

WHY HAVE A UNIFIED DEVELOPMENT ORDINANCE?

- More efficient and modern approach for all of your land use regulations.
- Shared definitions to eliminate conflicting terms.
- User friendly (staff, developers, general public).
- Easy to manage and update when necessary.
- Provide predictability in the development processes.

HOW IS THIS DIFFERENT FROM THE CURRENT ORDINANCES?

- Each district will have an at-a-glance summary.
- Land uses will be more contemporary.
- State Law and case law changes will be up-to-date.
- Comprehensive Plan objectives will be incorporated.
- Tables and graphics will be incorporated.
- Processes will be clarified and streamlined.
- Information is easy to find quickly.
- Final format will be easy to update and maintain.

CHAPTER OUTLINE



WOULD YOU LIKE TO REVIEW THE FULL DRAFT ORDINANCE?

- The following boards outlines major topics that are included in the proposed UDO.
- Ask any team member to see the full draft if interested.
- Team members are also available for questions and discussion on the UDO draft and its contents.
- Comments cards are available to leave feedback for the team.

ZONE DISTRICTS AND OVERLAYS

LAND USE CATEGORY	CURRENT ZONE DISTRICT	NAME OF DISTRICT	ABBREVIATION
Residential	RE1, RC1, R1, R2	Residential 1	R1
	R3	Residential 2	R2
	R4	Residential 3	R3
	R2C	Residential-Urban	RU
Central Business	CB-P	Primary Central Business	CB-P
	CB-S	Secondary Central Business	CB-S
Commercial	LB	Local Business	LB
	GB, OD	General Business	GB
Industrial	IL, IO, AD	Industrial Light	IL
	IG	Industrial General	IG
Parks and Recreation	PD	Parks and Recreation	PR
Planned Unit Development	PUD	Planned Unit Development	PUD

NAME OF OVERLAY DISTRICT	ABBREVIATION
Corridor Protection Overlay	CPOD
Airport Development Overlay	APOD
Floodplain Overlay	FPOD

RESIDENTIAL ZONING DISTRICTS

R1 STRUCTURE STANDARDS				
		Single-Family Residential	Non-Residential	
Maximum structure height	Primary structure	35 feet	35 feet	
	Accessory structure	20 feet ¹	20 feet ¹	
Minimum living area		1,000 sq ft	N/A	
R1 LOT STANDARDS				
Minimum lot width		90 feet	90 feet	
Minimum lot area		13,500 sq ft	13,500 sq ft	
Minimum front yard setback		<ul style="list-style-type: none">• Private, Local, Collector Street – 25 feet;• Primary, Secondary arterial – 30 feet; OR• Average block setback, but no less than 10 feet		
Minimum side yard setback	Primary structure	10 feet	15 feet	
	Accessory structure	5 feet	6 feet	
Minimum rear yard setback	Primary structure	25 feet	25 feet	
	Accessory structure	5 feet	15 feet	
Maximum impervious surface coverage		40%	40%	
R1 UTILITY STANDARDS				
Municipal water and sewer required		YES	YES	

R3 STRUCTURE STANDARDS				
		Single- and Two-Family Residential	Multi-Family Residential	Non-Residential
Maximum structure height	Primary structure	35 feet	45 feet	35 feet
	Accessory structure	20 feet ¹	20 feet ¹	20 feet ¹
Minimum living area (per unit)		750 sq ft	600 sq ft	N/A
R3 LOT STANDARDS				
Minimum lot width		50 feet	80 feet	60 feet
Minimum lot area		6,000 sq ft	3,000 sq ft for the first 3 units plus 1,000 sq ft per each additional unit	5,000 sq ft
Minimum front yard setback		<ul style="list-style-type: none">Private, Local, Collector Street – 25 feet;Primary, Secondary arterial – 30 feet; ORAverage block setback, but no less than 10 feet		
Minimum side yard setback	Primary structure	5 feet	10 feet	10 feet
	Accessory structure	5 feet	10 feet	10 feet
Minimum rear yard setback	Primary structure	20 feet	25 feet	20 feet
	Accessory structure	5 feet	15 feet	15 feet
Maximum impervious surface coverage		50%	50%	50%
R3 UTILITY STANDARDS				
Municipal water and sewer required		YES	YES	YES

R2 STRUCTURE STANDARDS				
		Single- and Two-Family Residential		Non-Residential
Maximum structure height	Primary structure	35 feet	35 feet	35 feet
	Accessory structure	20 feet ¹	20 feet ¹	20 feet ¹
Minimum living area (per unit)		750 sq ft	600 sq ft	N/A
R2 LOT STANDARDS				
Minimum lot width		60 feet	85 feet	60 feet
Minimum lot area		7,900 sq ft	3,000 sq ft for the first 3 units plus 1,000 sq ft per each additional unit	6,800 sq ft
Minimum front yard setback		<ul style="list-style-type: none">Private, Local, Collector Street – 25 feet;Primary, Secondary arterial – 30 feet; ORAverage block setback, but no less than 10 feet		
Minimum side yard setback	Primary structure	6 feet	10 feet	10 feet
	Accessory structure	5 feet	6 feet	6 feet
Minimum rear yard setback	Primary structure	20 feet	25 feet	25 feet
	Accessory structure	5 feet	20 feet	20 feet
Maximum impervious surface coverage		50%	50%	50%
R2 UTILITY STANDARDS				
Municipal water and sewer required		YES	YES	YES

RU STRUCTURE STANDARDS			
		Single-Family Residential	Non-Residential
Maximum structure height	Primary structure	26 feet, but no more than 2 stories	26 feet, but no more than 2 stories
	Accessory structure	20 feet ¹	20 feet ¹
Minimum living area		950 sq ft	N/A
RU LOT STANDARDS			
Minimum lot width		60 feet	60 feet
Minimum lot area		5,000 sq ft	5,000 sq ft
Minimum front yard setback		<ul style="list-style-type: none">Private, Local, Collector Street – 15 feet;Primary, Secondary arterial – 20 feet; ORAverage block setback, but no less than 10 feet	
Minimum side yard setback	Primary structure	6 feet	6 feet
	Accessory structure	6 feet	6 feet
Minimum rear yard setback	Primary structure	15 feet	15 feet
	Accessory structure	6 feet	6 feet
Maximum impervious surface coverage		60%	60%
RU UTILITY STANDARDS			
Municipal water and sewer required		YES	YES

CB-P STRUCTURE STANDARDS	
	All Uses
Maximum structure height	2 stories or 26 feet
Maximum structure height	45 feet
Minimum living area (per unit)	500 sq ft (upper floors only)
CB-P LOT STANDARDS	
Minimum lot width	16 feet
Minimum lot area	As platted in original town plat
Minimum front yard setback	All front facades shall be set to the prevailing street wall
Minimum side yard setback	0 feet
Minimum rear yard setback	0 feet minimum, 10 feet maximum
Maximum impervious surface coverage	100%
CB-P UTILITY STANDARDS	
Municipal water and sewer required	YES

LB STRUCTURE STANDARDS			
		Multi-Family Residential	Non-Residential
Maximum structure height	Primary structure	45 feet	35 feet
	Accessory structure	20 feet¹	20 feet¹
Minimum living area (per unit)		Single-story: 600 sq ft	N/A
		Multi-story: 550 sq ft	
Maximum ground floor area (per structure)		N/A	50,000 sq ft per building, with maximum of 10,000 sq ft for a single tenant
LB LOT STANDARDS			
Minimum lot width		85 feet	50 feet
Minimum lot area		15,000 sq ft	5,000 sq ft
Maximum lot area		3 acres	3 acres
Minimum front yard setback		<ul style="list-style-type: none">Private, Local, Collector Street – 25 feet;Primary, Secondary arterial – 30 feet; ORAverage block setback, but no less than 10 feet	
Minimum side yard setback	Primary structure	15 feet	15 feet or 20 feet if abutting a residential zoning district
	Accessory structure	15 feet	15 feet
Minimum rear yard setback	Primary structure	20 feet	15 feet
	Accessory structure	15 feet	15 feet
Maximum impervious surface coverage		50%	65%
LB UTILITY STANDARDS			
Municipal water and sewer required	YES	YES	

CB-S STRUCTURE STANDARDS	
	All Uses
Maximum structure height	2 stories or 26 feet
Maximum structure height	45 feet
Minimum living area (per unit)	500 sq ft
CB-S LOT STANDARDS	
Minimum lot width	25 feet
Minimum lot area	3,000 sq ft
Minimum front yard setback	Average block setback, but not to exceed 5 feet
Minimum side yard setback	0 feet or 6 feet if abutting a residential zoning district
Minimum rear yard setback	10 feet
Maximum impervious surface coverage	75%
CB-S UTILITY STANDARDS	
Municipal water and sewer required	YES

GB STRUCTURE STANDARDS		
		All Uses
Maximum structure height	Primary structure	35 feet
	Accessory structure	20 feet¹
Maximum ground floor area (per structure)		N/A
GB LOT STANDARDS		
Minimum lot width		50 feet
Minimum lot area		6,000 sq ft
Minimum front yard setback		<ul style="list-style-type: none">Private, Local, Collector Street – 25 feet;Primary, Secondary arterial – 30 feet; ORAverage block setback, but no less than 10 feet
Minimum side yard setback	Primary structure	15 feet or 25 feet if abutting a residential zoning district
	Accessory structure	15 feet
Minimum rear yard setback	Primary structure	15 feet or 25 feet if abutting a residential zoning district
	Accessory structure	15 feet
Maximum impervious surface coverage		70%
GB UTILITY STANDARDS		
Municipal water and sewer required		YES

INDUSTRIAL AND MISC. ZONING DISTRICTS

IL STRUCTURE STANDARDS		
		All Uses
Maximum structure height	Primary structure	80 feet
	Accessory structure	80 feet ¹
IL LOT STANDARDS		
Minimum lot width		100 feet
Minimum lot area		20,000 sq ft
Minimum front yard setback		<ul style="list-style-type: none">Private, Local, Collector Street – 40 feetPrimary, Secondary arterial – 50 feet
Minimum side yard setback		10 feet or 40 feet if abutting a residential zoning district
Minimum rear yard setback		10 feet or 40 feet if abutting a residential zoning district
Maximum impervious surface coverage		70%
IL UTILITY STANDARDS		
Municipal water and sewer required		YES

IG STRUCTURE STANDARDS		
		All Uses
Maximum structure height	Primary structure	80 feet
	Accessory structure	80 feet ¹
IG LOT STANDARDS		
Minimum lot width		150 feet
Minimum lot area		1 acre (43,560 sq ft)
Minimum front yard setback		<ul style="list-style-type: none">Private, Local, Collector Street – 40 feetPrimary, Secondary arterial – 50 feet
Minimum side yard setback		10 feet if abutting industrial district, otherwise 40 feet
Minimum rear yard setback		10 feet if abutting industrial district, otherwise 40 feet
Maximum impervious surface coverage		70%
IG UTILITY STANDARDS		
Municipal water and sewer required		YES

PR STRUCTURE STANDARDS		
		All Uses
Maximum structure height	Primary structure	35 feet
	Accessory structure	35 feet ¹
PR LOT STANDARDS		
Minimum lot width		50 feet
Minimum lot area		6,000 sq ft
Minimum front yard setback		<ul style="list-style-type: none">Private, Local, Collector Street – 25 feetPrimary, Secondary arterial – 30 feetOr average block setback, but no less than 10 feet
Minimum side yard setback		10 feet or 20 feet if abutting a residential zoning district
Minimum rear yard setback		15 feet or 30 feet if abutting a residential zoning district
Maximum impervious surface coverage		50%
PR UTILITY STANDARDS		
Municipal water and sewer required		YES

ADOD STRUCTURE STANDARDS		
		All Uses
Maximum structure height	Primary structure	60 feet
	Accessory structure	40 feet ¹
ADOD LOT STANDARDS		
Minimum lot width		100 feet
Minimum lot area		1 acre (43,560 sq ft)
Minimum front yard setback		<ul style="list-style-type: none">Private, Local, Collector Street – 25 feetPrimary, Secondary arterial – 30 feetOr average block setback, but no less than 10 feet
Minimum side yard setback	Primary structure	20 feet or 40 feet if abutting a residential zoning district
	Accessory structure	20 feet
Minimum rear yard setback	Primary structure	20 feet or 40 feet if abutting a residential zoning district
	Accessory structure	20 feet
Maximum impervious surface coverage		70%
ADOD UTILITY STANDARDS		
Municipal water and sewer required		YES

LAND USE TABLE

Use Type	Land Use	R1	R2	R3	RU	CB-P	CB-S	LB	GB	IL	IG	PR	ADOD	CPOD
accessory	clubhouse (residential/HOA)	P	P											X
accessory	dwelling, accessory unit (ADU)	S-S	S-S	S-S	S-S									
accessory	home occupation	P-S	P-S	P-S	P-S			P-S						
accessory	home-based business	S-S	S-S	S-S	S-S									
accessory	outdoor dining (restaurant)					P-S	P-S	P-S	P-S					
accessory	satellite recycling dropoff, public or private								S	S	P			X
accessory	roadside produce stand							S	P				P	
accessory	solar energy system, accessory	P-S	P-S	P-S	P-S	P-S	P-S	P-S	P-S	P-S	P-S	P-S		X
accessory	utility facility, public or private	P	P	P	P	P	P	P	P	P	P	P		
accessory	wind energy system, small and mini	S-S	S-S	S-S	S-S	P-S	P-S	P-S	P-S	P-S	P-S	P-S		X
agricultural	confined feeding operation (CFO) or concentrated animal feeding operation (CAFO)												S	X
agricultural	crop production (row, field, tree)												P	X
agricultural	greenhouse, commercial								P	P	P			X
agricultural	livestock or aquaculture												P	X
commercial	adult-oriented businesses										S-S			X
commercial	automobile, vehicle, and equipment sales, leasing, or service							S	P	P	P			X
commercial	bar, tavern, or club					P	P	S	P					
commercial	bed and breakfast		S-S	S-S	S-S	P-S	P-S	P-S	P-S					
commercial	boarding house (owner-occupied)		S	S	S	P	P							
commercial	campground or RV park								S-S			S-S		X
commercial	clinic or outpatient services, medical or dental					P	P	S	P					
commercial	convenience store (no fuel pumps)			S	S	P	P	P	P					
commercial	stadium, assembly hall, or race track (outdoor)								S	P	P	S		X
commercial	storage, self storage or mini storage									S	S			X
commercial	theater, outdoor (no adult entertainment)								S					
commercial	veterinary services (no kennels)							P	P					
commercial	water park, private							P	P	P		S		X
industrial	chemical processing or sales										P			X
industrial	general industrial, heavy										P			X
industrial	general industrial, light									P	P			X
industrial	junkyard or salvage										S			X
industrial	landfill or recycling facility, public or private										S			X
industrial	manufacturing, light									P	P			X
industrial	meat processing facility										S			X
industrial	mineral extraction or processing										S			X
industrial	trucking terminal										P			X
industrial	warehousing or distribution										P	P		X
industrial	warehousing or distribution, hazardous materials											S		X
industrial	waste transfer facility, landfill, recycling facility										S	S		X
institutional	airport or heliport											S		X
institutional	cemetery, columbaria, or mausoleum	S	S	S	S			S	S					X
institutional	emergency response facility	S	S	P	S	P	P	P	P	P	P	P		
institutional	governmental offices or facilities	S	S	S	S	P	P	P	P	P	P	P		
institutional	hospital													X
institutional	library or cultural facility	S	S	S	S	P	P	P	P			P		
institutional	park or nature preserve, public or private (excluding private water park)	P	P	P	P	S	P	P	P	S	S	P		

Use Type	Land Use	R1	R2	R3	RU	CB-P	CB-S	LB	GB	IL	IG	PR	ADOD	CPOD
commercial	convenience store or gas station (with fuel pumps)						P	S	P					
commercial	crematory						S		S					
commercial	day care facility			P	S	S	S	P	P					
commercial	funeral home or mortuary					S	P	P	P					
commercial	golf course or driving range	S	S	S					P			S		X
commercial	hotel or motel					S	S	P	P					
commercial	kennel, public or private								P	P				
commercial	laboratory, medical or dental								P	S	S			
commercial	liquor store					P	P	S	P					
commercial	lodge or private club					P	P	S	P					
commercial	movie theater or playhouse (no adult entertainment)					P	P	S	P					
commercial	nursing home or assisted living facility		S	S	S	S	S	P						
commercial	professional services or business offices					P	P	P	P	P	P			
commercial	research or development									P	P			
commercial	restaurant or dining (no drive thru)					P	P	P	P	S	S			
commercial	restaurant or dining (with drive thru)					S	S	P	P	S	S			
commercial	retail, general					P	P	P	P					
commercial	retail, service oriented (w/drive thru)					S	S	S	P	S	S			
commercial	retail, service oriented (w/o drive thru)			S		P	P	P	P	S	S			
commercial	shooting or gun range (indoor)							S	P	P	P			
commercial	shooting or gun range (outdoor)								S	S	S			X
commercial	stadium, assembly hall, or race track (indoor)					S	S	S	S	P	P			
institutional	penal or correctional facility								S	S	S			X
institutional	place of worship	S	S	P	S	S	S	P	P	S	S			
institutional	recreational facility, public or private					S	S	P	P	S	S	P		
institutional	school, college, or university									P				
institutional	school (preschool, elementary, secondary)	S	S	P	S	P	P	P	P	P				
institutional	school (trade or business)	S	S	S	S	S	S	P	P	P				
institutional	solar energy system, primary									S-S	S-S			X
institutional	utility facility, public or private	S	S	S		S	S	S	S	S	P	S		X
institutional	wind energy system									S-S	S-S			X
institutional	wireless communication facility			S-S		S-S	S-S	S-S	P-S	P-S	P-S	S-S		X
residential	dwelling, multi-family		P	P					P					
residential	dwelling, single-family attached		P	P	P									
residential	dwelling, single-family detached	P	P	P	P									
residential	dwelling, single-family temporary	S	S	S	S									
residential	dwelling, two-family		P	P	P									
residential	group home		S	S	S		S	P						
residential	manufactured home park			S-S										
residential	short term rental	S-S	S-S	S-S	S-S	S-S	S-S							

P = Permitted

P-S = Permitted, Additional Standards Apply (see Chapter ##: Use Standards)

S = Special Exception

S-S = Special Exception, Additional Stanards Apply (see Chapter ##: Use Standards)

X = Prohibited

SPECIFIC USES WITH ADDITIONAL STANDARDS

1. Accessory Dwelling Units (ADU)

2. Adult Oriented Businesses

3. Bed & Breakfast

4. Campground & RV Park

5. Home-Based Business

6. Home Occupation
7. Manufactured Home Park

8. Outdoor Dining

9. Solar Energy Systems (SES) - Accessory

10. Solar Energy Systems (SES) - Primary

11. Wind Energy Systems

12. Wireless Communications Facility

HOME BASED BUSINESSES

HOME OCCUPATION OPERATIONAL STANDARDS	
Employees, Clients & Customers	No employee, client, or business-related visitor is allowed on the site of the home occupation other than the resident(s) of the dwelling
HOME OCCUPATION SITE STANDARDS	
Location	All business activity must be conducted entirely within the primary dwelling unit or entirely within a permitted accessory structure if approved by the Administrator
Access & Traffic	<ul style="list-style-type: none">No additional access points and/or driveways shall be permittedNo additional traffic can be generated from the home-based business
Maximum Area	No more than 25% of the total floor area of the primary structure may be used for the business
Equipment	<ul style="list-style-type: none">Equipment used for business must be those normally used for a residential useEquipment cannot create electrical interference, odors, noise, vibration, light, smoke, fumes, or other nuisances
Outdoor Storage	No outdoor storage (including equipment parking) is prohibited Display of goods or products for sale is prohibited
Character	<ul style="list-style-type: none">There shall be no evidence on the exterior of the premises that the property is used in any way other than for a residential dwelling.No additional entrances to the structure are permitted for conducting the businessAll structures shall retain a residential character.No mechanical equipment shall be used that creates any electrical or other interference, noise, or impacts that are not normally associated with a residential use
Signs	Signs shall comply with sign standards for the subject zoning district (see Chapter ##: Sign Standards)
HOME OCCUPATION UTILITY STANDARDS	
Utility Demand	Cannot increase the demand or capacity of the utilities, such as water, gas, septic/sewer, or electrical beyond what is normally required for a residential use

HOME OCCUPATIONS

HOME-BASED BUSINESS OPERATIONAL STANDARDS	
Employees	Maximum of 2 employees allowed on the site per day with no more than 2 employees at one time in addition to the resident(s)
Clients/Customers	Maximum of 10 clients/ business-related visitors allowed on site per day with no more than 2 present on the site at one time
Hours of Operation	Business hours shall be limited to Monday through Friday from 7:00 am to 7:00 pm
HOME-BASED BUSINESS SITE STANDARDS	
Location	All business activity must be conducted entirely within the primary dwelling unit or entirely within a permitted accessory structure on the same parcel as the primary dwelling unit
Access	<ul style="list-style-type: none">No additional access points and/or driveways shall be permittedAdequate measures shall be taken to maintain safety for trucks entering the public roadway at slower speeds, including but not limited to deceleration/ acceleration lanes or passing blisters
Outdoor Storage	<ul style="list-style-type: none">Storage of products, goods, or other items necessary for the home-based business (including equipment or commercial vehicle parking) shall be located behind the rear elevation of the primary dwelling unitDisplay of goods or products for sale is prohibitedAll outdoor storage areas or areas used to park equipment shall be within a fully enclosed structure or have a solid fence, masonry wall, or continuous evergreen screen on all sides (excluding driveways) that is a minimum of 6 feet in height to provide screening from adjacent properties. Fences shall comply with all regulations of this UDO.
Character	<ul style="list-style-type: none">There shall be no evidence on the exterior of the premises that the property is used in any way other than for a residential dwelling. All structures shall retain a residential character.No mechanical equipment shall be used that creates any electrical or other interference, noise, or impacts that are not normally associated with a residential use
Signs	Signs shall comply with sign standards for the subject zoning district (see Chapter ##: Sign Standards)

ACCESSORY DWELLING UNITS (ADU)

ADU STRUCTURE STANDARDS	
Minimum Structure Area	400 sq ft, including all non-living areas such as a garage
Maximum Structure Area	Lesser of: <ul style="list-style-type: none">800 sq ft, including all non-living areas such as a garage50% of the primary dwelling unit living area ground floor/footprint (excluding non-living areas such as garage)
Maximum Height	As allowed by the zoning district but cannot exceed the height of the primary dwelling
Architecture and Building Materials	Architectural style, form, materials, and colors shall match or be compatible with the style and form of the primary dwelling
Quantity	Maximum of 1 accessory dwelling unit per parcel
Structure Requirements	<ul style="list-style-type: none">Detached or attached to the primary dwelling unitLawfully-built structure that meets all building code requirements, including all requirements for a single-family dwelling
Prohibited Structure Type	<ul style="list-style-type: none">A recreational vehicle, travel trailer, motor vehicle or similar structureAny structure not intended for permanent human occupancyAny structure that does not meet all building code requirements for a dwelling or does not meet the use standards for an accessory dwelling unit (including layout and components)
ADU SITE STANDARDS	
Address	Addresses for properties with an approved accessory dwelling unit shall be assigned and approved by the addressing entity
Access	<ul style="list-style-type: none">Accessory dwelling shall utilize the existing driveway that serves the primary residential dwellingA separate driveway from any public right-of-way shall not be permitted
Location	<ul style="list-style-type: none">Only allowed on lots where an existing, lawfully constructed, primary single-family dwelling existsPrimary dwelling must be owner-occupiedMust be located behind the front façade of the primary dwelling and comply with all site development standards (including setbacks) of the subject zone district
Layout & Components	<ul style="list-style-type: none">An independent and complete dwelling unit with all amenities needed for safe and habitable living, including permanent provisions for sleeping, eating, cooking, sanitation, and ingress/egress (self-sufficient)Shall not contain more than one bedroomShall not have accessory structures
Ownership	Accessory dwelling shall be under the same ownership as the primary dwelling
Parking	<ul style="list-style-type: none">Minimum number and design of parking spaces shall comply with Section ##: Parking StandardsParking may be shared with the primary dwelling as long as number of spaces complies with Section ##: Parking Standards
ADU UTILITY STANDARDS	
Water & Sewage Disposal	Shall comply with requirements of the zoning district
Electricity	Shall comply with all building code requirements

SITE DEVELOPMENT STANDARDS

1. Accessory Structure Standards

2. Architectural and Site Design Standards

3. Driveway and Access Management Standards

4. Landscaping and Buffer Standards

5. Lighting Standards
6. Parking and Loading Standards

7. Sign Standards

8. Storage Standards

9. Structure Standards

10. Trash Receptacle and Dumpster Standards

PARKING AND LOADING

TABLE ##: MINIMUM PARKING REQUIREMENTS		
Land Use Category	Permitted Location	Minimum Spaces Required
Residential Uses ²	On-site ¹	<ul style="list-style-type: none">Single-family and Two-family: 1 space per dwelling unitMulti-family: 1.5 spaces per dwelling unit
Commercial Uses ^{2, 3}	On-site ¹ or Shared Parking	<ul style="list-style-type: none">2.5 spaces per 1,000 sq ft of gross floor area, excluding storage areas;1 space per 4 people based on maximum building occupancy; or1.5 spaces per employee during largest shift
Industrial Uses ²	On-site ¹ or Shared Parking	<ul style="list-style-type: none">1 space per 1,000 sq ft of gross floor area; or1 space per 3 employees during the largest shift
Institutional Uses ²	On-site ¹ or Shared Parking	<ul style="list-style-type: none">2.5 spaces per 1,000 sq ft of gross floor area, excluding storage areas;1 space per 4 people based on maximum building occupancy;1 space per 4 beds / patient rooms; or1.5 spaces per employee during largest shift
Accessory Uses ²	On-site ¹	<ul style="list-style-type: none">As determined by the Administrator based on similar uses, similar number of employees, or similar number of guests
1-Within the CB-P and CB-S districts, no on-site parking is permitted within forty (40) feet of the corner		
2-Uses within the CB-P district are not required to provide a minimum number of parking spaces		
3-Non-residential uses may reduce required spaces by 1 parking space for every 25 feet of adjacent street frontage with on-street parking		

PARKING LOT ISLANDS AND LANDSCAPING REQUIRED	
Minimum Island Number and Locations	<ul style="list-style-type: none">End of every parking row; andAt least every 15 spaces (no more than 15 spaces in a row)
Minimum Island Dimensions ¹	<ul style="list-style-type: none">8 feet by 16 feet; andBordered by a concrete curb on at least 2 sides
Minimum Island Landscaping ²	<ul style="list-style-type: none">1 canopy tree and 3 shrubs per island; andGround cover, mulch, or stone
Minimum Perimeter Landscaping	<ul style="list-style-type: none">A 5-foot landscape area is required year-round that screens at least 75% of the perimeter of all parking areas (at 3 years after installation) through one of the following:<ul style="list-style-type: none">Evergreen Shrubs: At least 24 inches in height when installed with at least 4 feet height at maturity (clustering preferred)Combination of Mounding, Ground Cover, and Shrubs: Mounding shall undulate between 2 and 4 feet in height with shrubs that are at least 18 inches when planted and located on the mound at a ratio of 1 shrub per 5 feet linear feet (clustering preferred)Fences and Walls: Solid and opaque screen made of a permitted fence/wall material. Not permitted in CPOD.Berm: Maximum slope of 3:1 with ground cover or plantings.Screening must be at least 4 feet in heightLocated within 5 feet of the edge of the parking area
1-Landscape islands that are integrated into a perimeter area shall be considered a landscape island if bordered by parking on at least one side and a concrete curb on at least two sides	
2-Plantings located in islands shall not count towards required plantings in Chapter ##: Landscape Standards.	

LANDSCAPING AND BUFFER STANDARDS

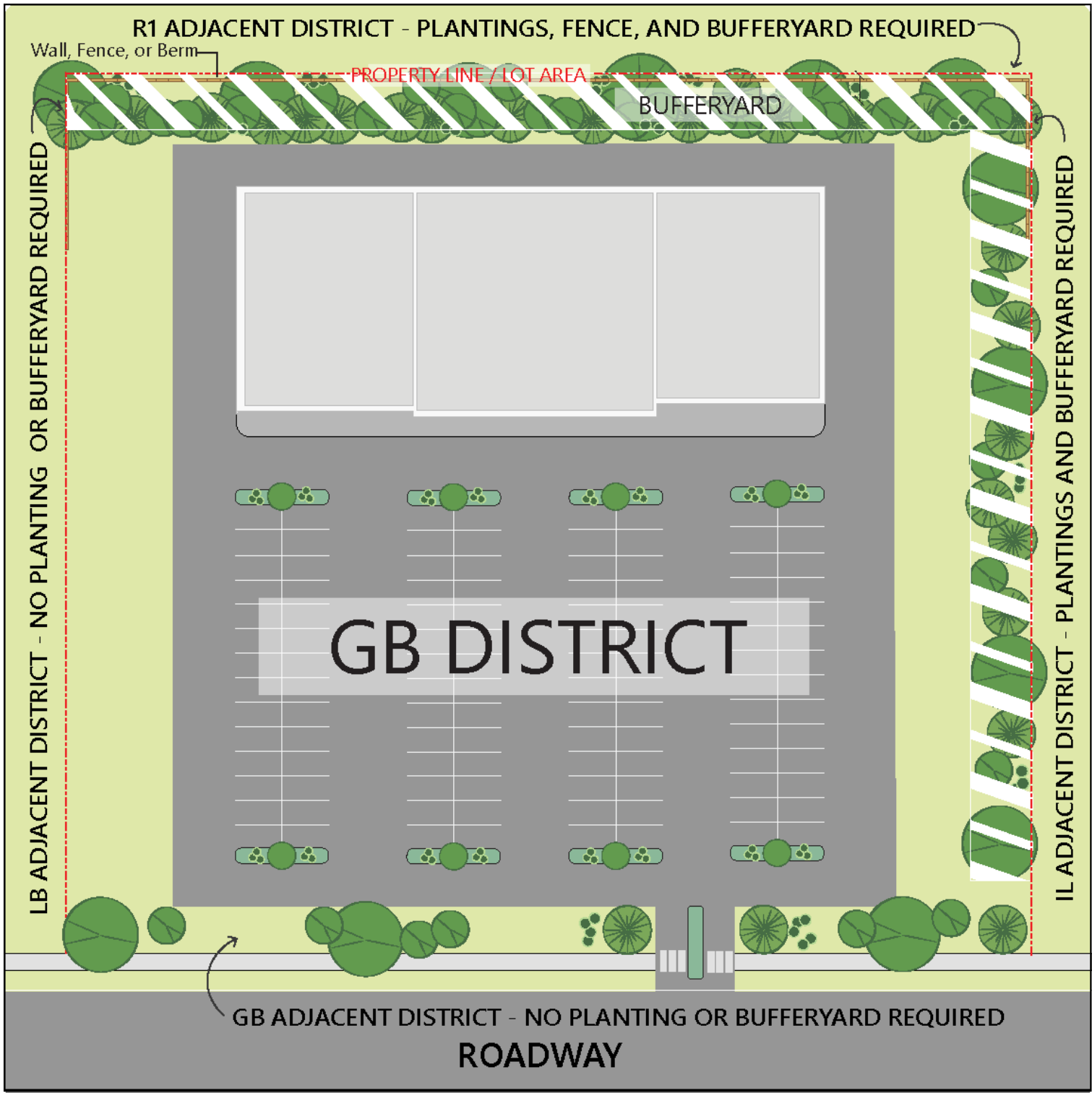
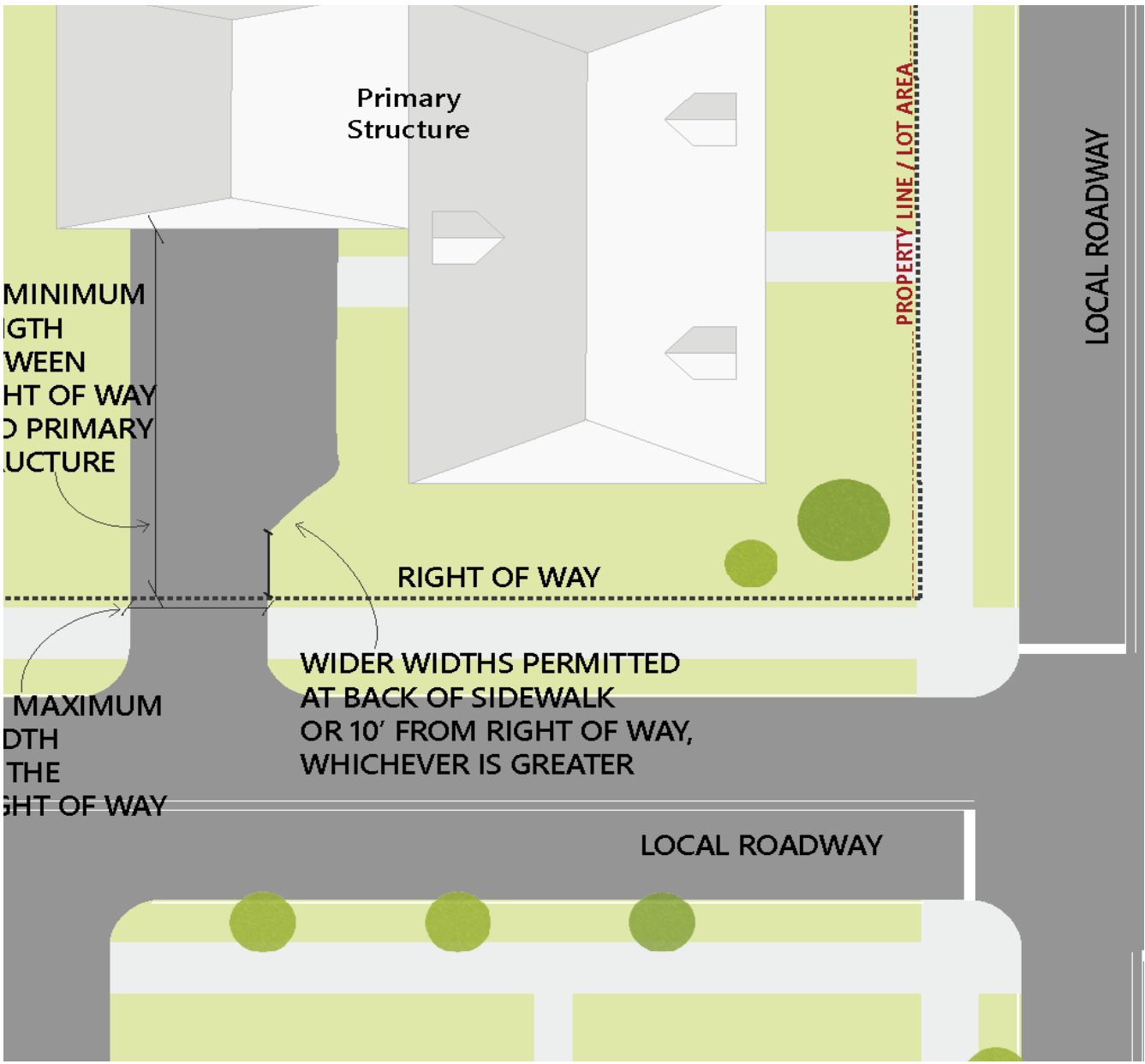


TABLE ##: REQUIRED BUFFERYARD AND BUFFERYARD PLANTINGS			
Subject Property Zoning District	Adjacent Zoning District	Minimum Plantings Required per 100 Linear Feet ¹	Minimum Bufferyard Width
R1, R2, R3, RU	IL, IG	<ul style="list-style-type: none">• 6 Shade Trees, 16 Evergreen Trees, and 18 Shrubs¹• Wall, Fence, or Berm²	20 feet
	LB, GB	<ul style="list-style-type: none">• 2 Shade Trees, 4 Evergreen Tree, and 6 Shrubs¹• Wall, Fence, or Berm²	
	CB-P, CB-S		
LB, GB CB-P, CB-S	R1, R2, R3, RU	<ul style="list-style-type: none">• 6 Shade Trees, 16 Evergreen Trees, and 18 Shrubs¹• Wall, Fence, or Berm²	30 feet
	IL, IG	<ul style="list-style-type: none">• 2 Shade Trees, 4 Evergreen Tree, and 6 Shrubs¹	
IL, IG	R1, R2, R3, RU	<ul style="list-style-type: none">• 8 Shade Trees, 20 Evergreen Trees, and 22 Shrubs¹• Wall, Fence, or Berm²	50 feet
	LB, GB	<ul style="list-style-type: none">• 6 Shade Trees, 16 Evergreen Trees, and 18 Shrubs¹• Wall, Fence, or Berm²	
	CB-P, CB-S		
1-Plantings required per 100 Linear Feet (including driveways)			
2-Fence or wall: Must be solid and at least 6 feet in height; Berm: Minimum 5 feet in height at peak and maximum 3:1 slope that is contained inside bufferyard.			

DRIVEWAY AND ACCESS
MANAGEMENT



D. Driveway Standards for Residential Uses.

1. Residential Driveways Serving One (1) to Three (3) Dwellings.

The following standards shall apply to all private driveways that serve one (1) to three (3) dwelling units.

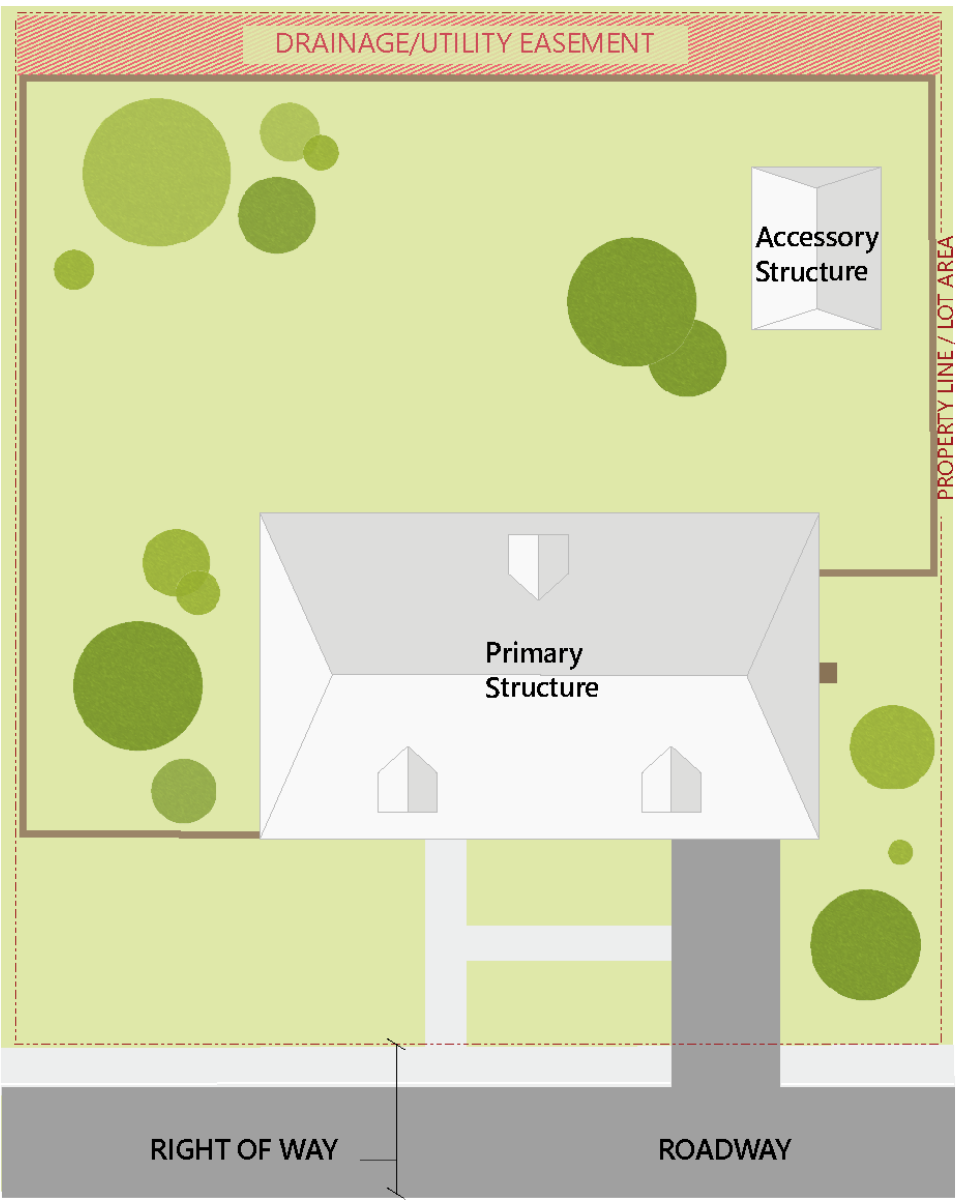
- a. Driveways shall be graded and surfaced with an all-weather paving material, such as asphalt, concrete, or other material that will provide equivalent protection against potholes, erosion, and dust.
- b. At least twenty feet (20) feet in length shall be provided between the primary structure and the nearest edge of sidewalk or edge of roadway if a sidewalk does not exist.
- c. The width of the driveway shall not exceed twenty (20) feet at the right-of-way. Driveways may widen after passing the back edge of the sidewalk or ten (10) feet from the right-of-way, whichever is greater.
- d. Shared residential driveways serving two (2) or three (3) dwelling units shall have minimum easement width of twenty (20) feet that is recorded and approved by the Administrator, and have a written and recorded road maintenance agreement with the parcels that access the private driveway and must be approved by the Administrator.

2. Residential Driveways Serving Four (4) or More Dwellings.

Driveways that serve four (4) or more dwelling units shall be considered public roads and must be constructed in accordance with the residential road standards as outlined in the Danville Street Standards.

ACCESSORY STRUCTURE STANDARDS

Fences and Walls



Fences and Walls -
Corner Lot

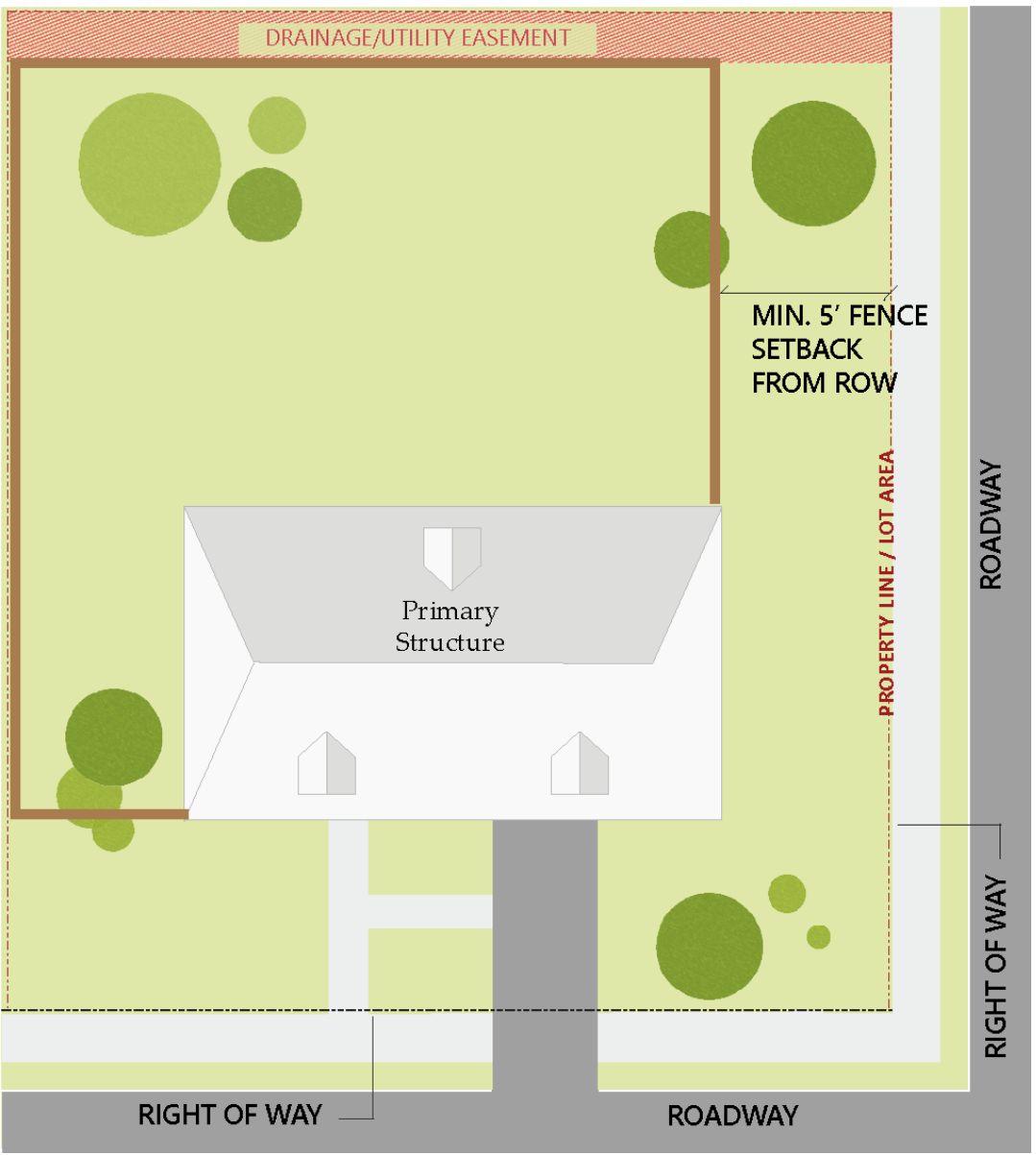
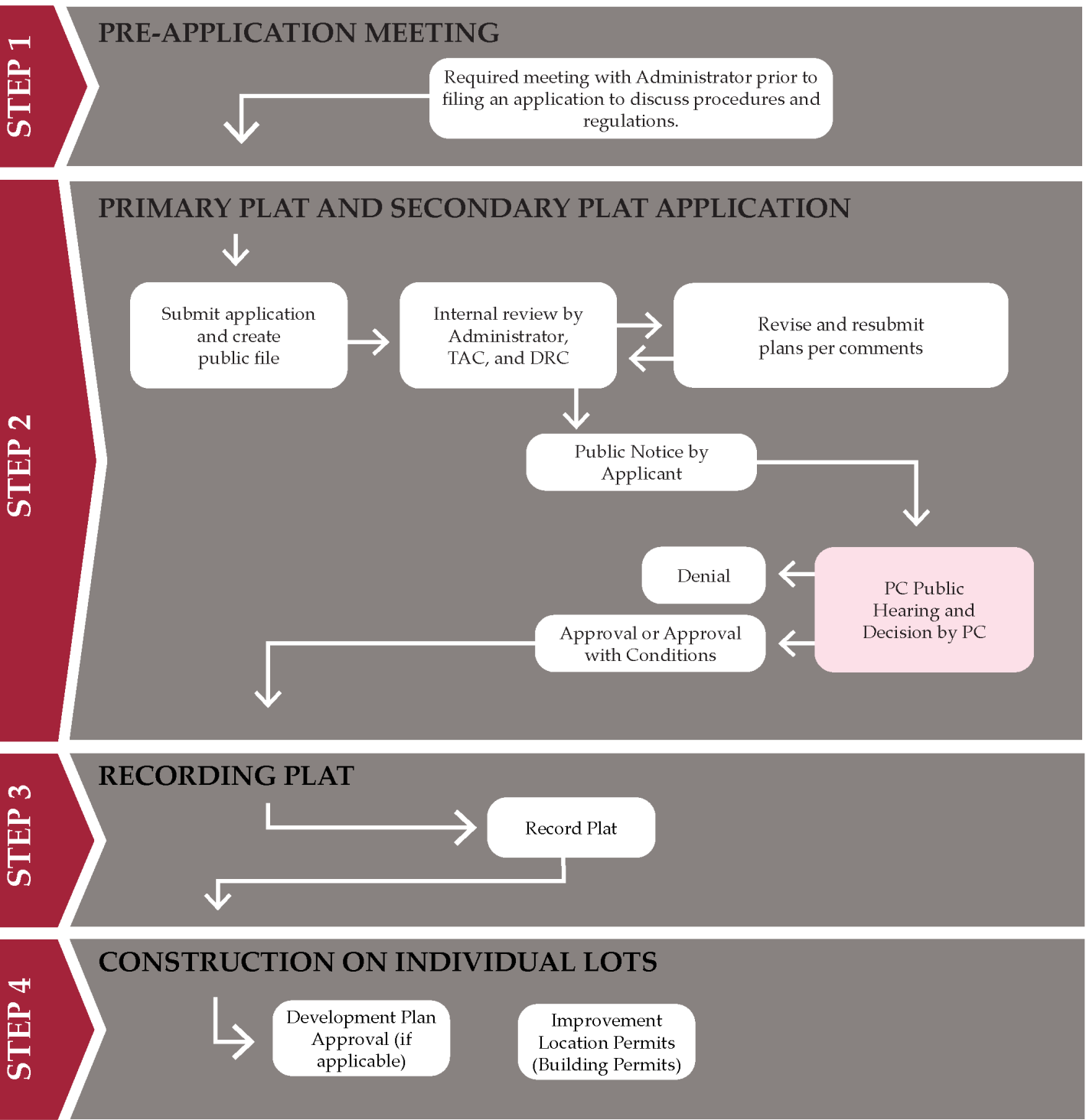


TABLE ##: PERMITTED FENCES AND WALLS		
Type	Districts Permitted	Maximum Height
Masonry or Stucco Wall	CPOD	Stucco not permitted in CPOD Masonry must comply with zoning district
	R1, R2, R3, RU	All: 4 feet
	LB, GB, CB-P, CB-S	Front: 4 feet Side, Rear: 6 feet
	IL, IG	Front: 4 feet Side, Rear: 6 feet
Ornamental Iron or Wrought Iron Fence (at least 80% open)	CPOD	Comply with zoning district
	R1, R2, R3, RU	Front: 4 feet Side, Rear: 6 feet
	LB, GB, CB-P, CB-S	Front: 4 feet Side, Rear: 6 feet
	IL, IG	Front: 6 feet Side, Rear: 7 feet
Woven Wire Fence (at least 80% open) or Chain Link Fence	R1, R2, R3, RU	Side and Rear
	LB, GB, CB-P, CB-S	Front: 4 feet Side, Rear: 6 feet
	IL, IG	Front: 6 feet Side, Rear: 7 feet
Non-Solid Fence (at least 50% open), Wood or Other Material (including split rail and picket) Solid Fence (less than 50% open), Wood or Other Material Live Continuous Hedge	CPOD	Comply with zoning district
	R1, R2, R3, RU	Front: 4 feet Side, Rear: 6 feet
	LB, GB, CB-P, CB-S	Front: 4 feet Side, Rear: 6 feet
	IL, IG	Front: 4 feet ⁴ Side, Rear: 7 feet
	CPOD	Comply with zoning district
	R1, R2, R3, RU	Front: 4 feet Side, Rear: 6 feet
	LB, GB, CB-P, CB-S	Front: 4 feet Side, Rear: 6 feet
	IL, IG	Front: 4 feet Side, Rear: 7 feet
	CPOD	Comply with zoning district
	R1, R2, R3, RU	Front: 3 feet Side and Rear: No max height
	1-Posts or support framework may exceed fence height by 3 inches	
	2-Fences in recreational areas located in residential districts may be up to 8 feet in height and fences used to enclose tennis courts, used as backstops for ball fields, or similar recreation facilities may be up to 12 feet in height.	
	3-Fences in residential zoning districts with an institutional use may be up to 6 feet in height in side and rear yards.	
	4-If fence is at least 80% open, fence may be up to 6 feet in height.	

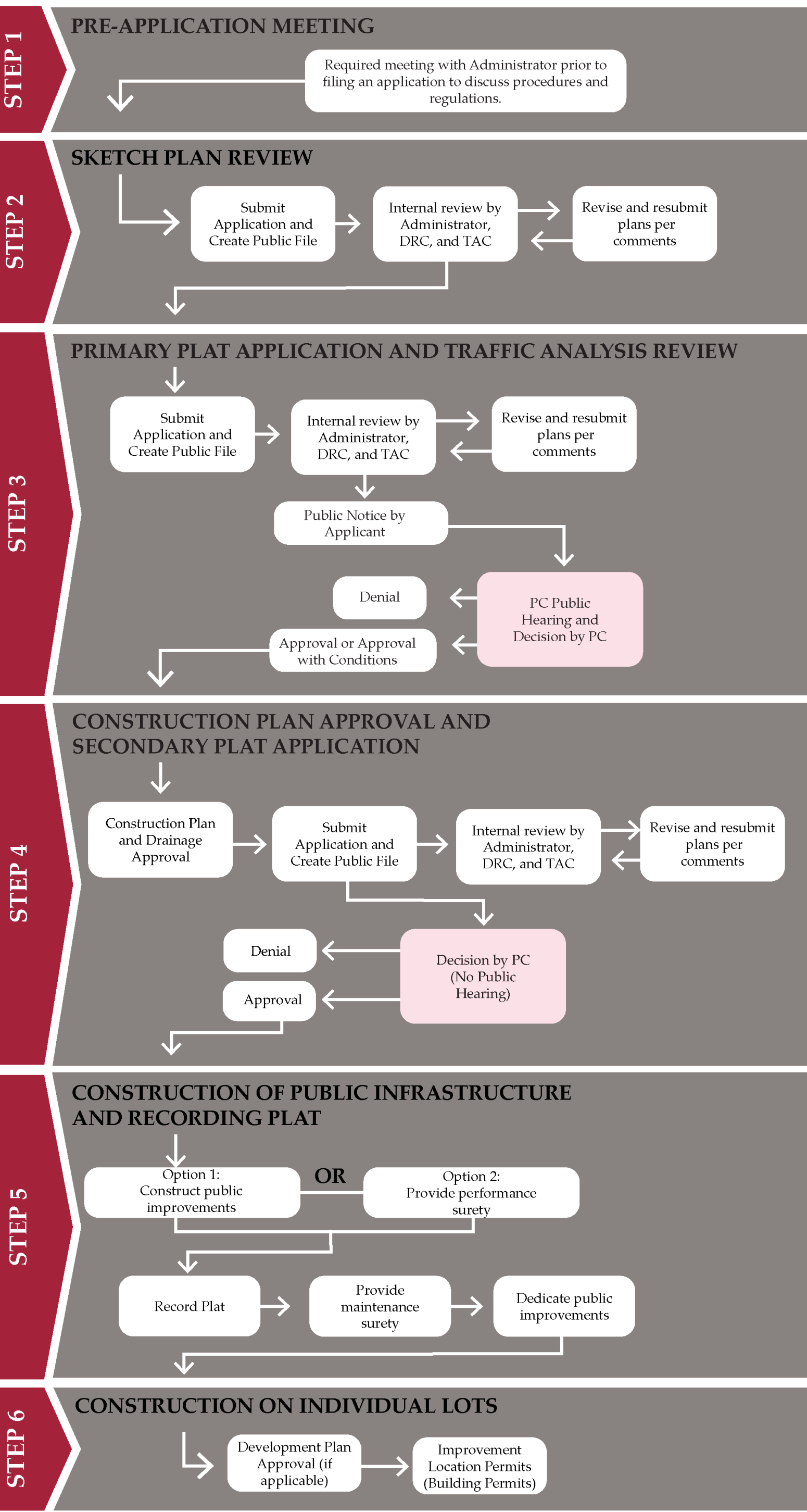
PROCEDURES

- 1. Major Residential Subdivisions/Commercial and Industrial Subdivisions
- 2. Minor Residential Subdivisions
- 3. Zone Map Change and PUD District Process
- 4. Special Exception, Variance, and Use Variance Process
- 5. Development Plan Process
- 6. Appeal Process
- 7. Waiver Process

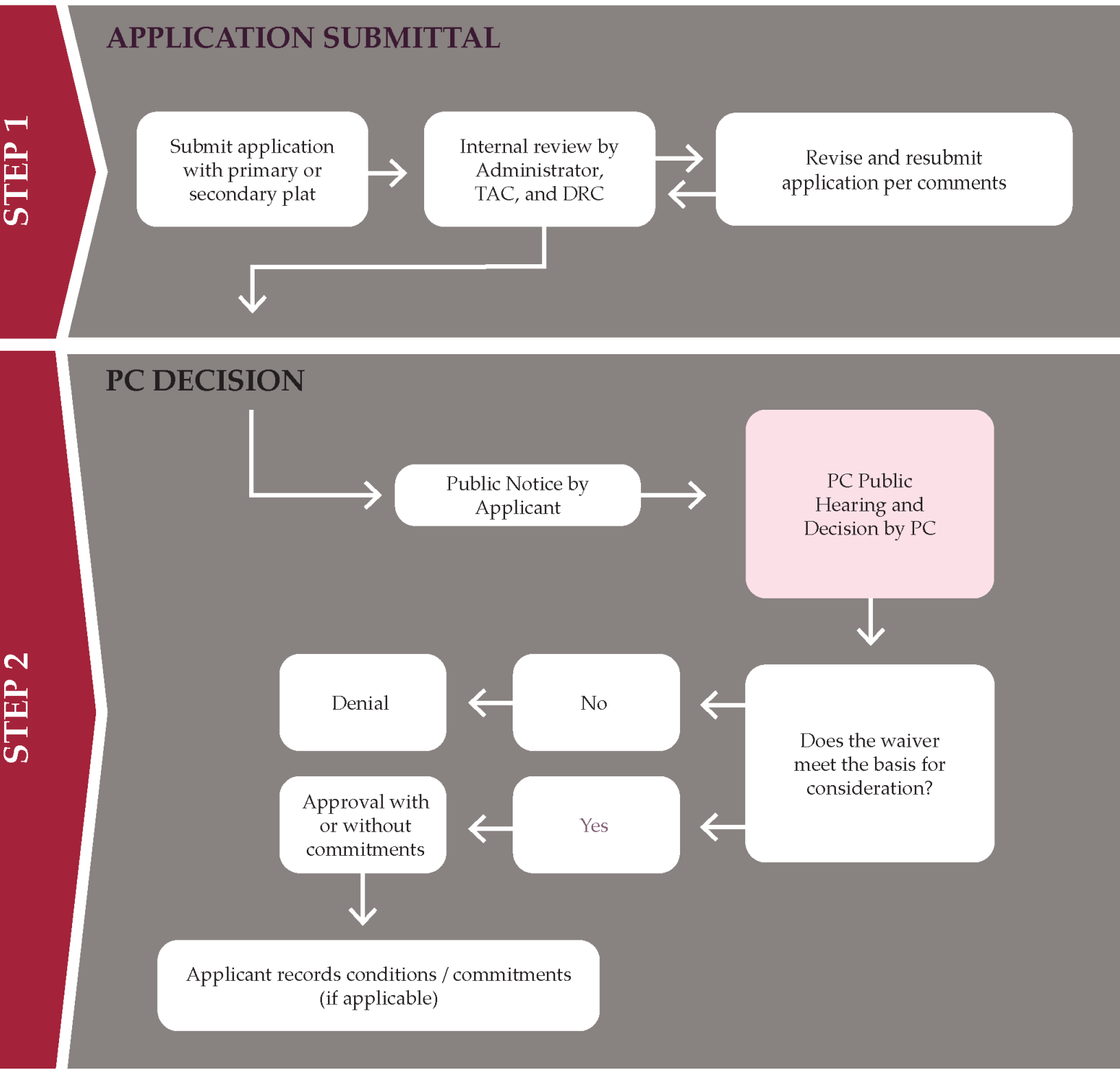
MINOR RESIDENTIAL SUBDIVISIONS



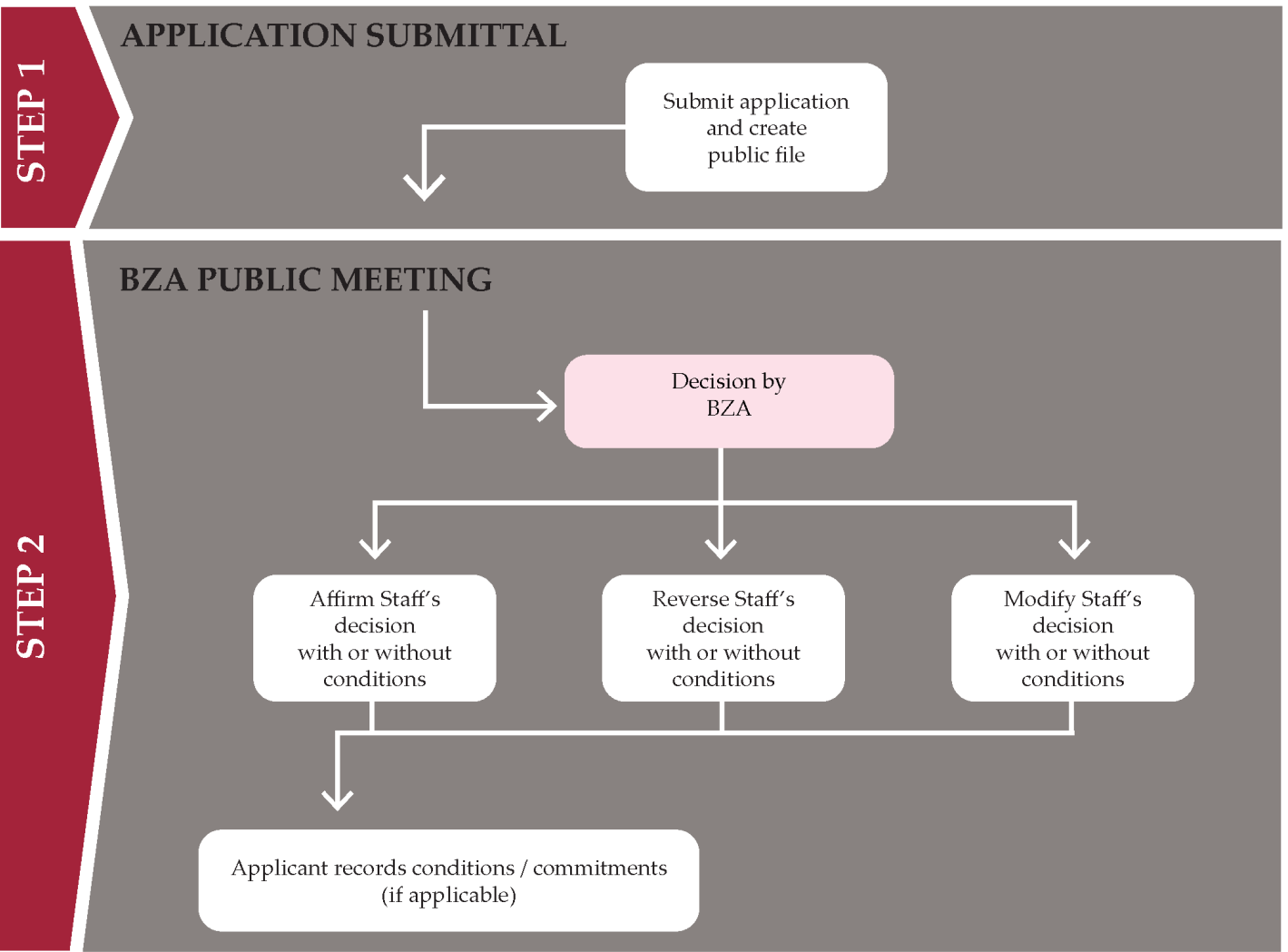
MAJOR SUBDIVISION/COMMERCIAL AND INDUSTRIAL SUBDIVISIONS



WAIVERS



APPEALS



DEVELOPMENT PLANS

REZONE/MAP AMENDMENT/PUD

DEVELOPMENT STANDARDS VARIANCES/
SPECIAL EXCEPTION/USE VARIANCES

