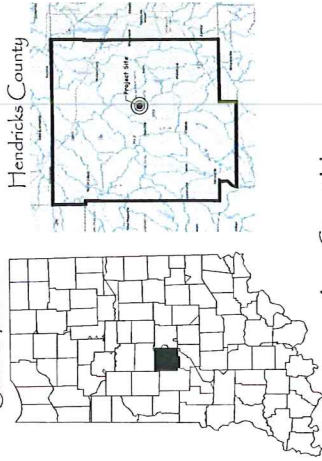
Client: **Sukhwinder Singh**
Contractor: **J2LR General Contractors**

3376 E Main St, Danville, IN, 46122

To whom it may concern,

J2LR General Contractors has been contracted to perform the project at 3376 E main street in Danville. The exterior will consist of General Shale Brick Oak Reserve, Affinity stone rock panels, ridge cut cliff ledge Cambridge sold at Graber Building Materials in Odon Indiana.

State of Indiana



Hendricks County

Area Street Map



Google Earth Map

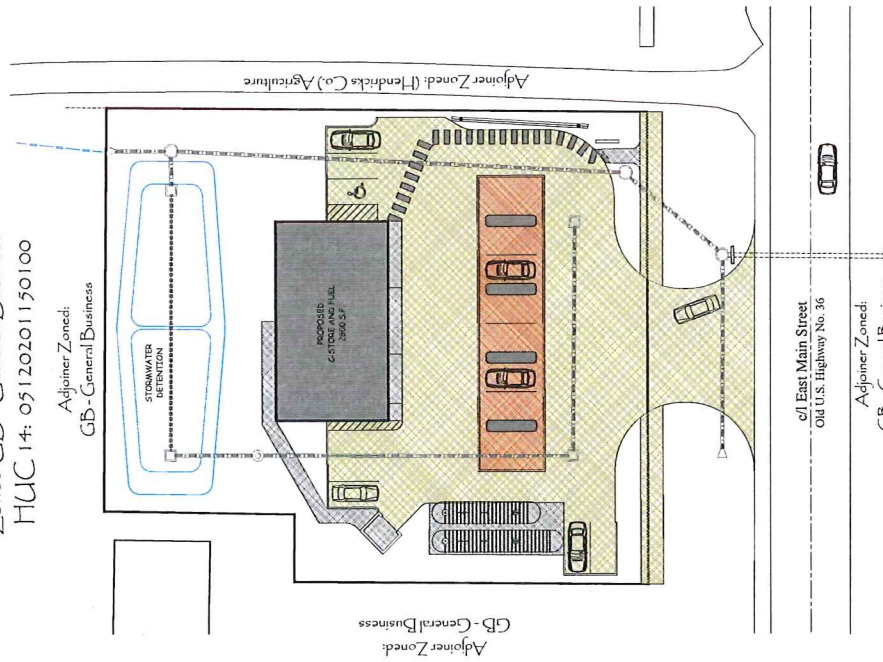


Project Owner: Jugaad LLC
 13150 Ditch Road
 Carmel, IN 46032
 Contact: Sukhwinder Singh
 (812) 391-3062

3376 East Main St.

Part of Section 06, T15N, R1E
 Center Township, Hendricks County, Indiana
 Zoned GB - General Business
 HUC 14: 05120201150100

Adjomer Zoned:
 GB - General Business



Adjomer Zoned:
 GB - General Business

Project Owner:
Jugaad LLC
13150 Ditch Road
Carmel, IN 46032
Contact:
Sukhwinder Singh
(812) 391-3062



PROJECT SITE SUMMARY INFORMATION
 Project Acreage 0.700 Ac.
 Required Parking 7 spaces
 Proposed Parking 8 spaces
 Total Impervious Area 2,800 s.f.
 Non-residential building 2,800 s.f.
 For Adjomer Names see Sheet C-200



Scale 1" = 20'
 Date: 09/01/2023
 Project #: 03-22-2263



NOTE: Any variation from the approved plan must be approved in writing by Accura Express, LLC. Any evidence found in the field that differs from that shown on the plan shall be brought to the attention of Accura Express LLC immediately.

Table of Contents

Cover Sheet	C-100
Boundary Survey	C-200
Initial Conditions	C-300
Site Plan	C-400
Grading Plan	C-500
Erosion Control Plan	C-600
SWPPP	C-700
Landscape Plan	C-800
Lighting Plan	C-900

Revisions

Contact Information

- Philip Going, Surveyor (317) 462-3734
- Danville Plan Commission (317) 745-4180 x 1101
- Town Manager (317) 745-4180 x 1001
- West Central Conservancy (317) 272-2980
- Danville Water Dept. (317) 745-4180 x 8001
- Danville Stormwater Dept. (317) 745-4180 x 3001
- West Central Conservancy District (317) 272-2980
- Duke Energy (317) 745-1000
- Vectren Energy Delivery (317) 718-3604
- A.T. & T. - SBC Global (888) 675-5070
- Indiana Underground PPS (800) 382-5544

EMERGENCY NOTIFICATION

- Emergency Management (317) 745-9229
- Police (non-emergency) (317) 745-2486
- Sheriff (non-emergency) (317) 745-6269
- E-911 EMERGENCY 911
- DNR (Div. of Water) (317) 232-4160
- IDEM (General) (317) 232-8603
- IDEM (Report Emergencies) (888) 233-7745
- Danville Fire Dept. Headquarters (317) 745-3008

Plan Date: April 1, 2023

3376 E. Main St.
 Danville, IN 46122

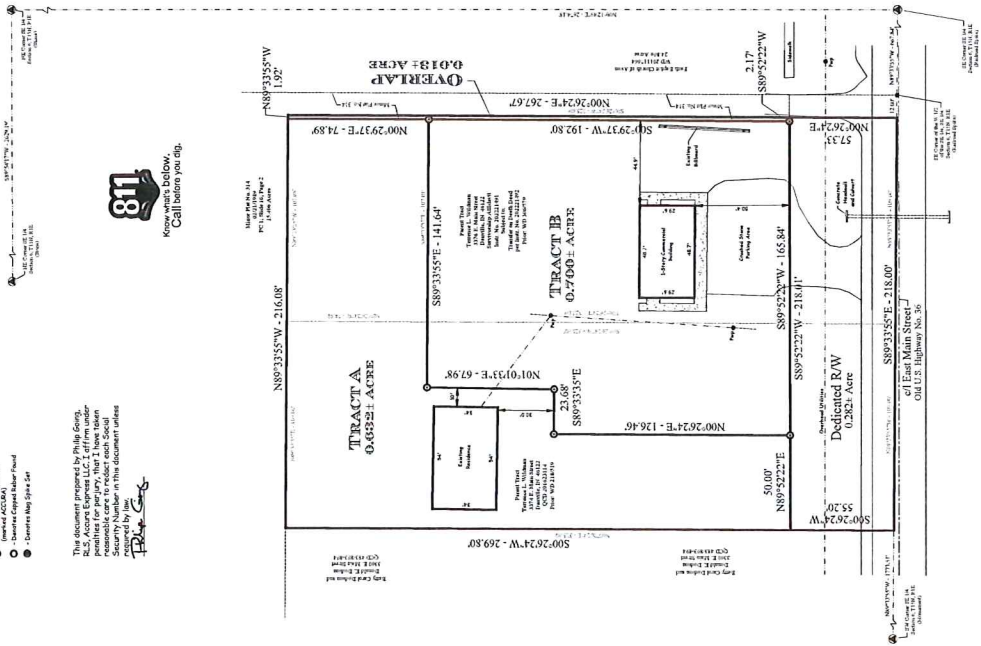


C-100

Cover Sheet

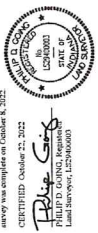
PART OF THE SE 1/4
OF SECTION 06, T15N, R1E
TOWNSHIP OF DANVILLE
CENTER TOWNSHIP,
HENDRICKS COUNTY, INDIANA

Approx. 1.127 ± Acres



The accuracy of this report is based on the data provided by the client. The client is responsible for the accuracy of the data provided. The client is responsible for the accuracy of the data provided.

RECORD DOCUMENTS
The following documents were reviewed and found to be correct for the purposes of this survey:
1. Plat No. 114, Township 15 North, Range 1 East, Center Township, Hendricks County, Indiana, dated 04/25/2011, containing the plat of the West 1/4 of Section 06, Township 15 North, Range 1 East, Center Township, Hendricks County, Indiana, and part being more particularly described as follows:
2. Plat No. 114, Township 15 North, Range 1 East, Center Township, Hendricks County, Indiana, dated 04/25/2011, containing the plat of the West 1/4 of Section 06, Township 15 North, Range 1 East, Center Township, Hendricks County, Indiana, and part being more particularly described as follows:
3. Plat No. 114, Township 15 North, Range 1 East, Center Township, Hendricks County, Indiana, dated 04/25/2011, containing the plat of the West 1/4 of Section 06, Township 15 North, Range 1 East, Center Township, Hendricks County, Indiana, and part being more particularly described as follows:



SURVEYOR'S REPORT

I, the undersigned Professional Surveyor, hereby certify that I have personally conducted the survey shown on this plat, and that the same is a true and correct representation of the facts as shown on the plat. I have not been aided by any other person in the conduct of this survey, and I have not been aided by any other person in the conduct of this survey, and I have not been aided by any other person in the conduct of this survey.

THE FOLLOWING IS A SUMMARY OF THE SURVEY AND THE RESULTS THEREOF:
1. The survey was conducted on the 23rd day of August, 2022.
2. The survey was conducted by Philip D. Gering, Registered Professional Surveyor, State of Indiana, License No. 127940000.
3. The survey was conducted on the 23rd day of August, 2022.
4. The survey was conducted by Philip D. Gering, Registered Professional Surveyor, State of Indiana, License No. 127940000.

PHILIP D. GERING, Registered Professional Surveyor, State of Indiana, License No. 127940000.

DATE OF SURVEY: 08/23/2022

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

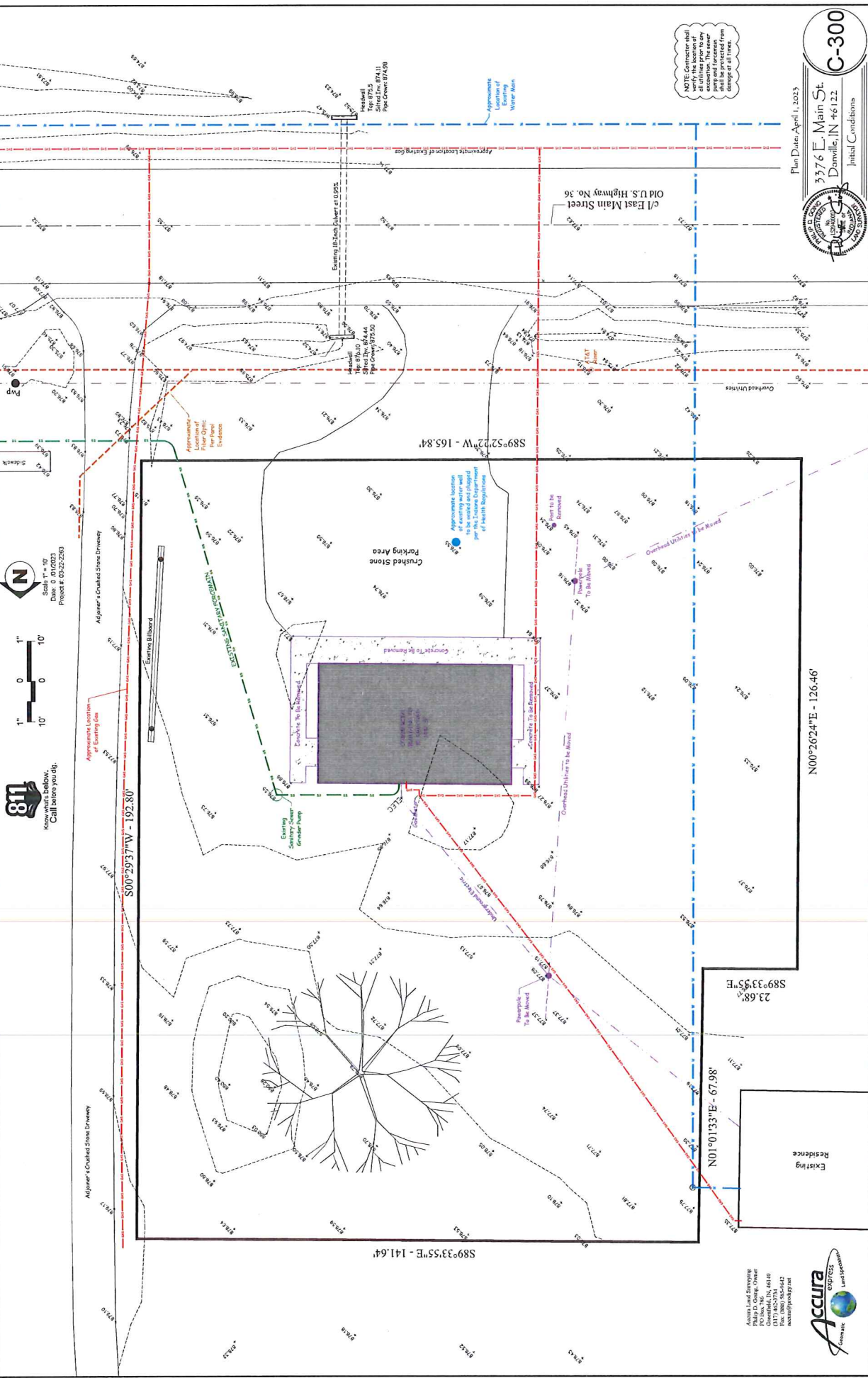
PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA

PLAT NO. 114, T15N, R1E, CENTER TOWNSHIP, HENDRICKS COUNTY, INDIANA



NOTE: Connector shall all utilities prior to any excavation. Contractor shall be protected from damage to all lines.

Plan Date: April 1, 2023

C-300

3376 E. Main St.
Danville, IN 46122



Initial Conditions



Scale: 1" = 10'
Date: 01/10/23
Project #: 05-252630



Know what's below.
Call before you dig.

Accura
Surveying
1605
Greenfield, IN 46140
Ph: 765-834-8427
accura@spectrum.net



Storm Inlet for Parking Lot

5250 CATCH BASIN INLET

Model: 5250
 Material: 18" x 24" Heavy Duty
 Capacity: 2500 GPM
 Inlet: 18" x 24" x 24"

Order Information:
 Order Number: 5250-1313
 Order Quantity: 1
 Project Number: 1000000000
 Order Date: 04/01/2023
 Order Status: Pending
 Order Total: \$1,200.00
 Order Reference: 1000000000

East Zerkow Iron Works, Inc.
 800.626.4633
 www.zerow.com

Check for any obstructions in the area to allow for proper placement of the inlet through the site.

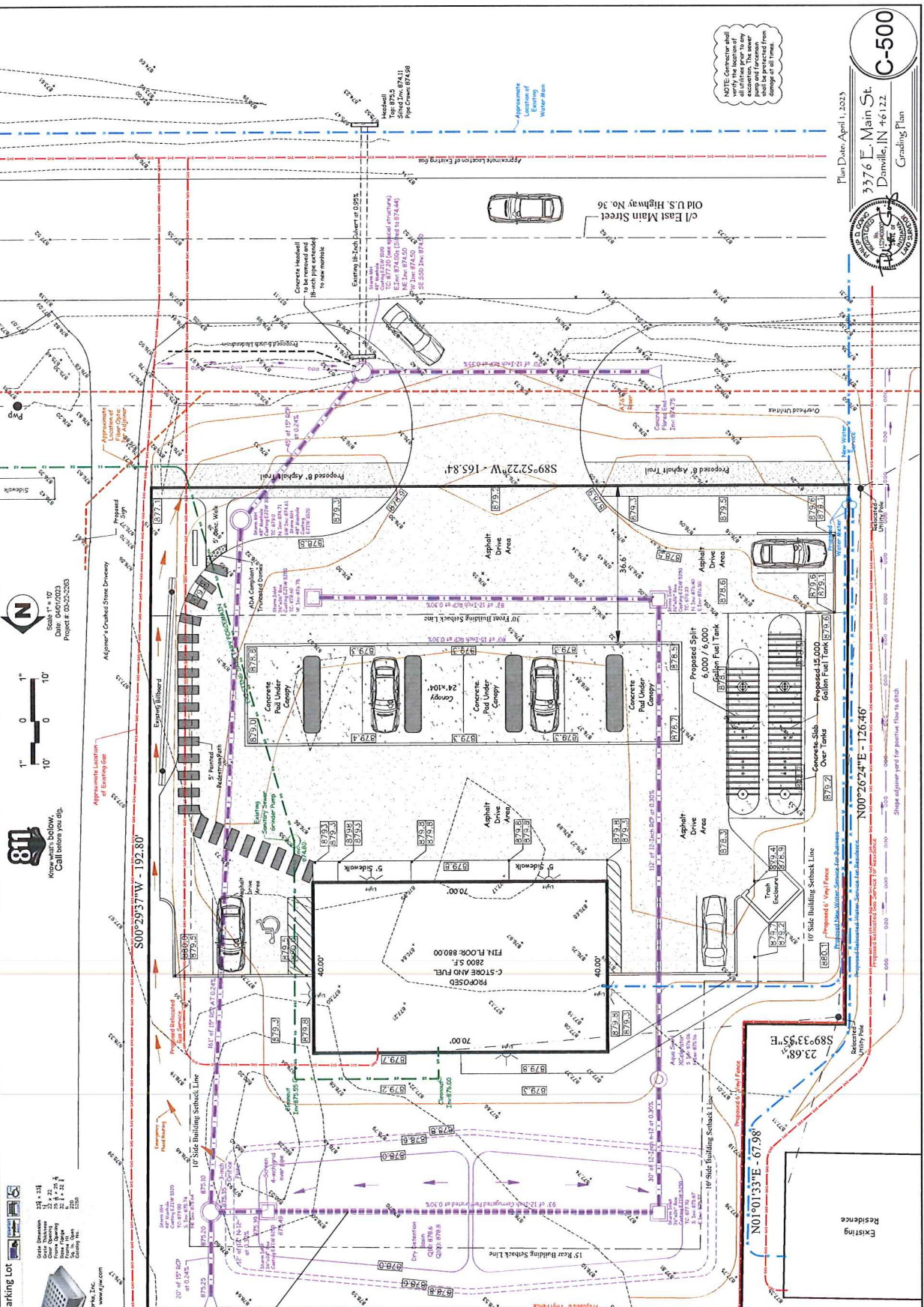
Concrete Pad Underneath
 18" x 24" x 24" Inlet
 18" x 24" x 24" Inlet
 18" x 24" x 24" Inlet

811

Know what's below.
 Call before you dig.

Scale: 1" = 10'

Date: 04/01/2023
 Project #: 00-02-2003



Plan Date: April 1, 2023

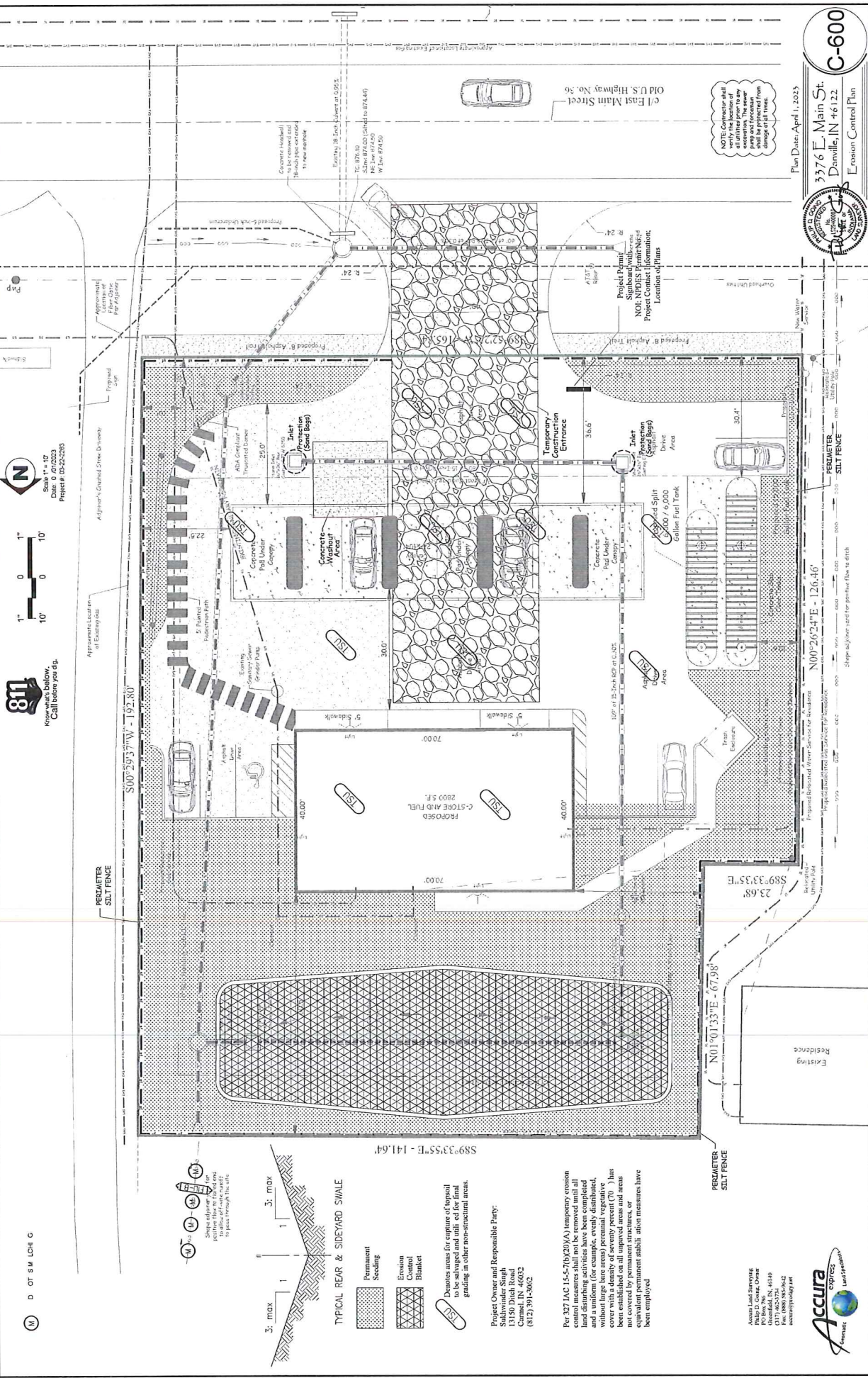
3376 E. Main St.
 Danville, IN 46122

C-500

Grading Plan

Account Led Accounting
 Phillip D. Young, Owner
 3376 E. Main St.
 Danville, IN 46122
 (317) 655-5333
 phillip@accura.com

Accura
 Land Systems



Plan Date: April 1, 2023
 3376 E. Main St.
 Danville, IN 46122
C-600
 Erosion Control Plan



811
 Know what's below.
 Call before you dig.



Scale: 1" = 10'
 Date: 04/01/2023
 Project #: 05-252593

Project Owner and Responsible Party:
 Accura Land Services
 Philip D. Owsen, Owner
 11150 Dunbar Road
 Carmel, IN 46032
 (812) 391-3082

Per 327 IAC 15-5-7(b)(20)(A) temporary erosion control measures shall not be removed until all land disturbing activities have been completed and the site is stabilized. Erosion control measures, without limitation, shall include, but not be limited to, cover with a density of seventy percent (70%) has been established on all supervised areas and areas not covered by permanent structures, or other measures that will stabilize all areas that have been employed.

Deposits areas for capture of topsoil and grading in other non-structural areas.



Remnant Seeding
 Erosion Control Blanket

PERIMETER SILT FENCE
 PERIMETER SILT FENCE

PERIMETER SILT FENCE
 PERIMETER SILT FENCE

PERIMETER SILT FENCE
 PERIMETER SILT FENCE

PERIMETER SILT FENCE
 PERIMETER SILT FENCE

PERIMETER SILT FENCE
 PERIMETER SILT FENCE

PERIMETER SILT FENCE
 PERIMETER SILT FENCE

PERIMETER SILT FENCE
 PERIMETER SILT FENCE

PERIMETER SILT FENCE
 PERIMETER SILT FENCE

Practice 3.01
Construction Entrance/Exit Pad

Purpose To establish a stable, temporary foundation for construction vehicles.
 To prevent mud and debris from being tracked onto public roads.

Re-use instructions
 1. Minimum 30 in. washed stone 1 DOTC - 0.2 or a stable foundation.
 2. Thickness 6 in. in areas where heavy equipment will be used.
 3. Minimum 12 in. of fill with an entrance/exit mat, which will be placed on top of the stone.
 4. Washed gravel or sand. Lay it down with 3 in. washed stone on top of the gravel.
 5. Outside the fabric liner, use a 1/2 in. mesh geotextile fabric to prevent the gravel from mixing with the stone.
 6. Once the fabric liner is in place, use a 1/2 in. mesh geotextile fabric to prevent the gravel from mixing with the stone.
 7. Use a 1/2 in. mesh geotextile fabric to prevent the gravel from mixing with the stone.

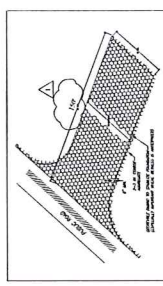


FIGURE 3.01-1. Plan view of construction entrance/exit pad.

Installation
 1. Lay out the stone in a grid pattern.
 2. Lay out the gravel in a grid pattern.
 3. Lay out the fabric liner in a grid pattern.
 4. Lay out the geotextile fabric in a grid pattern.
 5. Lay out the stone in a grid pattern.

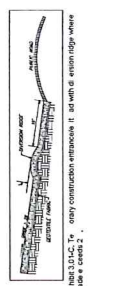


FIGURE 3.01-2. Cross-section of construction entrance/exit pad.

Maintenance
 1. Inspect the pad regularly for damage.
 2. Repair any damage immediately.
 3. Replace any damaged materials.
 4. Keep the pad clean and free of debris.

Practice 3.1
Mulching

Purpose To reduce soil erosion and sedimentation.
 To improve soil structure and water infiltration.
 To reduce soil compaction and increase soil fertility.

Re-use instructions
 1. Apply mulch to the soil surface.
 2. Use a minimum of 2 inches of mulch.
 3. Use a maximum of 4 inches of mulch.
 4. Use a minimum of 1 inch of mulch.

MATERIAL	RATE	COMMENTS
Straw or hay	1 1/2 - 2 lbs/sq yd	Shade, insulate, and retain moisture. Do not use if moldy or contaminated. Must be composted or recycled. (See Exhibit 3.15-10)
Wood chips or mulch (wood)	1 lb/sq yd	Apply with a hydraulic mulcher and water spray. Avoid in areas subject to wind erosion.
Grass seed (fescue)	1/2 - 3/4 lb/sq yd	Apply in areas subject to wind erosion.

Application and
notes
 1. Apply mulch to the soil surface.
 2. Use a minimum of 2 inches of mulch.
 3. Use a maximum of 4 inches of mulch.
 4. Use a minimum of 1 inch of mulch.

METHOD	HOW TO APPLY
Mulch spreading machine or hand spreader	Apply mulch to the soil surface.
Hand spreading	Apply mulch to the soil surface.
Hydraulic mulcher	Apply mulch to the soil surface.

Maintenance
 1. Inspect the mulch regularly for damage.
 2. Repair any damage immediately.
 3. Replace any damaged materials.
 4. Keep the mulch clean and free of debris.

Practice 3.16
Rip Rap

Purpose To reduce soil erosion and sedimentation.
 To improve soil structure and water infiltration.
 To reduce soil compaction and increase soil fertility.

Re-use instructions
 1. Apply rip rap to the soil surface.
 2. Use a minimum of 6 inches of rip rap.
 3. Use a maximum of 12 inches of rip rap.
 4. Use a minimum of 3 inches of rip rap.

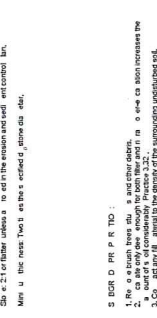


FIGURE 3.16-1. Cross-section of rip rap installation.

Installation
 1. Lay out the rip rap in a grid pattern.
 2. Lay out the soil in a grid pattern.
 3. Lay out the fabric liner in a grid pattern.
 4. Lay out the geotextile fabric in a grid pattern.

Maintenance
 1. Inspect the rip rap regularly for damage.
 2. Repair any damage immediately.
 3. Replace any damaged materials.
 4. Keep the rip rap clean and free of debris.

Practice 3.17
Dandy Dewatering Bag

Purpose To reduce soil erosion and sedimentation.
 To improve soil structure and water infiltration.
 To reduce soil compaction and increase soil fertility.

Re-use instructions
 1. Apply dandy dewatering bag to the soil surface.
 2. Use a minimum of 1 bag per 100 sq ft.
 3. Use a maximum of 2 bags per 100 sq ft.
 4. Use a minimum of 0.5 bags per 100 sq ft.

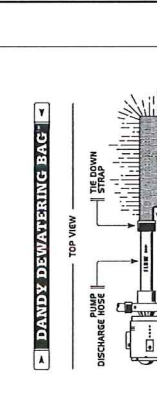
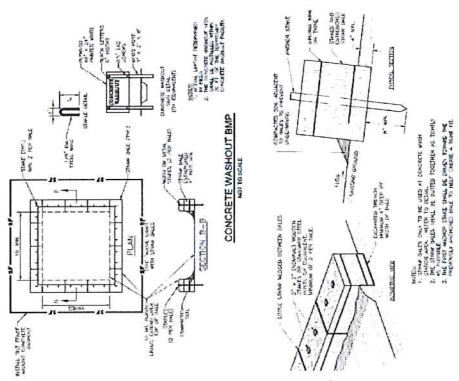


FIGURE 3.17-1. Cross-section of dandy dewatering bag installation.

Installation
 1. Lay out the dandy dewatering bag in a grid pattern.
 2. Lay out the soil in a grid pattern.
 3. Lay out the fabric liner in a grid pattern.
 4. Lay out the geotextile fabric in a grid pattern.

Maintenance
 1. Inspect the dandy dewatering bag regularly for damage.
 2. Repair any damage immediately.
 3. Replace any damaged materials.
 4. Keep the dandy dewatering bag clean and free of debris.

Concrete Washout



STRAW BALE FOR CONCRETE WASHOUT
NOT TO SCALE

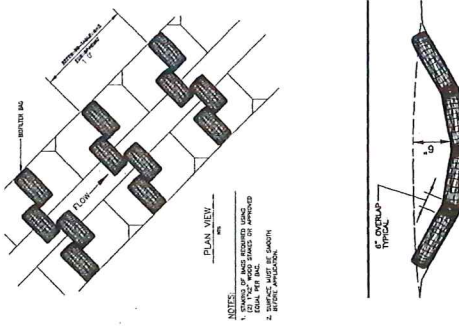
- Maintenance**
- Inspect daily and after each storm event.
 - Inspect the integrity of the overall structure including, where applicable, the containment system.
 - Inspect the polypropylene lining for tears or damage.
 - Check concrete washout basins, remove and dispose of the material.
 - Remove any debris that may be trapped in the system.
 - 50 percent of the design capacity. Use of the system should be discontinued until appropriate maintenance can be initiated to clean the system.
- Upon removal of the solids, inspect the structure. Repair the structure as needed or construct a new system.
- Dispose of all concrete in legal manner. Remove material on site, recycle, or haul the material to a concrete recycling plant. Do not dump concrete in the natural environment.
- The plastic liner should be replaced after every cleaning. The removal of material will usually damage the lining.
- The concrete washout system should be repaired or replaced as necessary to maintain capacity for concrete washout.
- Concrete washout basins should be inspected after each storm event. If necessary, the liquid and disposal of items in an acceptable method. Disposal may be allowed at the local sanitary sewer authority provided the material is not hazardous.
- Check for leaks in the system. If a leak is detected, the system should be repaired immediately. A plastic option would be to install a secondary containment system of basin for further detouring.
- Check for debris in the system. Debris should be removed from the system as soon as possible. Debris can cause the system to become clogged.
- Inspect concrete washout system for structural damage. Check for concrete cracks, and where any with the designated washout basin.
- Check for debris in the system. Debris should be removed from the system as soon as possible.

Plan Date: April 1, 2023

3776 E. Main St.
Danville, IN 46122

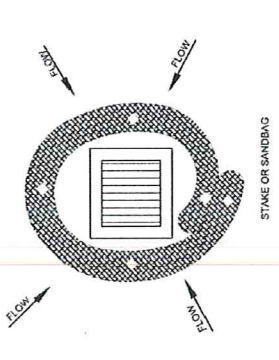
ACCURA
Erosion Details

C-603



NET
1.0' x 1.0' Filter Socks to be installed at 10' o.c. in all directions at inter ribs of 1.0 feet.

Filter Tube Inlet Protection



Purpose:
To help sediment by intercepting runoff and reducing the velocity of sheet flow or concentrated flow (smaller applications). Filter socks capture sediment by holding water to allow settling and expansion.

- Materials:**
- Geotextile filter sock or non-biodegradable setting matrix.
 - Stake or sandbags made of heavy-duty, well-compacted vegetable matter, leaves, twigs and other natural materials. Chain A (10' length) is recommended. Chain B (5' length) is allowed in residential applications (SUDS, 2017). Chain A (10' length) is allowed in residential applications.
 - Equipment that has produced base or a similar compressive process meeting CTR 9.5.1.
 - Stake or sandbags made of heavy-duty, well-compacted vegetable matter, leaves, twigs and other natural materials. Chain A (10' length) is recommended. Chain B (5' length) is allowed in residential applications.
 - Stake or sandbags made of heavy-duty, well-compacted vegetable matter, leaves, twigs and other natural materials. Chain A (10' length) is recommended. Chain B (5' length) is allowed in residential applications.
 - Stake or sandbags made of heavy-duty, well-compacted vegetable matter, leaves, twigs and other natural materials. Chain A (10' length) is recommended. Chain B (5' length) is allowed in residential applications.

Installation Method:
Place a 2' x 2' inch stake or sandbag.

- Installation:**
- Place a 2' x 2' inch stake or sandbag at the center of the sock to provide a support system. The sock of the filter sock should be placed on the ground. The sock should be placed on the ground. The sock should be placed on the ground.
 - Expand a mesh with a stake and sandbag to an area surrounding the diameter of the filter sock. The sock should be placed on the ground. The sock should be placed on the ground.
 - Expand a mesh with a stake and sandbag to an area surrounding the diameter of the filter sock. The sock should be placed on the ground. The sock should be placed on the ground.
 - Expand a mesh with a stake and sandbag to an area surrounding the diameter of the filter sock. The sock should be placed on the ground. The sock should be placed on the ground.
 - Expand a mesh with a stake and sandbag to an area surrounding the diameter of the filter sock. The sock should be placed on the ground. The sock should be placed on the ground.
 - Expand a mesh with a stake and sandbag to an area surrounding the diameter of the filter sock. The sock should be placed on the ground. The sock should be placed on the ground.
 - Expand a mesh with a stake and sandbag to an area surrounding the diameter of the filter sock. The sock should be placed on the ground. The sock should be placed on the ground.
 - Expand a mesh with a stake and sandbag to an area surrounding the diameter of the filter sock. The sock should be placed on the ground. The sock should be placed on the ground.
 - Expand a mesh with a stake and sandbag to an area surrounding the diameter of the filter sock. The sock should be placed on the ground. The sock should be placed on the ground.
 - Expand a mesh with a stake and sandbag to an area surrounding the diameter of the filter sock. The sock should be placed on the ground. The sock should be placed on the ground.

- Maintenance:**
- Inspect within 24 hours of a rain event and at least once every seven calendar days. When sediment or debris is observed, it should be removed immediately.
 - Remove sediment or debris that is outside the containment area of the filter sock.
 - Inspect to ensure that the socks maintaining its integrity and providing adequate flow.
 - Remove sediment or debris that is outside the containment area of the filter sock.
 - Inspect to ensure that the socks maintaining its integrity and providing adequate flow.
 - Remove sediment or debris that is outside the containment area of the filter sock.
 - Inspect to ensure that the socks maintaining its integrity and providing adequate flow.

Notes: If applicable. If the filter sock is not designed as a permanent filter or part of the natural landscape and the sock is to be removed, it should be removed. Remove and dispose of sock if necessary.

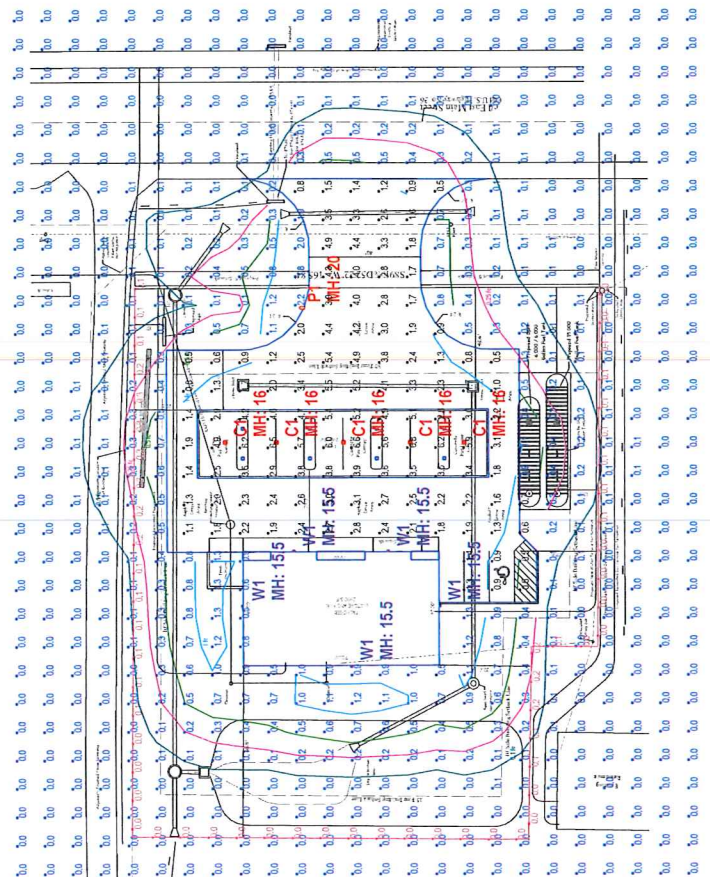
PHOTOMETRIC PLAN DESIGNED BY ESL SPECTRUM
10000 W. BROADWAY
PHOENIX, AZ 85042

Luminaire Schedule	
Project	2020112101-BANDVILLE PROJECT - SITE LIGHTING (4-23)
Site	Bandville
Client	City of Phoenix
Contract	15-001
Drawn	1/2020
Checked	1/2020
Approved	1/2020
Scale	AS SHOWN
Notes	SEE COMMENTS

CALCULATIONS USE MAINTAINED HORIZONTAL ILLUMINANCE FIGURES IN FOOT-CANDLES
POINTS SHOWN ARE AT GRADE
FIXTURE MOUNTING HEIGHTS ARE SPECIFIED NEXT TO FIXTURES AS 'MH'

Calculation Summary	
Project	2020112101-BANDVILLE PROJECT - SITE LIGHTING (4-23)
Client	City of Phoenix
Contract	15-001
Drawn	1/2020
Checked	1/2020
Approved	1/2020
Scale	AS SHOWN
Notes	SEE COMMENTS

ESL-Spectrum's services are for estimation purposes only, and are not warranties.
Final design and dimension levels must be determined and specified by the client and approved by the client.
The fixture types and lamping specified on this layout must be used in order to meet the exact criteria and performance data shown.
Recommended illuminance targets used where applicable.



SITE LIGHTING - PLAN VIEW
Scale: 1 inch = 20 FT

JUL 26 2023

PROJECT NAME:

SINGH DANVILLE CONVENIENCE STORE

LOCATION:

3376 E Main St



VICINITY MAP
SCALE: N.E.

PROJECT ADDRESS:

3376 E MAIN ST
DANVILLE, IN 46122

OWNER:

JUGAAD, LLC
13150 DITCH RD
CARMEL, IN 46032

Holey Moley
Call 811
1-800-382-5544

PROJECT INFORMATION:

COMMERICAL
APPROX. 2,387 sq. ft.
Includes 63 of canopy

CODE SUMMARY

OCCUPANCY TYPE: M
CONSTRUCTION TYPE: TYPE VB
EXIT ACCESS TRAVEL DIST: MAX 137' FOR SINGLE EXIT ACCESS

CODE AUTHORITIES:

2014 INDIANA BUILDING CODE (2012 INTERNATIONAL BUILDING CODE WITH 2014 AMENDMENTS)
2014 INDIANA MECHANICAL CODE (2012 INTERNATIONAL MECHANICAL CODE WITH 2014 AMENDMENTS)
2014 INDIANA ELECTRICAL CODE (2012 INTERNATIONAL ELECTRICAL CODE WITH 2014 AMENDMENTS)
2014 INDIANA FIRE CODE (2012 INTERNATIONAL FIRE CODE WITH 2014 AMENDMENTS)
2006 INDIANA PLUMBING CODE (2005 INTERNATIONAL PLUMBING CODE WITH 2012 AMENDMENTS)
2006 INDIANA GAS PIPING CODE (2005 INTERNATIONAL GAS PIPING CODE WITH 2012 AMENDMENTS)
2010 ADA ACCESSIBILITY GUIDELINES WITH 2009 AMST 17.1
2010 LIFE SAFETY CODE, CHAPTER 23 (IFPA 101)

SHEET INDEX:

T001	TITLE SHEET
C001	EXISTING SITE LAYOUT
S001	FOUNDATION
A001	FOUNDATION ANCHORS
A200	SECTION DETAILS
A204	ROOF TRUSS PLANS
A401	ELEVATIONS
A402	FRONT ELEVATION
A403	REAR ELEVATION
P001	PLUMBING PLAN

ABBREVIATIONS:

AAC	Acoustic Ceiling	AD	Above-Threshold Detection
AD	Acoustic Diffuser	AE	Acoustic Enclosure
ADP	Above-Threshold Detection	AF	Acoustic Finish
AE	Acoustic Enclosure	AG	Acoustic Glass
AF	Acoustic Finish	AH	Acoustic Hanger
AG	Acoustic Glass	AI	Acoustic Insulation
AH	Acoustic Hanger	AJ	Acoustic Joint
AI	Acoustic Insulation	AK	Acoustic Kit
AJ	Acoustic Joint	AL	Acoustic Lining
AK	Acoustic Kit	AM	Acoustic Membrane
AL	Acoustic Lining	AN	Acoustic Noise
AM	Acoustic Membrane	AO	Acoustic Overlay
AN	Acoustic Noise	AP	Acoustic Panel
AO	Acoustic Overlay	AQ	Acoustic Partition
AP	Acoustic Panel	AR	Acoustic Resilient
AQ	Acoustic Partition	AS	Acoustic Seal
AR	Acoustic Resilient	AT	Acoustic Treatment
AS	Acoustic Seal	AU	Acoustic Underlayment
AT	Acoustic Treatment	AV	Acoustic Vibration
AU	Acoustic Underlayment	AW	Acoustic Wall
AV	Acoustic Vibration	AX	Acoustic X-ray
AW	Acoustic Wall	AY	Acoustic Yarn
AX	Acoustic X-ray	AZ	Acoustic Zone
AY	Acoustic Yarn		
AZ	Acoustic Zone		

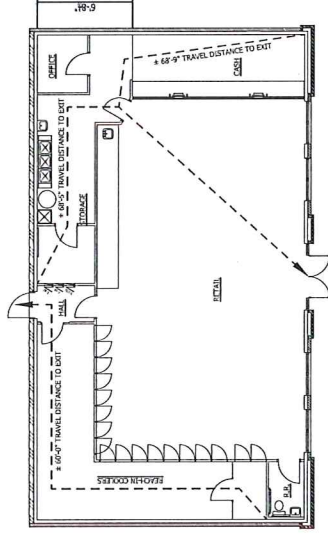
GENERAL SYMBOLS:

□	WINDOW LETTER
○	DOOR NUMBER
◇	KEYED NOTE NUMBER
◇	ROOM NUMBER
◇	WALL TYPE
◇	ELEVATION
◇	CENTERLINE
◇	REVISION MARK

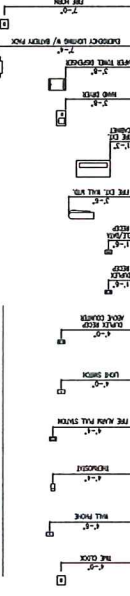
GENERAL NOTES:

- DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF FORTUNE COMPANIES BEFORE PROCEEDING WITH WORK.
- REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFORM THAT WORK IS CONSTRUCTIBLE AS SHOWN. CONTACT OR QUESTION, ETC. SHALL BE IMMEDIATELY REPORTED TO FORTUNE COMPANIES FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK IN QUESTION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS. IN CASE OF CONFLICT, NOTIFY FORTUNE COMPANIES. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THE THICKNESS OF FINISHES, INCLUDING CARPET, PAID CERAMIC TILE, V.C.T., ETC.
- INTERIOR DIMENSIONS ARE TO THE FACE OF NEW STUD, UNLESS NOTED OTHERWISE.
- MARK LOCATIONS OF PARTITIONS AND DOORS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. REVIEW WILL BE FOR DESIGN INTENT, COORDINATION AND FIELD CONDITIONS TO ENSURE PROPER FIT.
- DURING ALL PHASES OF WORK, DO NOT DISTURB THE DELIVERIES AND FUNCTIONS OF ADJACENT AND NEIGHBORING TENANTS.
- DESIGN A PERMITTING FOR ANY FIRE PROTECTED SYSTEM SHALL BE THE RESPONSIBILITY OF A FIRE PROTECTION CONTRACTOR AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL AS REQUIRED BY APPROPRIATE AUTHORITIES.
- DESIGN A PERMITTING FOR ANY FIRE PROTECTED SYSTEM SHALL BE THE RESPONSIBILITY OF THE FIRE PROTECTION CONTRACTOR AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL AS REQUIRED BY APPROPRIATE AUTHORITIES.
- DESIGN A PERMITTING FOR ANY REQUIRED PETROLEUM DELIVERY RELATED SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PETROLEUM SYSTEM CONTRACTOR AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL AS REQUIRED BY APPROPRIATE AUTHORITIES.
- DESIGN A PERMITTING FOR ANY REQUIRED SMOKE SYSTEM SHALL BE THE RESPONSIBILITY OF THE SMOKE CONTRACTOR AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT APPLICATION FOR REVIEW AND APPROVAL AS REQUIRED BY APPROPRIATE AUTHORITIES.

LIFE SAFETY PLAN



GENERAL INSTALL HEIGHTS:



TITLE SHEET

Sheet number

T001



FORTUNE COMPANIES, INC.
329 NORTH MAIN STREET
KOKOMO INDIANA 46901

765-457-1700 OFF - 765-452-7998 FAX - www.fc-inc.com

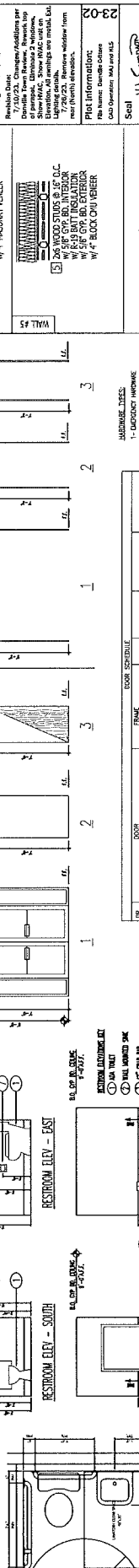
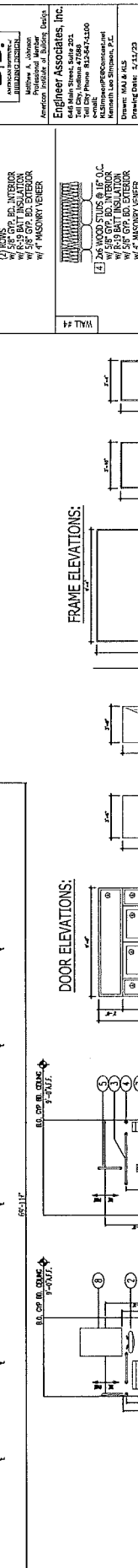
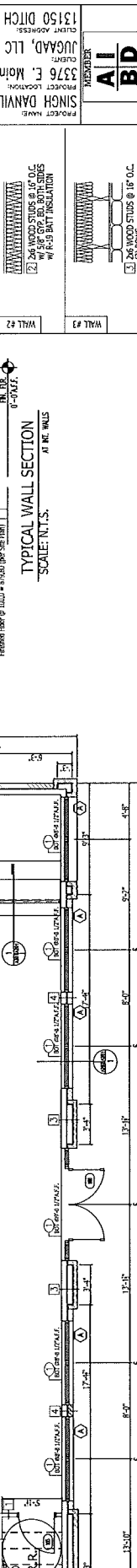
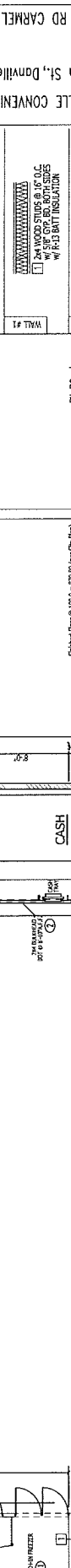
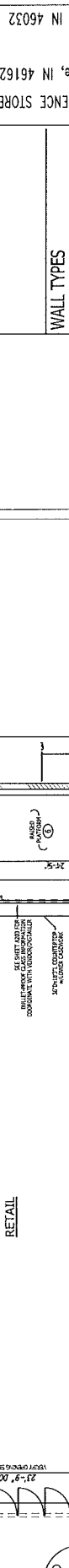
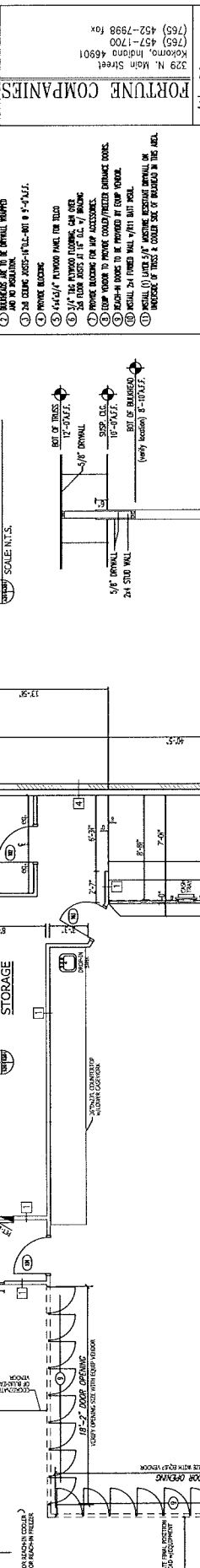
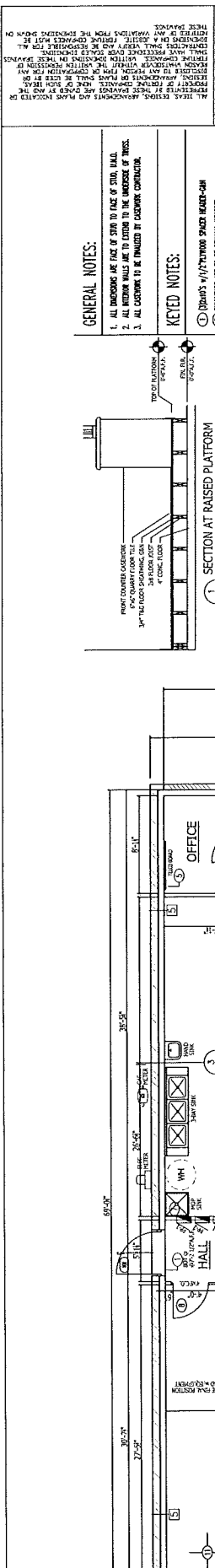
FORTUNE COMPANIES
3376 E. Main St., Danville, IN 46122
Kokomo, Indiana 46901
(765) 452-7998 fax
(765) 457-1700

SINGH DANVILLE CONVENIENCE STORE
PROJECT NAME:
3376 E. Main St., Danville, IN 46122
CLIENT:
JUGAAD, LLC
13150 DITCH RD CARMEL IN 46032

Engineer Associates, Inc.
American Institute of Building Design
Matthew A. Johnson
Professional Engineer
645 Main Street, Suite 201
The City, Indiana 47586
Tel: 765-452-7998
Fax: 765-457-1700
e-mail: matthew@engineerassociates.com
www.engineerassociates.com
Knoxville, Tennessee, U.S.A.
Drawing Date: 1.11.23
Revision Date:
Drawing Title: Mechanical Additions per Danville Town Review, Newark, Ho Shew HVAC, Shew HVAC with on 17.20.23. Remove window from rear fourth dependent.



Plot Information:
Plot Name: 3376 E. Main St.
CAD Operator: Matt LeVelas
Scale:
23-02



DOOR		WINDOW		FLOOR SCHEDULE		LOCATIONS/ROOM	
NO.	TYPE	NO.	TYPE	NO.	DESCRIPTION	NO.	DESCRIPTION
1	3'-0\"/>						

GENERAL NOTES:
 1. ALL INTERIORS ARE FACE OF STUD WALL.
 2. ALL INTERIOR WALLS ARE TO FINISH TO THE UNDERSIDE OF TRUSS.
 3. ALL CEILINGWORK TO BE FINISHED BY CUSTOMER CONTRACTOR.

KEYED NOTES:
 1. 1/2\"/>

GENERAL NOTES:
 1. ALL INTERIORS ARE FACE OF STUD WALL.
 2. ALL INTERIOR WALLS ARE TO FINISH TO THE UNDERSIDE OF TRUSS.
 3. ALL CEILINGWORK TO BE FINISHED BY CUSTOMER CONTRACTOR.

KEYED NOTES:
 1. 1/2\"/>

WALL TYPES

WALL #1
 2x4 WOOD STUDS @ 16\"/>

FRAME ELEVATIONS:
 1, 2, 3

DOOR ELEVATIONS:
 1, 2, 3

RESTROOM ELEVATIONS:
 RESTROOM ELEV - SOUTH
 RESTROOM ELEV - EAST
 RESTROOM ELEV - NORTH
 RESTROOM ELEV - WEST

PARTIAL PLAN - RESTROOM

FLOOR PLAN
 SCALE: 1/4" = 1'-0"

23-02

Info Information:
 File Name: D:\mca\csh\...
 User: D:\mca\csh\...
 Date: 11/10/2011

Engineer Associates, Inc.
 648 Main Street, Suite 202
 Tall City Phone: 813-247-1100

AI BD
 ARCHITECT
 3376 E. Main St., Donville, IN 46162

PORTUNE COMPANIES
 329 N. Main Street
 Kokomo, Indiana 46901
 (765) 452-7998 fax



A201

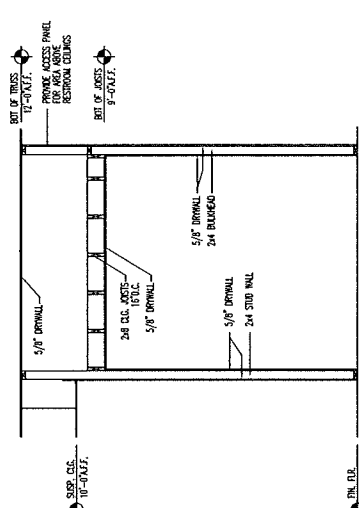
Sheet number



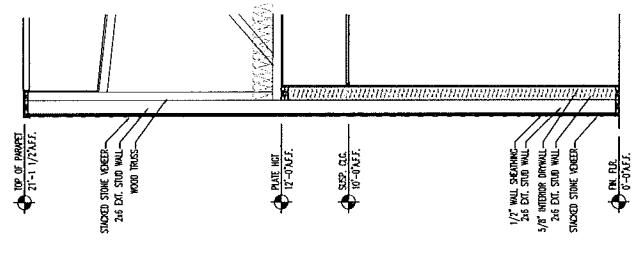
1/2" WALL SHEATHING
 10mil MEMBRANE ROOFING
 3/4" TRAG OSB ROOF DECKING
 ENGINEERED WOOD TRUSS
 35" high HVAC Unit
 35" high HVAC Unit
 PARAPET WALL BEYOND
 METAL EDGE
 246 SUB-FASCIA
 9" CONT. GUTTER
 18"x12" TRUSS END VENT
 8-28 BATT INSULATION
 5/8" DRYWALL
 SUSPENDED CEILING @ 10" A.F.F.
 1/2" WALL SHEATHING
 246 EXT. STUD WALL
 1" WOODRY VENER
 PLATE IRF
 12'-0" A.F.F.
 246 EXT. STUD WALL
 3/4" WOODRY VENER
 3/4" STEEL LINER
 1" WOODRY VENER
 5/8" DRYWALL RETURN
 WINDOW
 5/8" DRYWALL RETURN
 SINK SILL
 1/2" WALL SHEATHING
 246 EXT. STUD WALL
 1" WOODRY VENER
 FIN. DR. @ 9'-0" A.F.F.

Finished Floor @ 100.0 = 879.80 (per Site Plan)

1 BUILDING SECTION



TYPICAL WALL SECTION
SCALE: N.T.S.



2 WALL SECTION

APPROX. SHOWN
 SECTION IS NOT
 THE SHEET
 DETAIL IS ON

DETAIL NUMBER
 DETAIL MARK LEGEND
 SECTIONS
 SCALE: 1/4" = 1'-0"

ALL TRADES, CONTRACTORS AND FINISH CONTRACTORS TO
 VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD.
 THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND
 SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY
 FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL,
 INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY
 INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT
 THE WRITTEN PERMISSION OF THE ARCHITECT.

FORTUNE COMPANIES
 329 N. Main Street
 Kokomo, Indiana 46901
 (765) 457-1700
 (765) 452-7998 fax

PROJECT NAME
SINGH DANVILLE CONVENIENCE STORE
 13150 DITCH RD CARMEL IN 46032



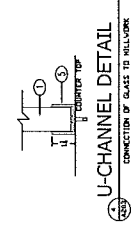
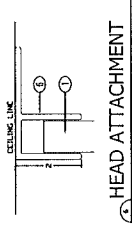
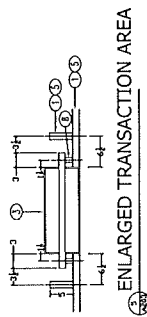
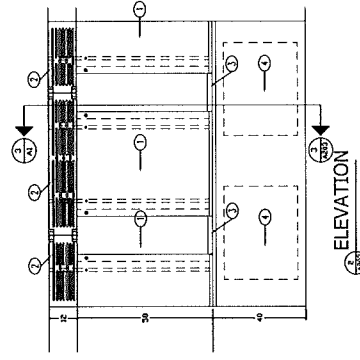
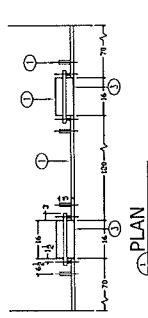
PROJECT LOCATION
 3376 E. Main St., Donville, IN 46162
 Architect: Matthew W. Boudley, Design
 Engineer Associates, Inc.
 648 Main Street, Suite 201
 Indianapolis, IN 46202
 Tel City Phone: 832-847-1100
 Fax City Phone: 832-847-1100
 Mailing Address: 648 Main Street, Suite 201
 Indianapolis, IN 46202
 Kenneth Lee Simpson, P.E.
 Drawn: MAJ & HCS
 Drawing Date: 2/13/23

Project Information:
 File Name: Danville Store
 DWG Number: MAJ and HCS
 Sheet
 23-02

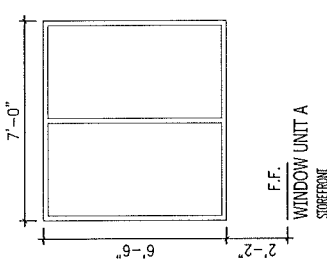
Sheet number
A202

BULLET-PROOF GLASS NOTES:

1. BULLET RESISTANT ACRYLIC OR ACRYLIC/POLYCARBONATE COMPOSITE.
2. 1/4" ACRYLIC GLOT LOADERS.
3. 18 GAUGE BRUSHED STAINLESS STEEL DECK TRANS.
4. 1/2" ACRYLIC GLOT LOADERS WITH STAINLESS STEEL PARTITION.
5. EXTRUDED ALUMINUM FRAMES. SEED TO MATCH THE LEVEL OF ACRYLIC PROTECTION. STANDARD COLORS: TR0.
6. ALUMINUM ANGLE OR CHANNEL ATTACHMENT FOR HEAD CONNECTION.
7. 500 PSI BULLET RESISTANT GLAZING MATERIAL TO MATCH THE REST OF SYSTEM.
8. BULLET RESISTANT GLAZING MATERIAL TO MATCH THE REST OF SYSTEM.
9. ACRYLIC DRIVE SPACERS.
10. VERIFY FINAL DESIGN DETAILS WITH OWNER.

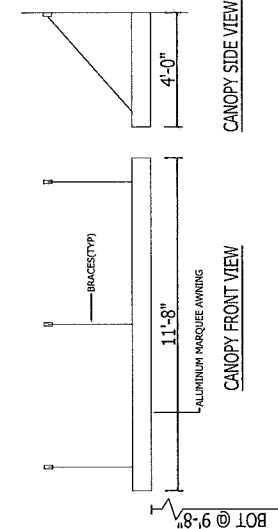


WINDOW ELEVATIONS:
SIZES SHOWN ARE ROUGH OPENINGS

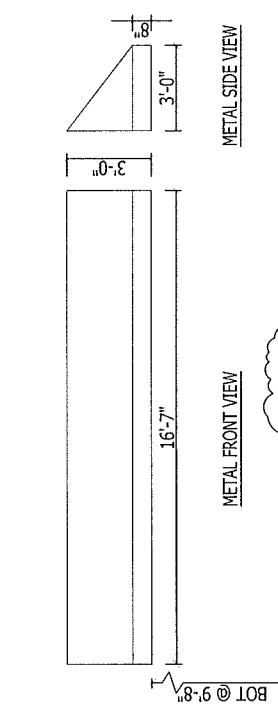


FRONT CASH COUNTER BULLET-PROOF GLASS DETAILS

COORDINATE ALL FINAL SIZING, MATERIALS & FINISHES WITH VENDOR & OWNER - INFORMATION PROVIDED FOR CONCEPTUAL PURPOSES ONLY



FRONT CANOPY
General Awning Design - Sprague Awning with 8'-Wide Flat Panels or equal
COURT: TBD, (ALL AWNINGS TO BE RETAIL)



FRONT METAL AWNINGS
TYPICAL 2 PLACES
COURT: TBD

FORTUNE COMPANIES
329 N. Main Street
Kokomo, Indiana 46901
(765) 457-1700
(765) 452-7998 fax

SINGH DANVILLE CONVENIENCE STORE
PROJECT LOCATION
3376 E. Main St., Danville, IN 46162
UUGAAD, LLC
CLIENT ADDRESS
13150 DITCH RD CARMEL IN 46032

AI
BD
ARCHITECTS
Professional Member
Architectural Registration Board
Indiana
Matthew A. Archer
Professional Engineer
Professional Engineer
Indiana
Engineer Associates, Inc.
Professional Engineer
Architectural Registration Board
Indiana
3376 E. Main St., Danville, IN 46162
Tel: City, Indiana 47506
Fax: City, Indiana 47506
Mobile Phone: 812-547-1100
Email: m.archer@engineerassociates.com
m.archer@aiandbd.com
www.aiandbd.com
www.engineerassociates.com
Owner: MAJ & AJS
Drawing Date: 1/11/23
Revision Date:
Revised By:
Drawn By:
Checked By:
Reviewed By:
Date:
Title:
Scale:
Plot Information:
File Name: Standard.dwg
User: m.archer
Date: 1/11/23

Professional Engineer
Architectural Registration Board
Indiana
Matthew A. Archer
Professional Engineer
Professional Engineer
Indiana
Engineer Associates, Inc.
Professional Engineer
Architectural Registration Board
Indiana
3376 E. Main St., Danville, IN 46162
Tel: City, Indiana 47506
Fax: City, Indiana 47506
Mobile Phone: 812-547-1100
Email: m.archer@engineerassociates.com
m.archer@aiandbd.com
www.aiandbd.com
www.engineerassociates.com
Owner: MAJ & AJS
Drawing Date: 1/11/23
Revision Date:
Revised By:
Drawn By:
Checked By:
Reviewed By:
Date:
Title:
Scale:
Plot Information:
File Name: Standard.dwg
User: m.archer
Date: 1/11/23

Sheet number
A203
SECTIONS/DETAILS
SCALE: 1/4" = 1'-0"

ALL BEAMS, RISERS, BRACKETS AND PLAYS INDICATED ON THESE ELEVATIONS SHALL BE SHOWN IN THE ELEVATIONS. THE BEAMS, RISERS, BRACKETS AND PLAYS INDICATED ON THESE ELEVATIONS SHALL BE SHOWN IN THE ELEVATIONS. THE BEAMS, RISERS, BRACKETS AND PLAYS INDICATED ON THESE ELEVATIONS SHALL BE SHOWN IN THE ELEVATIONS.

FORTUNE COMPANIES
 339 N. Main Street
 Kokomo, Indiana 46901
 (765) 457-1700
 (765) 452-7998 fax

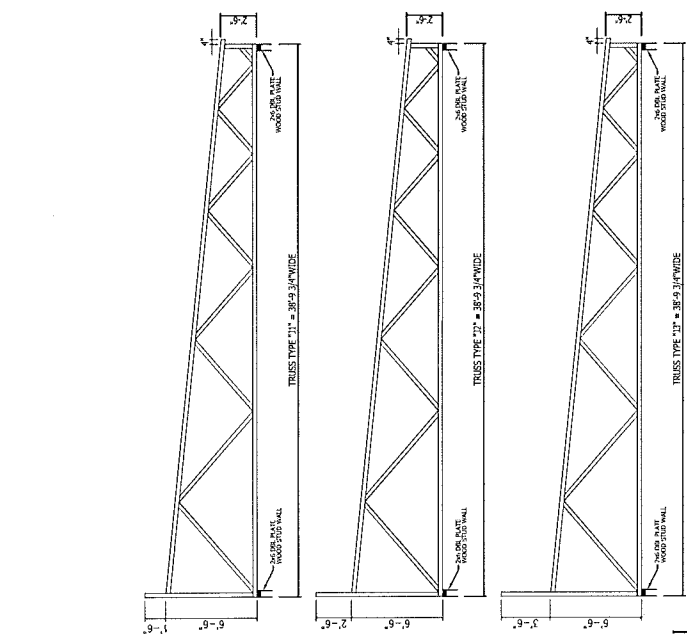
SINGH DANVILLE CONVENIENCE STORE
 PROJECT LOCATION:
 1350 DITCH RD CARMEL IN 46032

AI BD
 MEMBER
 AMERICAN INSTITUTE OF BUILDING DESIGNERS

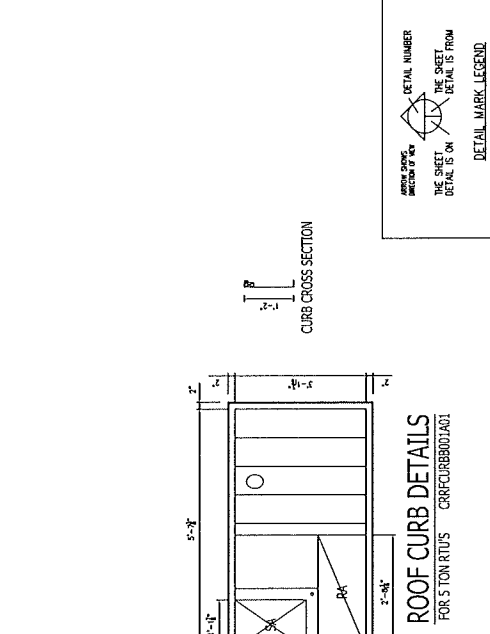
Engineer Associates, Inc.
 3376 E. Main St., Danville, IN 46122
 Tel: 765-782-1234
 Fax: 765-782-1235
 www.ea-inc.com

23-02
 Plot Information:
 File Name: Danville Store
 CAD Operator: ML and NLS
 Scale: 1/4" = 1'-0"

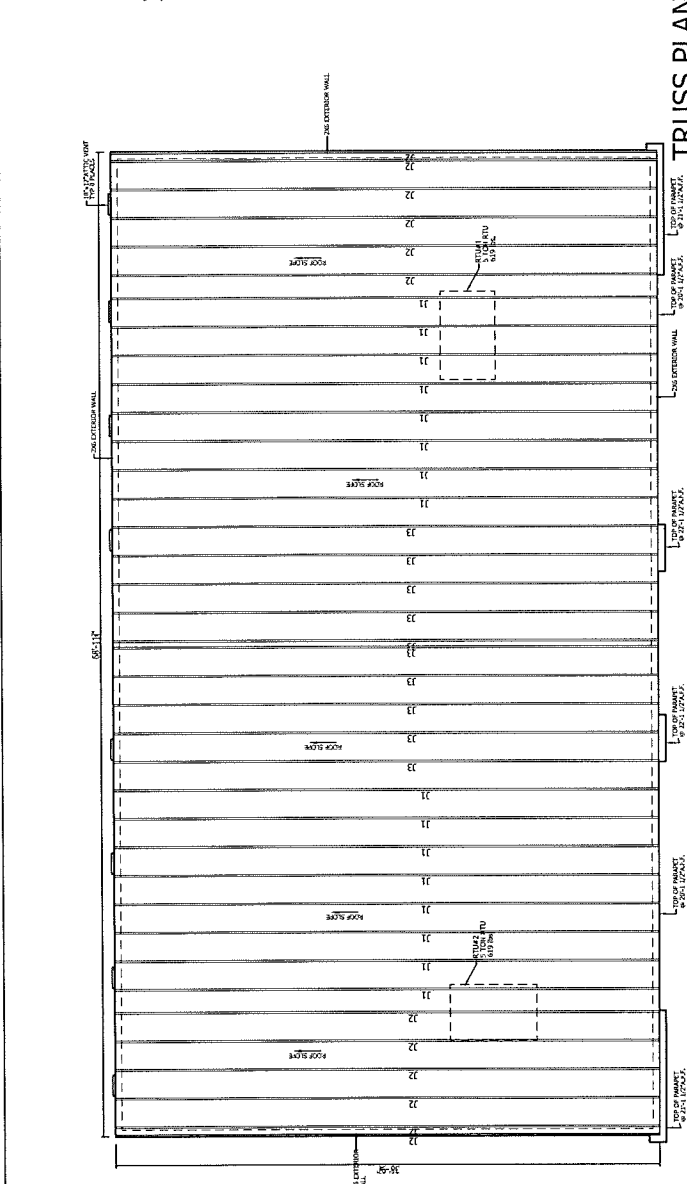
Sheet number
A204



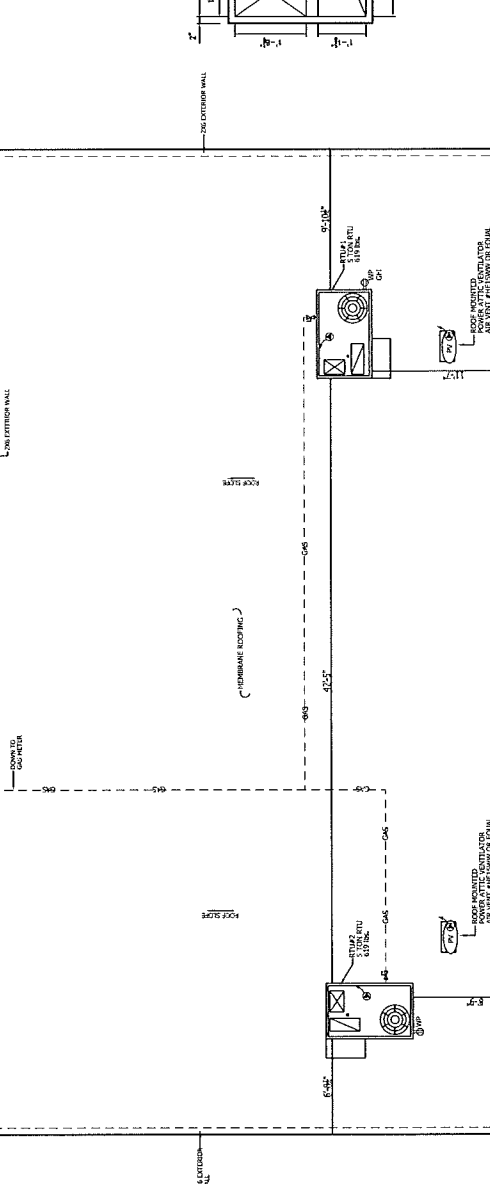
TRUSS PLAN
 TRUSSES TO BE ENGINEERED BY TRUSS MANUFACTURER



ROOF TRUSS ELEVATIONS
 TRUSSES TO BE ENGINEERED BY TRUSS MANUFACTURER



TRUSS PLAN
 TRUSSES TO BE ENGINEERED BY TRUSS MANUFACTURER



ROOF CURB DETAILS
 FOR 5 TON RTUS - CRFCURB001A01

ROOF PLAN
 SCALE: 1/4" = 1'-0"

DETAIL MARK LEGEND
 THE SHEET DETAIL IS ON
 DETAIL NUMBER

ROOF CURB DETAILS
 FOR 5 TON RTUS - CRFCURB001A01

TRUSS/ROOF PLAN
 SCALE: 1/4" = 1'-0"

THESE ELEVATIONS SHALL BE USED TO DETERMINE THE APPEARANCE OF THE BUILDING FROM ALL ADJACENT STREETS. THE APPEARANCE OF THE BUILDING SHALL BE MAINTAINED AT ALL TIMES. THE CLIENT SHALL BE RESPONSIBLE FOR ALL CHANGES TO THESE ELEVATIONS. THESE ELEVATIONS SHALL BE USED TO DETERMINE THE APPEARANCE OF THE BUILDING FROM ALL ADJACENT STREETS. THE APPEARANCE OF THE BUILDING SHALL BE MAINTAINED AT ALL TIMES. THE CLIENT SHALL BE RESPONSIBLE FOR ALL CHANGES TO THESE ELEVATIONS.

FORTUNE COMPANIES
 322 N. Main Street
 Knoxville, Tennessee 37901
 (765) 452-7000 fax
 (765) 452-7998 fax

SINGH DAVILLE CONVENIENCE STORE
 PROJECT LOCATION:
 3376 E. Main St., Donville, IN 46162
 CLIENT ADDRESS:
 13150 DITCH RD CARMEL IN 46032

AI B.D.
 ARCHITECTURAL
 MEMBER
 American Institute of Building Design
 Matthew A. Johnson
 REGISTERED ARCHITECT

Engineer Associates, Inc.
 645 Main Street, Suite 202
 181 City Phone 812-671-1300
 181 City Fax 812-671-1300
 Kenneth Lee Simpson P.E.
 812-671-1300

Permit Information:
 Title: window and door window
 City: Donville, Indiana
 State: Indiana
 County: Hamilton

Sheet number
A401

ELEVATIONS
 SCALE: 1/4" = 1'-0"

- ELEVATION KEYED NOTES:
- 1 BOLD FONT
 - 2 SHADY GRAY TINT
 - 3 3" W/4" ANGLE
 - 4 SHADY GRAY TINT
 - 5 2" W/4" ANGLE
 - 6 SHADY GRAY TINT
 - 7 SHADY GRAY TINT
 - 8 SHADY GRAY TINT
 - 9 SHADY GRAY TINT
 - 10 SHADY GRAY TINT
 - 11 SHADY GRAY TINT
 - 12 SHADY GRAY TINT
 - 13 SHADY GRAY TINT
 - 14 SHADY GRAY TINT
 - 15 SHADY GRAY TINT
 - 16 SHADY GRAY TINT
 - 17 SHADY GRAY TINT
 - 18 SHADY GRAY TINT
 - 19 SHADY GRAY TINT
 - 20 SHADY GRAY TINT
 - 21 SHADY GRAY TINT
 - 22 SHADY GRAY TINT
 - 23 SHADY GRAY TINT
 - 24 SHADY GRAY TINT
 - 25 SHADY GRAY TINT
 - 26 SHADY GRAY TINT
 - 27 SHADY GRAY TINT
 - 28 SHADY GRAY TINT
 - 29 SHADY GRAY TINT
 - 30 SHADY GRAY TINT

FLOOR	WALL	CEILING	FLOOR	CEILING	REMARKS
1ST FLOOR	WALL	CEILING	1ST FLOOR	CEILING	
2ND FLOOR	WALL	CEILING	2ND FLOOR	CEILING	
3RD FLOOR	WALL	CEILING	3RD FLOOR	CEILING	
4TH FLOOR	WALL	CEILING	4TH FLOOR	CEILING	
5TH FLOOR	WALL	CEILING	5TH FLOOR	CEILING	

FLOOR SPECIFICATIONS

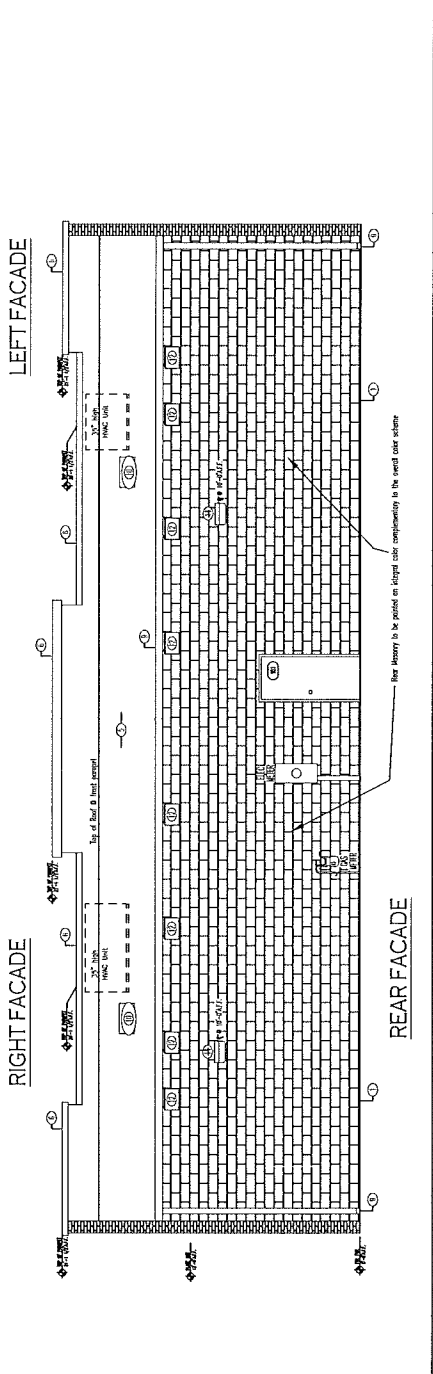
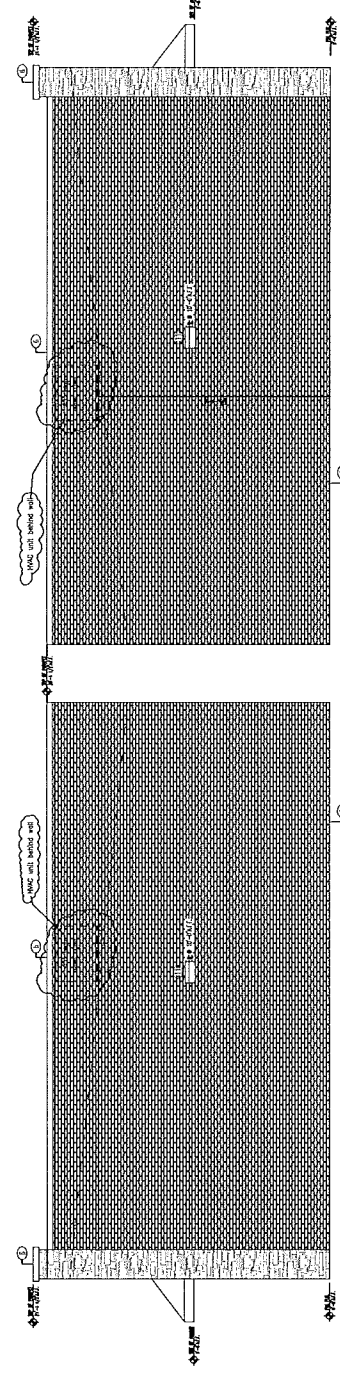
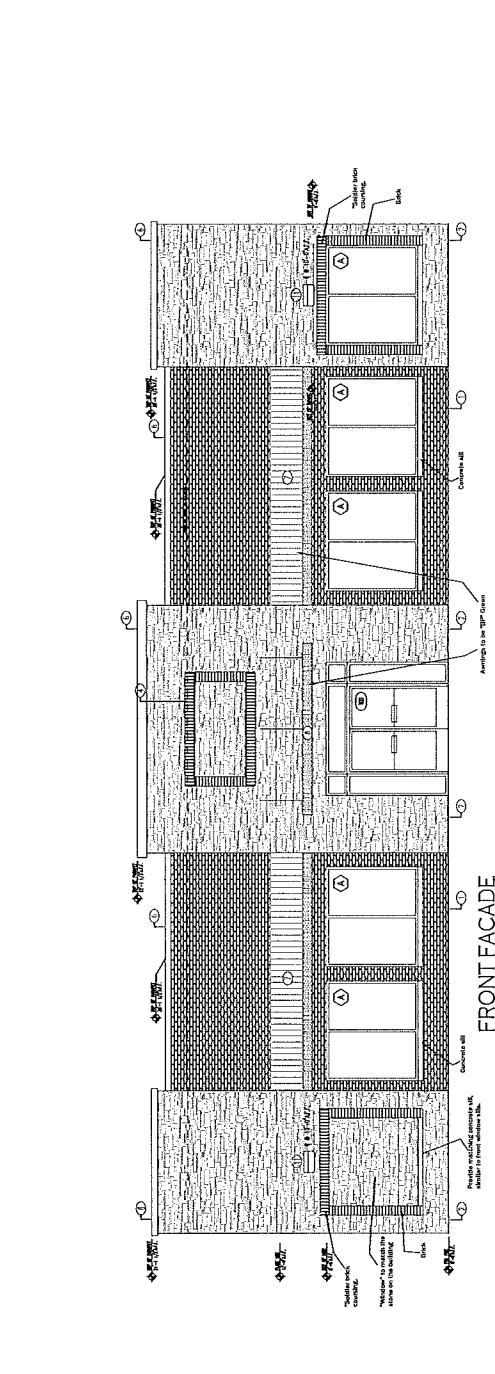
FLOOR	1	2	3	4	5
DESCRIPTION	1 = SPACED STONE PANEL - COLOR: TBO	2 = SPACED STONE PANEL - COLOR: TBO (SIMILAR TO 1ST SPACED STONE (LOOKER PANE))	3 = SPACED STONE PANEL - COLOR: TBO	4 = SPACED STONE PANEL - COLOR: TBO	5 = SPACED STONE PANEL - COLOR: TBO

WALL SPECIFICATIONS

WALL	1	2	3	4	5
DESCRIPTION	1 = SPACED STONE PANEL - COLOR: TBO	2 = SPACED STONE PANEL - COLOR: TBO (SIMILAR TO 1ST SPACED STONE (LOOKER PANE))	3 = SPACED STONE PANEL - COLOR: TBO	4 = SPACED STONE PANEL - COLOR: TBO	5 = SPACED STONE PANEL - COLOR: TBO

FLOOR FINISHES

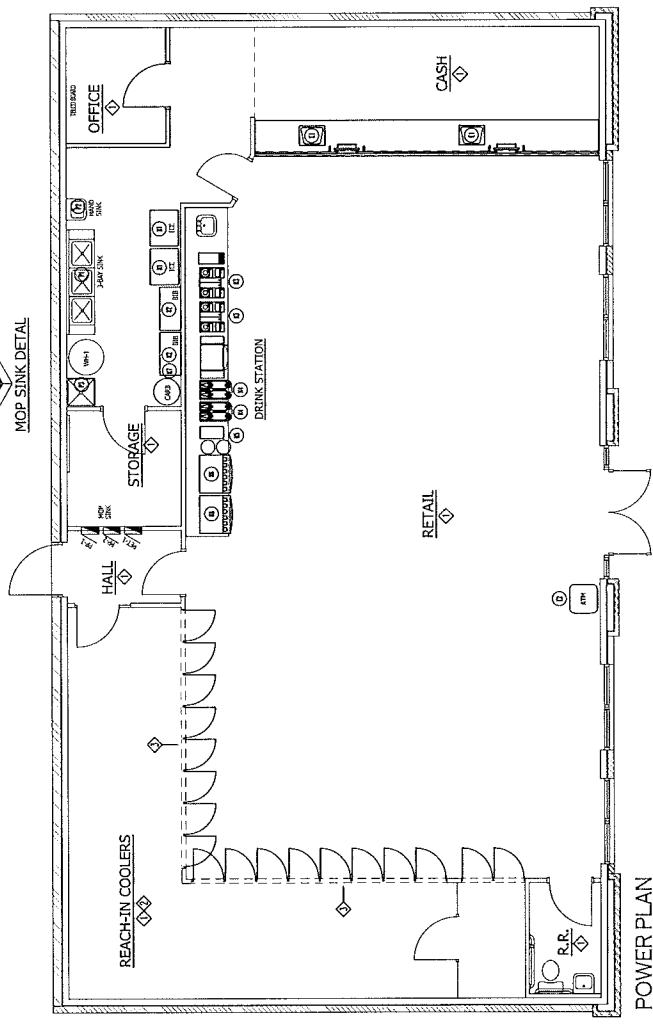
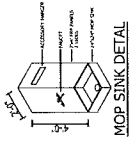
FLOOR	1	2	3	4	5
DESCRIPTION	1 = SPACED STONE PANEL - COLOR: TBO	2 = SPACED STONE PANEL - COLOR: TBO (SIMILAR TO 1ST SPACED STONE (LOOKER PANE))	3 = SPACED STONE PANEL - COLOR: TBO	4 = SPACED STONE PANEL - COLOR: TBO	5 = SPACED STONE PANEL - COLOR: TBO



ROOM	FINISH SCHEDULE												REMARKS
	NORTH	EAST	SOUTH	WEST	BASE	FLOOR	CEILING	ACT	ACT	ACT	ACT	ACT	
RETAIL	P1	P1	P1	P1	P1	P1	P1	P1	P1	P1	P1	P1	ACT
OFFICE	P1	P1	P1	P1	P1	P1	P1	P1	P1	P1	P1	P1	ACT
STORAGE	P1	P1	P1	P1	P1	P1	P1	P1	P1	P1	P1	P1	ACT
HALL	P1	P1	P1	P1	P1	P1	P1	P1	P1	P1	P1	P1	ACT
RR	P2	P2	P2	P2	P2	P2	P2	P2	P2	P2	P2	P2	ACT
REACH-IN COOLERS	FR	FR	FR	FR	FR	FR	FR	FR	FR	FR	FR	FR	ACT
REACH-IN COOLERS	FR	FR	FR	FR	FR	FR	FR	FR	FR	FR	FR	FR	ACT

FINISH SPECIFICATIONS:

PAINT P1 = COLOR: TB
 P2 = COLOR: TB (STORY BASED PAINT)
 FR = COLOR: TB
 FRP = COLOR: TB
 WS = DIMENSIONAL STEEL PANELS BEHIND HOOD AREA
 FLOOR CT1 = 6" RESISTANT QUARRY TILE - COLOR: TB
 CT1 = 6" RESISTANT QUARRY TILE - COLOR: TB
 CEILING ACT = INSULATED LAY-ON CEILING PANEL - WHITE



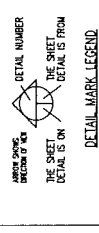
FINISH GENERAL NOTES:

1. ALL PAINTED FINISHES SHALL BE NO LESS THAN ONE (1) COAT PRIMER AND TWO (2) COATS FINISH PAINT.
2. ALL FINISHES AND METHODS OF APPLICATION SHALL MEET THE REQUIREMENTS OF ALL LOCAL, STATE, AND FEDERAL AGENCIES.
3. ALL FINISHES SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.
4. AT ALL AREAS WHERE MULTIPLE FINISHES MEET, CONTRACTOR TO FINISH THE MORE FLOOR AND/OR WALL FINISH FIRST, THEN THE OTHER FINISHES.
5. PROVIDE VENT TRANSITION STRIPS BETWEEN ALL CARPET AND VCT / SHEET VINYL, CULINA, AND STYLE TO BE SELECTED FROM MANUFACTURER'S STANDARDS, AS REQUIRED.
6. CONTRACTOR TO VERIFY ALL FINISHES ARE APPLIED TO THE CORRECT SURFACE AND TO THE CORRECT THICKNESS AS REQUIRED.
7. PAINT ANY METAL ACCESS PANELS TO MATCH THE ADJACENT WALL FINISH / CEILING FINISH, UNLESS THEY ARE OTHERWISE NOTED OTHERWISE.
8. ALL UNDERLAYS OF BULKHEADS TO BE PAINTED FLAT FINISH UNLESS NOTED OTHERWISE.
9. CONTRACTOR TO VERIFY ALL FINISHES TO BE PAINTED TO THE CORNER FOR APPROVAL PRIOR TO INSTALLATION.
10. CONTRACTOR TO VERIFY ALL FINISHES TO BE PAINTED TO THE CORNER FOR APPROVAL PRIOR TO INSTALLATION.
11. ALL WINDOW FRAMES AND DOOR FRAMES TO BE PAINTED SINGLE-GLOSS FINISH UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY ALL FINISHES TO BE PAINTED TO THE CORNER FOR APPROVAL PRIOR TO INSTALLATION.
12. ALL WINDOW FRAMES AND DOOR FRAMES TO BE PAINTED SINGLE-GLOSS FINISH UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY ALL FINISHES TO BE PAINTED TO THE CORNER FOR APPROVAL PRIOR TO INSTALLATION.
13. MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS.
14. THE FINISHES TO BE APPLIED TO ANY SURFACE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
15. CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO THE COMPLETION OF A TASK.
16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SURE ALL CONDITIONS ON THIS SHEET PRIOR TO ANY INSTALLATION OF FINISHES TO THE EXTENT OF NOT BEING NOTED BY THE CONTRACTOR'S RESPONSIBILITY.

NO.	ITEM	MAKE	MODEL	VOLT	WATT	EQUIPMENT SCHEDULE	ELECTRICAL		REMARKS
							WIRE TYPE	CONDUIT TYPE	
1	REACH-IN COOLERS	FR	FR	120V	1000	REACH-IN COOLERS	120V	120V	REACH-IN COOLERS
2	DRINK STATION	FR	FR	120V	1000	DRINK STATION	120V	120V	DRINK STATION
3	OFFICE	FR	FR	120V	1000	OFFICE	120V	120V	OFFICE
4	RETAIL	FR	FR	120V	1000	RETAIL	120V	120V	RETAIL
5	STORAGE	FR	FR	120V	1000	STORAGE	120V	120V	STORAGE
6	HALL	FR	FR	120V	1000	HALL	120V	120V	HALL
7	RR	FR	FR	120V	1000	RR	120V	120V	RR
8	MOP SINK	FR	FR	120V	1000	MOP SINK	120V	120V	MOP SINK
9	CASH	FR	FR	120V	1000	CASH	120V	120V	CASH

FINISH NOTES:

- ◆ ALL FLOOR FINISHES SHALL BE 6" QUARRY TILE
- ◆ VCT / SHEET VINYL SHALL MEET THE WALL BASE
- ◆ PROVIDE MOISTURE RESISTANT DETAIL ON WALLS
- ◆ PROVIDE (1) LAYER MOISTURE RESISTANT DETAIL ON COOLER
- ◆ USE OF HUNG



FINISHES / EQUIP / SCHEDULES
 SCALE: 1/4" = 1'-0"

FOR FURTHER INFORMATION, CONTACT THE ARCHITECT AT THE FOLLOWING ADDRESS:
 ARCHITECT: [Name], [Address], [City, State, Zip]
 PROJECT NO.: [Number]

FOR FORTUNE COMPANIES
 329 N. Main Street
 Kokomo, Indiana 46901
 (765) 452-7998 fax
 (765) 457-1700

AI
BD
 American Institute of Architects
 Registered Member

Engineer Associates, Inc.
 13750 DITCH RD CARMEL IN 46032
 (765) 452-7998 fax

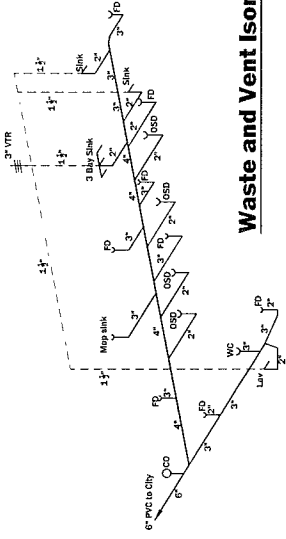
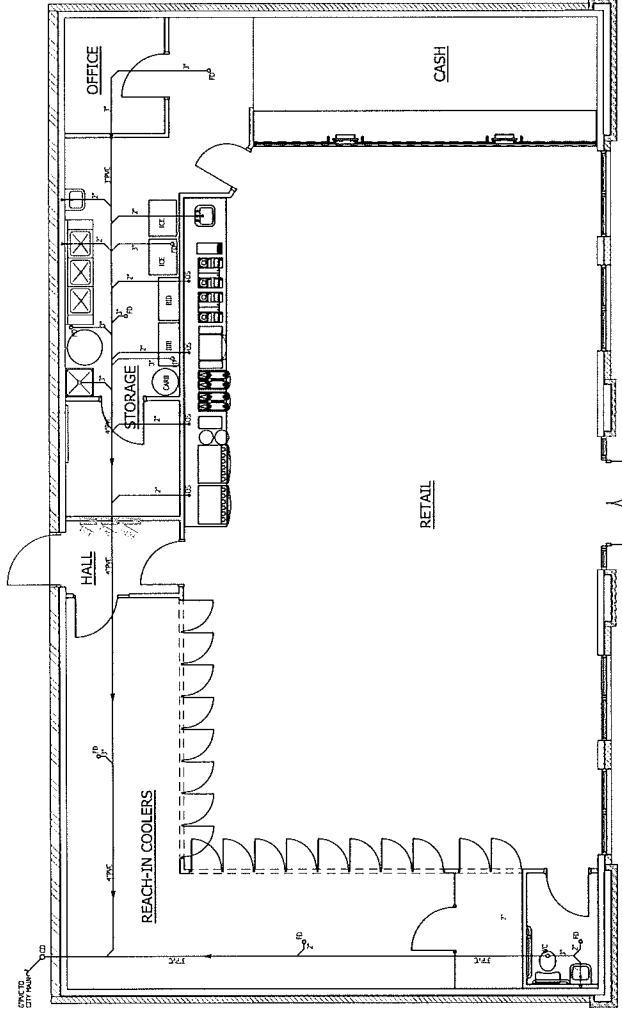
Plot Information:
 File Name: D:\Projects\601.dwg
 Cad Operator: MJD/MSK

Sheet number
A601



PLUMBING GENERAL NOTES:

1. VERIFY THE LOCATION OF EXISTING AND PROPOSED PLUMBING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
2. THE PLUMBING SYSTEM DESIGN, INSTALLATION AND MATERIALS SHALL CONFORM TO ALL FEDERAL, STATE & LOCAL CODES & REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.



Waste and Vent Isometric

PLUMBING
SCALE: 1/4" = 1'-0"



Sheet number
P201



Plot Information:
File Name: D:\Projects\2007\2007-01-10\2007-01-10.dwg
CAD Operator: MHA/pflls

Drawn: MHA & KES
Checked: MHA & KES
Date: 12-11-07
Revision Date:
7/20/07, Checked/Modified per
of permit. Elevation 2' above
ground. All dimensions are in feet.
Lighting symbols are shown from
road (North elevation).

Engineer Associates, Inc.
645 Main Street, Suite 201
101 Old City Phone 812-541-1100
1411 Main Street, Suite 201
Remount, Mo 64089, P.E.

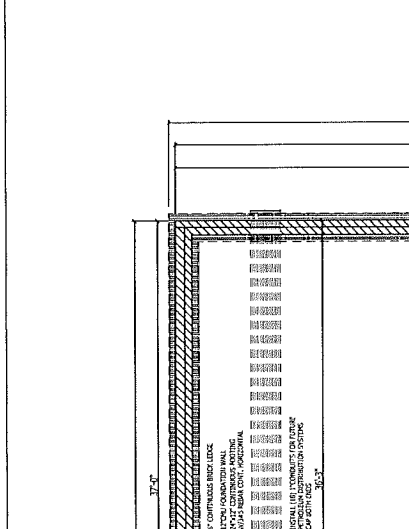
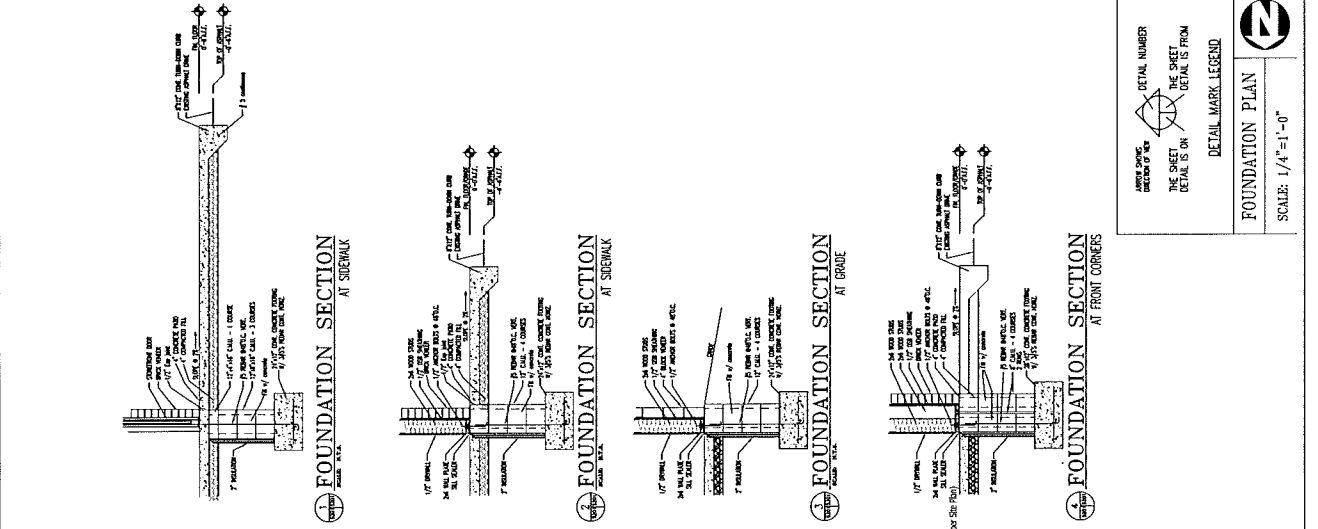
Professional Engineer
Professional Number
1411 Main Street, Suite 201
Remount, Mo 64089, P.E.

MEMBER
AI
BD
ARCHITECTS &
ENGINEERS

PROJECT NAME:
SINCH DAVYLLE CONVENIENCE STORE
PROJECT LOCATION:
3376 E. Main St., Donville, IN 46032
CLIENT:
JUGAAD, LLC
13150 DITCH RD CARMEL IN 46032

FORRYNE COMPANIES
339 N. Main Street
Kokomo, Indiana 46901
(765) 432-1700
(765) 432-7998 fax

ALL TRADE, ARCHITECT, ENGINEERS AND PLANS INCORPORATED OR REFERENCED THEREIN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.



NOTE:
 1- FERRIC CONCRETE (SAB)
 2- 4" REINFORCING CONCRETE
 3- GRANULAR FILL

Finished floor @ 100.0 = 109.50 (per 5th Flg)

1- FOUNDATION SECTION AT SIDELWALK
 2- FOUNDATION SECTION AT GRUBE
 3- FOUNDATION SECTION AT FRONT CORNERS

ENGINEER
AI
BD.
 AMERICAN INSTITUTE OF ARCHITECTS
 REGISTERED PROFESSIONAL ARCHITECTS

REGISTERED PROFESSIONAL ARCHITECT
 15150 DITCH RD CARMEL IN 46032
 (765) 452-7998 fax
 (765) 457-1700
 329 N. Main Street
 Kokomo, Indiana 46901

CLIENT
 SINGH DAVILLE CONVENIENCE STORE
 5376 E. Main St., Daville, IN 46162

PROJECT NO.
 UOGADJ, LLC

DATE
 1/13/23

PROFESSIONAL SEAL
 Dan Sargent
 15150 DITCH RD CARMEL IN 46032
 (765) 452-7998 fax
 (765) 457-1700
 329 N. Main Street
 Kokomo, Indiana 46901

PROJECT LOCATION:
 15150 DITCH RD CARMEL IN 46032

ENGINEER ASSOCIATES, INC.
 Registered Professional Engineer
 15150 DITCH RD CARMEL IN 46032
 (765) 452-7998 fax
 (765) 457-1700
 329 N. Main Street
 Kokomo, Indiana 46901

DESIGNED BY:
 Matthew A. Johnson

CHECKED BY:
 Matthew A. Johnson

DRAWING DATE:
 1/13/23

REVISIONS:
 1-13/23
 1-13/23
 1-13/23
 1-13/23

PROJECT INFORMATION:
 The name: Danville-Kokomo
 CAD System: AutoCAD

Plot Information:
 Plot Date: 1/13/23
 Plot Time: 10:10:00 AM
 Plot User: dan.sargent

Scale:
 1/4" = 1'-0"

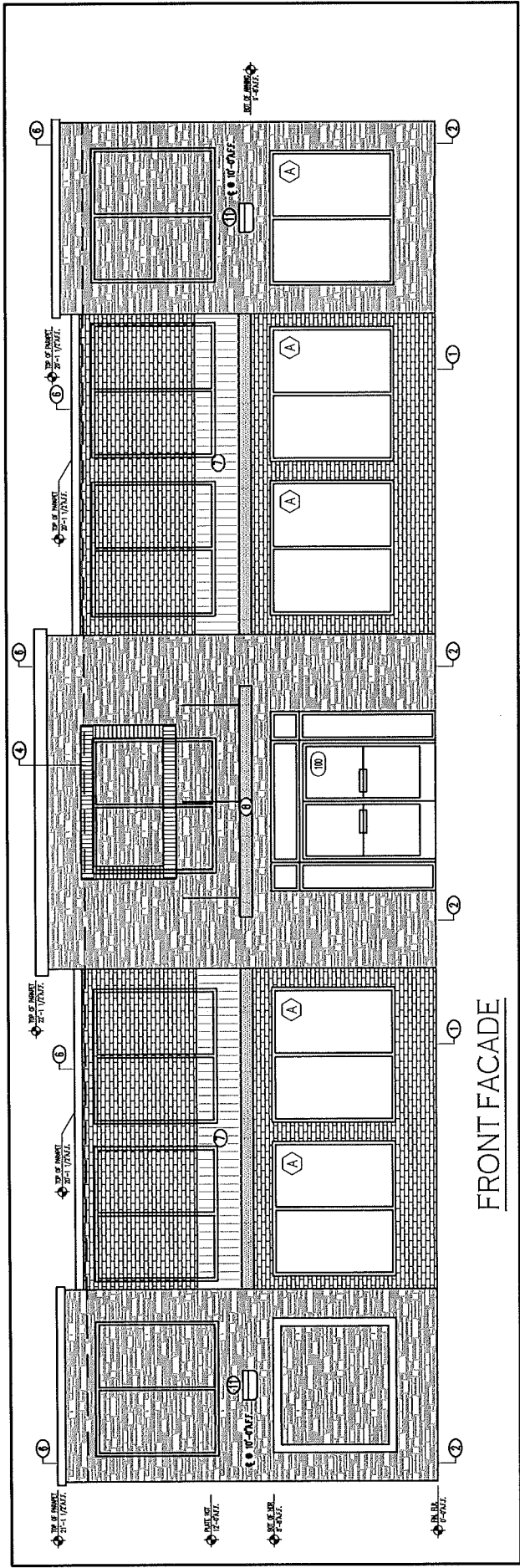
Foundation Plan

Foundation Section

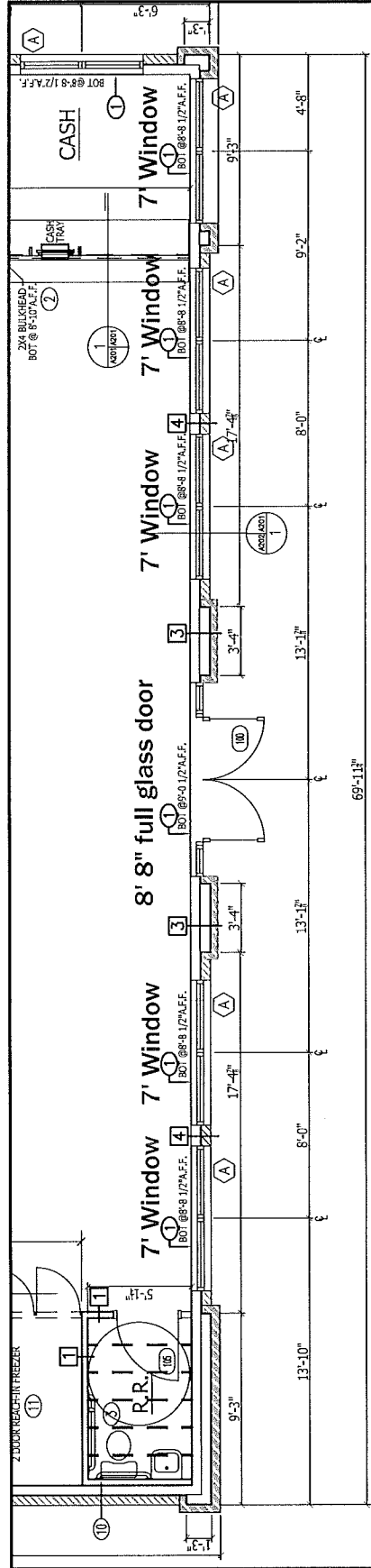
Sheet Number:
 S201

Detail Legend:
 Detail 1: Foundation Section at Sidelwalk
 Detail 2: Foundation Section at Grube
 Detail 3: Foundation Section at Front Corners

Professional Seal:
 Dan Sargent
 15150 DITCH RD CARMEL IN 46032
 (765) 452-7998 fax
 (765) 457-1700
 329 N. Main Street
 Kokomo, Indiana 46901



FRONT FACADE



Plan View

Window Calculations

Looking at the linear values (from Plan View)

Total length of building = $69' 11 \frac{3}{4}''$

Total windows $5 @ 7'$ wide + $1 @ 8' 8''$ (Front Door) = $43.67'$

That yields $43.67' / 69' 11 \frac{3}{4}'' = 62\%$, greater than 60%

Window Calculations

Looking at Front Facade

As originally designed -

Front Face has $1,407$ sq. ft

Windows are 308 sq. ft

This yields $308 / 1,407 = 22\%$ windows

As shown above, windows added on 2nd story

Front face has $1,407$ sq. ft.

Windows are now 627 sq. ft

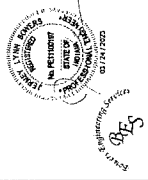
This yields $627 / 1,407 = 45\%$ windows

Danville C-Store

Sunny Singh

KLS 7/7/23

Superior Canopy CORPORATION
 2435 E. Indianapolis Road
 Hamilton, IN 48742
 (260) 488-4085



REVISONS

NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMITS	01/24/2020
2	ISSUE FOR PERMITS	01/24/2020
3	ISSUE FOR PERMITS	01/24/2020
4	ISSUE FOR PERMITS	01/24/2020
5	ISSUE FOR PERMITS	01/24/2020
6	ISSUE FOR PERMITS	01/24/2020
7	ISSUE FOR PERMITS	01/24/2020
8	ISSUE FOR PERMITS	01/24/2020
9	ISSUE FOR PERMITS	01/24/2020
10	ISSUE FOR PERMITS	01/24/2020
11	ISSUE FOR PERMITS	01/24/2020
12	ISSUE FOR PERMITS	01/24/2020
13	ISSUE FOR PERMITS	01/24/2020
14	ISSUE FOR PERMITS	01/24/2020
15	ISSUE FOR PERMITS	01/24/2020
16	ISSUE FOR PERMITS	01/24/2020
17	ISSUE FOR PERMITS	01/24/2020
18	ISSUE FOR PERMITS	01/24/2020
19	ISSUE FOR PERMITS	01/24/2020
20	ISSUE FOR PERMITS	01/24/2020

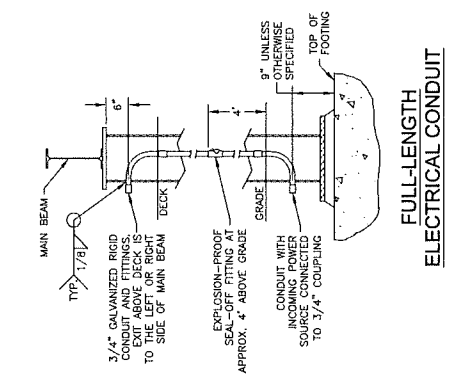
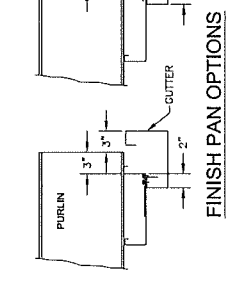
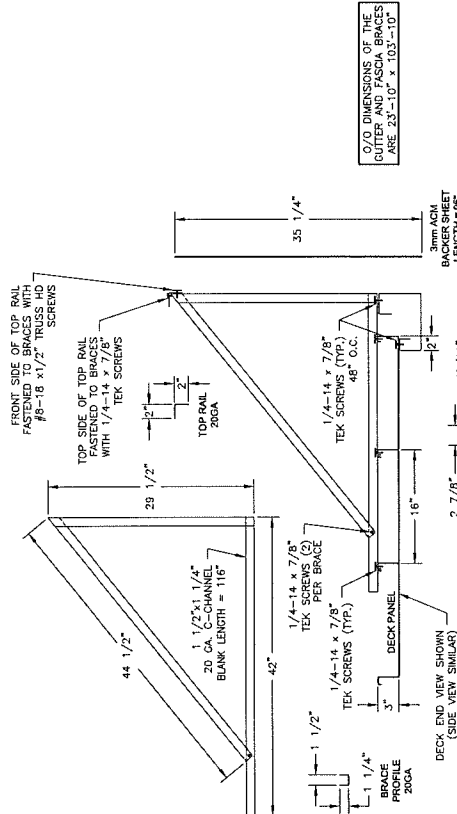
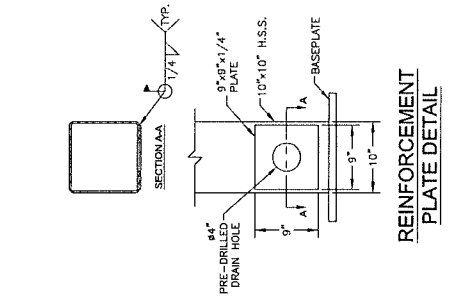
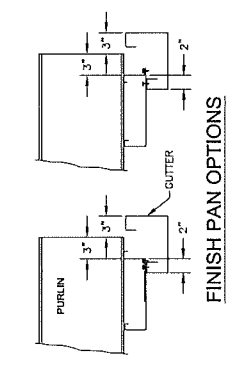
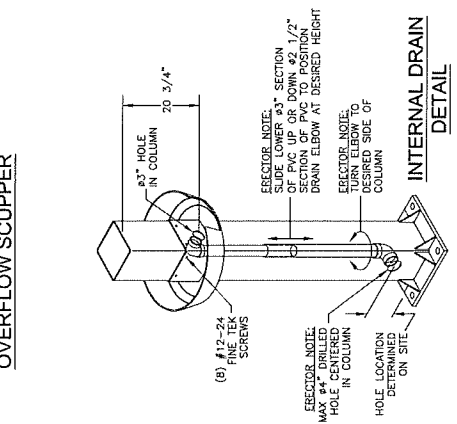
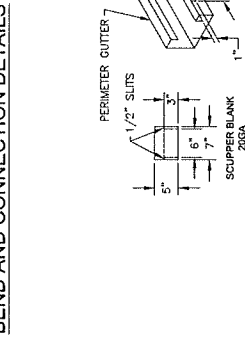
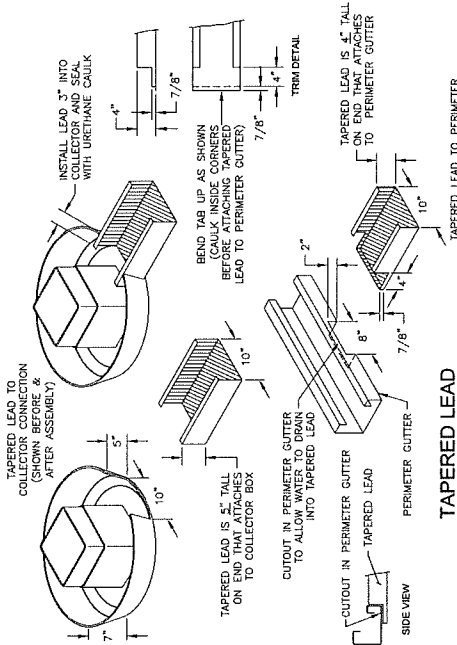
GENERAL NOTES:
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 2. ALL MATERIALS TO BE OF THE QUALITY SPECIFIED OR BETTER.
 3. ALL MATERIALS TO BE PROTECTED FROM WEATHER AND INJURY.
 4. ALL MATERIALS TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
 5. ALL MATERIALS TO BE INSTALLED ACCORDING TO CURRENT CODES AND REGULATIONS.
 6. ALL MATERIALS TO BE INSTALLED ACCORDING TO CURRENT CODES AND REGULATIONS.
 7. ALL MATERIALS TO BE INSTALLED ACCORDING TO CURRENT CODES AND REGULATIONS.
 8. ALL MATERIALS TO BE INSTALLED ACCORDING TO CURRENT CODES AND REGULATIONS.
 9. ALL MATERIALS TO BE INSTALLED ACCORDING TO CURRENT CODES AND REGULATIONS.
 10. ALL MATERIALS TO BE INSTALLED ACCORDING TO CURRENT CODES AND REGULATIONS.
 11. ALL MATERIALS TO BE INSTALLED ACCORDING TO CURRENT CODES AND REGULATIONS.
 12. ALL MATERIALS TO BE INSTALLED ACCORDING TO CURRENT CODES AND REGULATIONS.
 13. ALL MATERIALS TO BE INSTALLED ACCORDING TO CURRENT CODES AND REGULATIONS.
 14. ALL MATERIALS TO BE INSTALLED ACCORDING TO CURRENT CODES AND REGULATIONS.
 15. ALL MATERIALS TO BE INSTALLED ACCORDING TO CURRENT CODES AND REGULATIONS.
 16. ALL MATERIALS TO BE INSTALLED ACCORDING TO CURRENT CODES AND REGULATIONS.
 17. ALL MATERIALS TO BE INSTALLED ACCORDING TO CURRENT CODES AND REGULATIONS.
 18. ALL MATERIALS TO BE INSTALLED ACCORDING TO CURRENT CODES AND REGULATIONS.
 19. ALL MATERIALS TO BE INSTALLED ACCORDING TO CURRENT CODES AND REGULATIONS.
 20. ALL MATERIALS TO BE INSTALLED ACCORDING TO CURRENT CODES AND REGULATIONS.

PROJECT:
 3478 E. MAIN STREET
 DANVILLE, IN 48722

DATE:
 01/24/2020

CANOPY PLAN & ELEVATIONS

SCALE:
 S=200.00



REVISIONS

NO.

DESCRIPTION

DATE

TOP VIEW



112"

60 1/2"





REVISION HISTORY:

NO.	DATE	REVISION
1	08/07/21	REVISED TO INITIAL DRAWING RELEASE

PARTS LIST:

ITEM	DESCRIPTION
1	PHS WHITE DECORATION
2	PHS 355C
3	PHS 366C
4	PHS 109C
5	BLOCKOUT
6	PHS 661
7	PROCESS BLUE C
8	MATERIAL LIST
9	PLASTIC FACE
10	ALUMINUM CABINET
11	SECOND SURFACE DECORATION

NOTES, WEIGHTS AND MEASURES

Weights and Measures requirements vary by State. County and City. It is the responsibility of the customer to verify the requirements of the local jurisdiction. Regulations, Statutes and Ordinances. Compliance must be confirmed by the party obtaining the permit. SignResource does not warrant compliance with local regulations. SignResource makes no representation or warranty that the sign will comply with any local regulations after the order has been placed.

If permitting and installation is provided by SignResource, the customer must verify that the sign is permitted, compliant at the time of installation.

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

GENERAL NOTES

- TOLERANCE (UNLESS NOTED)
 - GRAPHICS +1/16" * FACE SIZE + 1/16" * 1/16"
 - CABINET +1/16" * MIN. OVERLAP + 1/8" - 1/16"
 - ALL COPY LEVEL UNLESS NOTED OTHERWISE
- VENOING REQUIRE 25' TO 50' UNLESS NOTED OTHERWISE
- NO SIGN SHALL BE PLACED ON A SIGN SYSTEM
- NO SIGN SHALL BE PLACED ON A SIGN SYSTEM
- NO ELECTRICAL SIGNS TO COMPLY WITH ILL 48

DESCRIPTION

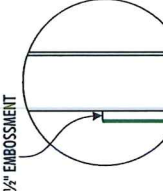
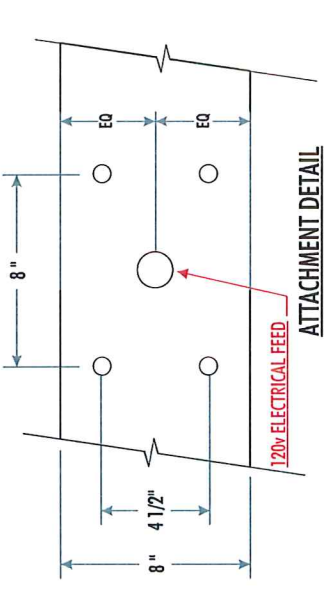
4' x 8' APPROX.
ILLUMINATED DOUBLE FACE
CENTER POLE MOUNT SIGN

MANUAL	CREATED	ORDER NO.	ORDER DATE
FORM BY	DESIGNED BY	DATE	
VER. NO.	BY		
LOCATION	PROJECT		

UNIT: 3155643
DATE: 09/02/2021
PROJECT: 8713687/19152 LVONIA INI
SHEET NO: 1 OF 1
APP: BPG7LED3PD4399E01



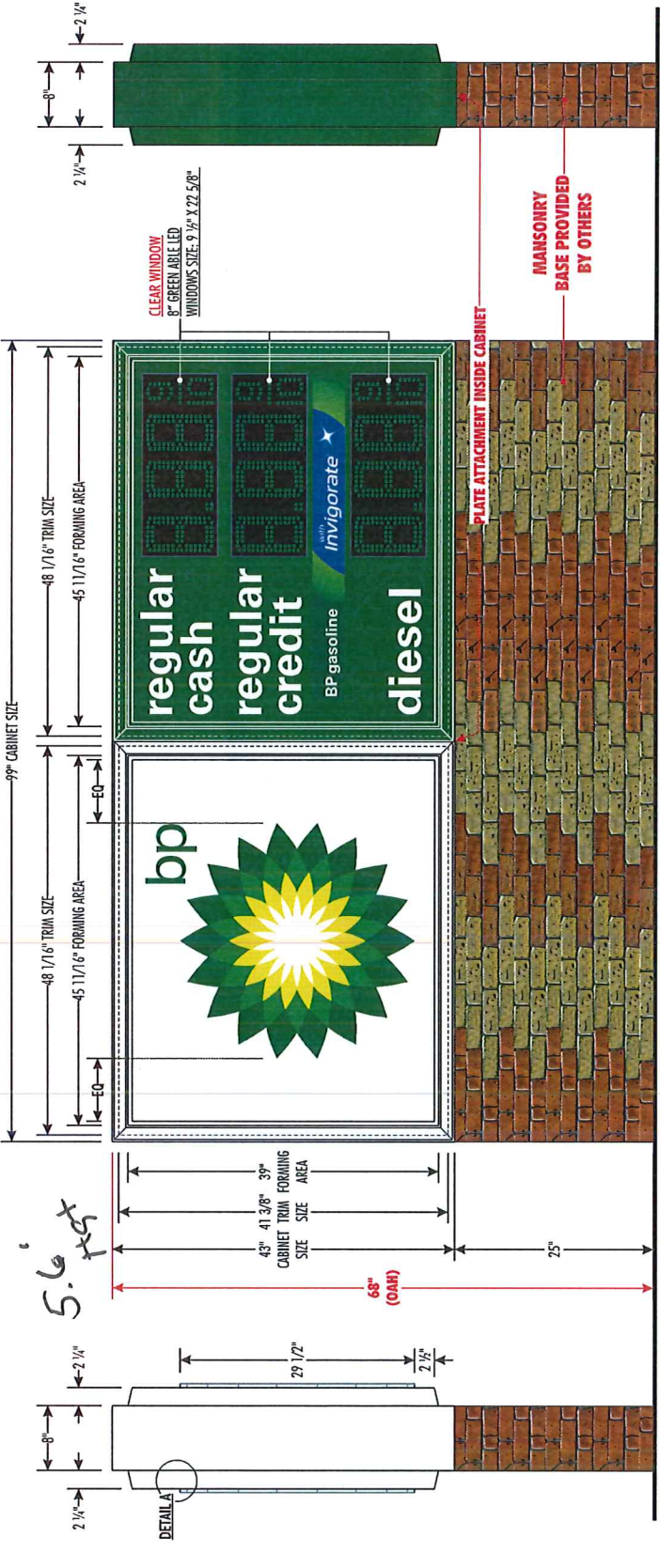
NIGHT ILLUMINATION VIEW SIDE A



DETAIL A

PRODUCT COPY
WHITE PRODUCT COPY ON GREEN BACKGROUND

4" regular cash
4" regular credit
4" diesel



FRONT VIEW

SIDE VIEW

SIDE A

SIDE B

LED PART # 1BPAAT08G3-7SDS

APPROVAL SIGNATURE: _____ DATE: _____

By signing, you are validating the dimensions and graphics provided to SignResource and/or you are handling your own installation.