

TOWN OF DANVILLE

**Danville Plan Commission
October 10, 2024
7:00 PM**

AGENDA

- I. Call Meeting to Order**
 - Pledge of Allegiance
 - Establish Quorum
 - Approve Minutes
- II. Old Business:**
 - A. Public Hearing: Jeremiah Holdings, LLC (Hawkeye Storage) Minor Plat, located at 27 North County Road 300 East, 1.29 acres**
(Dale Kruse, Kruse Consulting, Inc.)
 - B. Public Hearing: Site Plan Review, Jeremiah Holdings, LLC (Hawkeye Storage) Site Plan Review, located at 27 North County Road 300 East, 1.29 acres**
(Dale Kruse, Kruse Consulting, Inc.)
- III. New Business:**
 - A. Public Hearing: Indianapolis Airport Authority (Lift Academy, Hendricks County Airport) Site Plan Review, located at 2749 Gordon Graham Boulevard, 1.0 acre**
(Brooks Benton, Luckett & Farley)
- IV. Other Business: None**
- V. Report of Officers, Committees and Staff**
- VI. Adjourn**

**Next Meeting:
November 8, 2024**

DANVILLE PLAN COMMISSION

MINUTES

September 11th, 2024

7:00 PM

Members Present: Loris Thompson, Barry Lofton, Jill Howard, David Potter, Adam Harvey, Michael Chatham
Members Absent: Sue Rempert
Staff Present: Lesa Ternet, Brittany Mays
Guests: Dale Kruse, Kruse Consulting, Inc.
Legal: Kayla Moody-Grant, Taft Law

A quorum was established, and the meeting was called to order by L. Thompson.

J. Howard made a motion to approve minutes from the June 12th, 2024, meeting. D. Potter seconded the motion. Motion passed 6-0.

Old Business: None

New Business:

- A. Public Hearing: Jeremiah Holdings, LLC (Hawkeye Storage) Minor Plat, located at 27 North County Road 300 East, 1.29 acres**
(Dale Kruse, Kruse Consulting, Inc.)

D. Kruse, the applicants engineer, requested to present his project. Staff recommended a continuance due to all required information not being submitted. There was a brief discussion regarding the project. The meeting was opened to the public. No public comment. A. Harvey made a motion to continue. M. Chatham seconded the motion. Motion carried 6-0.

Roll Call Vote:

D. Potter – Aye
A. Harvey - Aye
L. Thompson – Aye
J. Howard – Aye
M. Chatham - Aye
B. Lofton - Aye

- B. Public Hearing: Site Plan Review, Jeremiah Holdings, LLC (Hawkeye Storage) Minor Plat, located at 27 North County Road 300 East, 1.29 acres**
(Dale Kruse, Kruse Consulting, Inc.)

D. Kruse, the applicants engineer, requested to present. Staff recommended a continuance due to all required information not being submitted. There was a brief discussion regarding the project. The meeting was opened to the public. No public comment. A. Harvey made a motion to continue. J. Howard seconded the motion. Motion carried 6-0.

Roll Call Vote:

D. Potter – Aye
A. Harvey - Aye
L. Thompson – Aye
J. Howard – Aye
M. Chatham - Aye
B. Lofton – Aye

Other Business: None

Report of Officers, Committees and Staff:

L. Ternet stated she received an application for a public hearing next month. She stated it was a site plan review for the Lift Academy at the airport. L. Ternet also stated she received the plat for Penrose Section 5 and White Lick Commercial Park for signatures to get recorded.

With there being no further business, the meeting was adjourned at 7:21 p.m.

Loris L. Thompson, President

Barry Lofton, Secretary

Meeting Briefing

October 10, 2024

Jeremiah Holdings, LLC (Hawkey Storage) Minor Plat

This is a request for approval of a minor plat located at 27 North County Road 300 East. This will require a vote.

Jeremiah Holdings, LLC (Hawkey Storage) Site Plan Review, P & F

This is a request for approval of a site plan review to construct an additional self-storage building and expand the existing units 27 North County Road 300 East. This will require a vote.

Indianapolis Airport Authority (Lift Academy, Hendricks County Airport) Site Plan Review, P & F

This is a request for approval of a site plan review for a manufactured office building for flight training. This will require a vote.

CASE SUMMARY

Site Plan Review

Case: 2024-2198
Jeremiah Holdings, LLC, Petitioner, Hawkeye Storage – 27 North 300 East
Dale Kruse, Kruse Consulting, Inc.

Request: Site Plan Approval, Preliminary & Final

Location: 27 North County Road 300 East

Acreage: 1.29 acres

Zoning: IL, Industrial Light & LB, Local Business

Staff Summary:

Zoning:

- The petitioner is requesting one (1) additional self-storage building and expand three (3) existing self-storage buildings. This parcel has another existing structure that currently houses a hair salon that will be removed prior to the construction of the new self-storage building.

Utilities:

- This site can be served by the Town of Danville for water. Since this is a self-storage facility, water services are not being requested at this time. There is an existing well that will be abandoned per ISDH guidelines.
- There is no sanitary sewer proposed at this time for this project. The site has an existing sanitary grinder pump station that will be removed at the time the existing hair salon is demolished. The existing force main will be permanently capped and abandoned as well

Public Streets/Public ROW:

- No new public streets will be constructed as a result of this project. The petitioner has agreed to dedicate additional right of way across the frontage of this property (East Main and CR 300 East) to the town in order to improve the roadside ditch and provide an eight (8) foot path along East Main Street. Dedication of the right of way will be accomplished by creating a plat. In addition, there is an encroachment of an existing structure on the northern property line. This encroachment will be resolved by relocating that property boundary to the northern property owner as part of the plat.

Stormwater/Drainage:

- The Town's engineer has reviewed the drainage plans and had no comments as stated in the letter dated August 23, 2024. Joseph Miller's letter has been included in your packet.

Architectural Design Standards:

- It is unclear by looking at the architectural drawings if there is a break in color (variation) of the exterior building materials as noted in Section 4.03 D.2 of the UDO. The exterior building materials for all street facades must be approved by the Plan Commission.

Landscaping/Screening:

- The applicant is proposing a privacy fence along the north and east property boundary to buffer existing residential uses. The landscape proposal for the south and west property line, along the street frontage is to install shade (Red Maple) trees. The ordinance requires a mix of shade and evergreen trees as well as shrubs. The applicant must revise the landscape plan to include the required landscape buffer or petition the Board of Zoning Appeals for a variance.
- A dumpster is not proposed for this project.

Lighting:

- The petitioner has provided a lighting plan for this site that complies with the UDO.

Signage:

- There are two (2) existing signs located on the property. The plans indicate there will be one pole sign as part of this site plan review. A permit will be required prior to the placement of any signage on this site.

Additional Comments:

- A Knox Box must be provided at the gate in the event of an emergency.
- A fence for security of the site is being proposed. This property has two (2) front yards, and the height of fences shall not exceed 4 feet. A variance must be approved to exceed the height of 4 feet. A permit will be required prior to construction of the proposed fence.
- A pre-construction meeting will be required prior to the commencement of any site work. Inspection fees must be paid at the time of the pre-construction meeting.

Staff recommends approval of this site plan based on Joseph Miller's review letter dated August 23, 2024, and also subject to staff's comments.

Plan Commission Action on Site Plan:

Approve Site Plan
Deny Site Plan
Approve Site Plan with conditions



ADVISORY PLAN COMMISSION

49 North Wayne Street | Danville, IN 46122
317-745-4180 | www.danvilleindiana.org

Date of Hearing: 9-11-24
Plan Commission Action: _____

App. No.: 2024-2198
Fee: 1276.00
Received By: LT

PC fee \$ 1076.00
storm \$ 200.00

APPLICATION FOR APPROVAL (Check all that apply)

- ☒ Plat ☐ Replat ☐ Revision ☐ Amendment ☐ Minor Plat ☐ PUD
☒ SPR ☐ Rezone ☐ Exempt Subdivision

* Please fill out the form in its entirety

Name (s) of Owner (s) JEREMIAH HOLDINGS LLC

Address (s) 291 E MAIN STREET, DAVILLE IN 46122

Phone (s) 317-745-2700 Email (s) RENTALS.LPM@GMAIL.COM

Owners' Representative (Subdivider, if any) and /or Registered Engineer or Land Surveyor:

Address (s) 7384 BUSINESS CENTER DRIVE, AVON IN 46123

Phone (s) 317-272-5508 Email (s) DKRUSE@KRUSECONSULTING.COM

I (We) do hereby apply for approval of the following described plat of a subdivision in accordance with the Subdivision Control Ordinance. I (We) am (are) the owner (s) of the real estate included in said subdivision.

Name of Subdivision: _____

Address of Subject Property: 27 N COUNTY ROAD 300 EAST, DANVILLE, IN 46123

Generally described as follows:

Area (in acres): 1.285 AC PLATTED (Excludes additional R-DW) Number of Lots: 1

Existing Zoning District (if applicable to rezone): LB & IL

Proposed Zoning District (if applicable to rezone): LB & IL

Parcel ID#: 32-10-06-400-006.000-003 Current Zoning District: LB & IL

Feet of new streets to be dedicated to the public: -0-

Feet of sanitary sewers to be dedicated to the public: -0-

Feet of water main to be dedicated to the public: -0-

Feet of storm sewer to be dedicated to the public: -0-

STATE OF INDIANA)

) SS:

HENDRICKS COUNTY)

The undersigned certifies that the above information is true and correct to the best of his (her) knowledge.

Dale T. Kruse
Signature of Owner/Applicant (s)
DALE T. KRUSE/ AUTH. AGENT FOR OWNER
Title of Applicant



853 Columbia Road, Suite 101, Plainfield, IN 46168
Phone: (317) 707-3700 | Fax: (317) 707-3800

August 23, 2024

Lesa Ternet, Planner
Town of Danville
49 N. Wayne St.
Danville, IN 46122

RE: Town of Danville Submittal – Jeremiah Holdings, CR 300East

Dear Lesa:

Our office has completed a review of the construction plans, dated August, 2024. We have no comments. We recommend approval of the plans in regards to Strom water review.

If you have any questions or comments please contact me at 317-707-3736.

All the best,

A handwritten signature in blue ink, appearing to read "J. Miller", is written over a light blue circular stamp.

Joseph L. Miller, P.E.

Project No.	20204-02
Date	September 2024
Drawn by	S. Kowalski
Checked by	L.W. Donovan

PROVISIONS

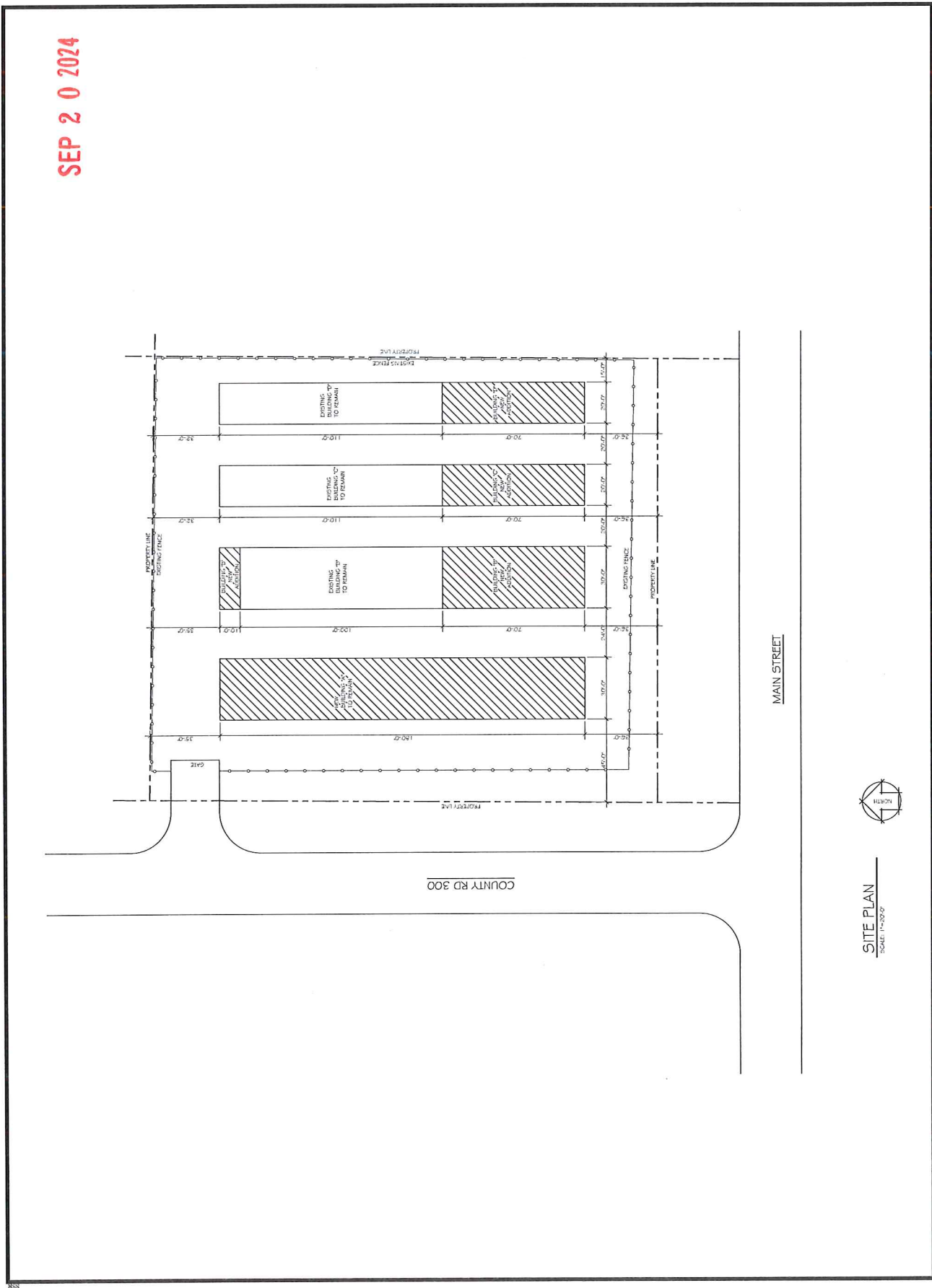
THESE PLANS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS. I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF INDIANA. MY LICENSE NO. IS 12345. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE USE OF THESE PLANS FOR ANY PURPOSE OTHER THAN THAT INTENDED BY THE ENGINEER.

A New Building Addition For
Hawkeye Storage
 Danville, Indiana

DONOVAN + DONOVAN
 architecture • engineering • interior design
 427 Main Street • Post Office Box 976 • Vincennes, Indiana 47591
 Tel: 812.232.4151 • Fax: 812.232.4100 • Email: donovan@donovanplusdovandesign.com

Sheet No.	SPI.1
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SEP 20 2024



SITE PLAN
 SCALE: 1"=20'-0"

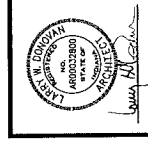
PROJECT NO.	D2024-02
DATE	September 2024
DESIGNED BY	S. Kishore
CHECKED BY	S. Kishore
APPROVED BY	S. Kishore

REVISION	
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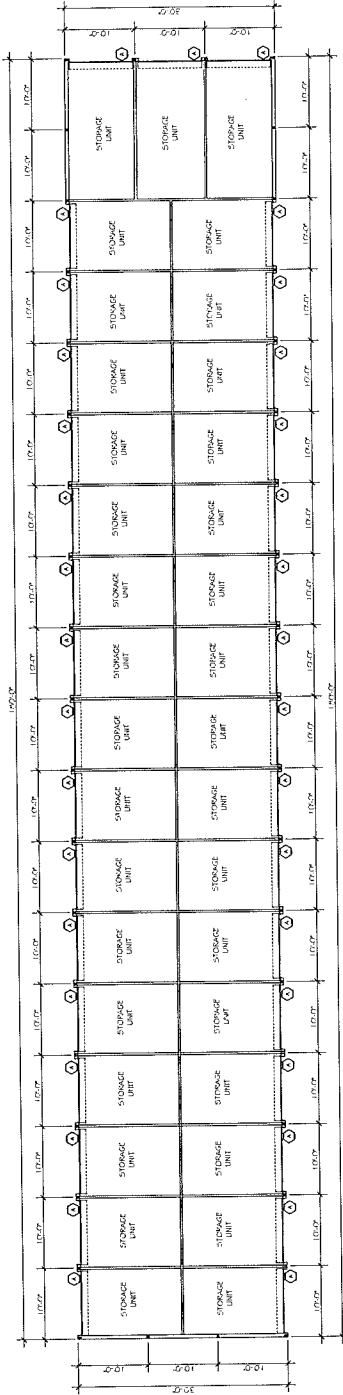
NOTES	
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A New Building Addition For
Hawkeye Storage
Donovan, Indiana

DONOVAN + DONOVAN
architecture • engineering • interior design
427 N. Main Street • P.O. Box 878 • Valparaiso, Indiana 47981
765.232.8115 • Fax: 765.232.8003 • Email: Admin@donovanarchitect.com



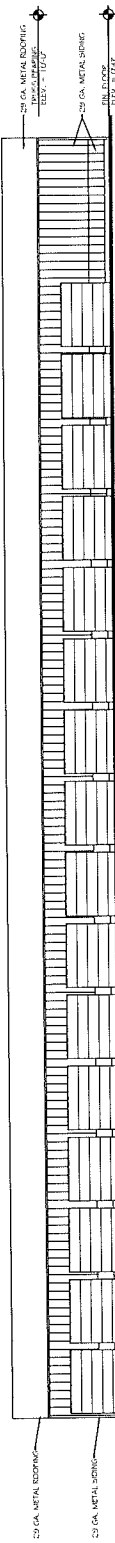
DATE: 09/11/24	AI.1
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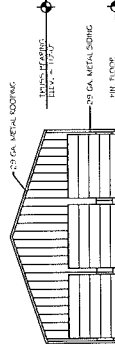
BUILDING "A" FLOOR PLAN
SCALE: 1/8" = 1'-0"

Total Building Square Footage = 5,400 Sq. Ft.
FOUNDATION NOTES:
1. FLOOR TYPING SHALL BE AS SHOWN ON PLAN.
2. ALL FOUNDATION WALLS SHALL BE 12" MIN. THICK PRECAST CONCRETE BLOCK.
3. ALL FOUNDATION WALLS SHALL BE 12" MIN. THICK PRECAST CONCRETE BLOCK.
4. ALL FOUNDATION WALLS SHALL BE 12" MIN. THICK PRECAST CONCRETE BLOCK.

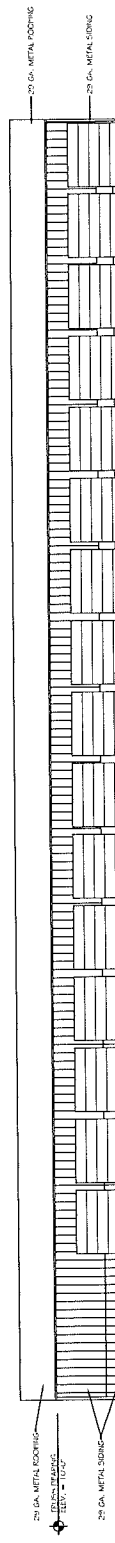
DOOR SCHEDULE:
① = 8'-0" x 7'-0" OVERHEAD DOOR



BUILDING "A" FRONT ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING "A" END ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING "A" REAR ELEVATION
SCALE: 1/8" = 1'-0"



Project No.	DCCH-459
Date	September 2024
Drawn by	S. Parnold
Checked by	J.W. Donovan



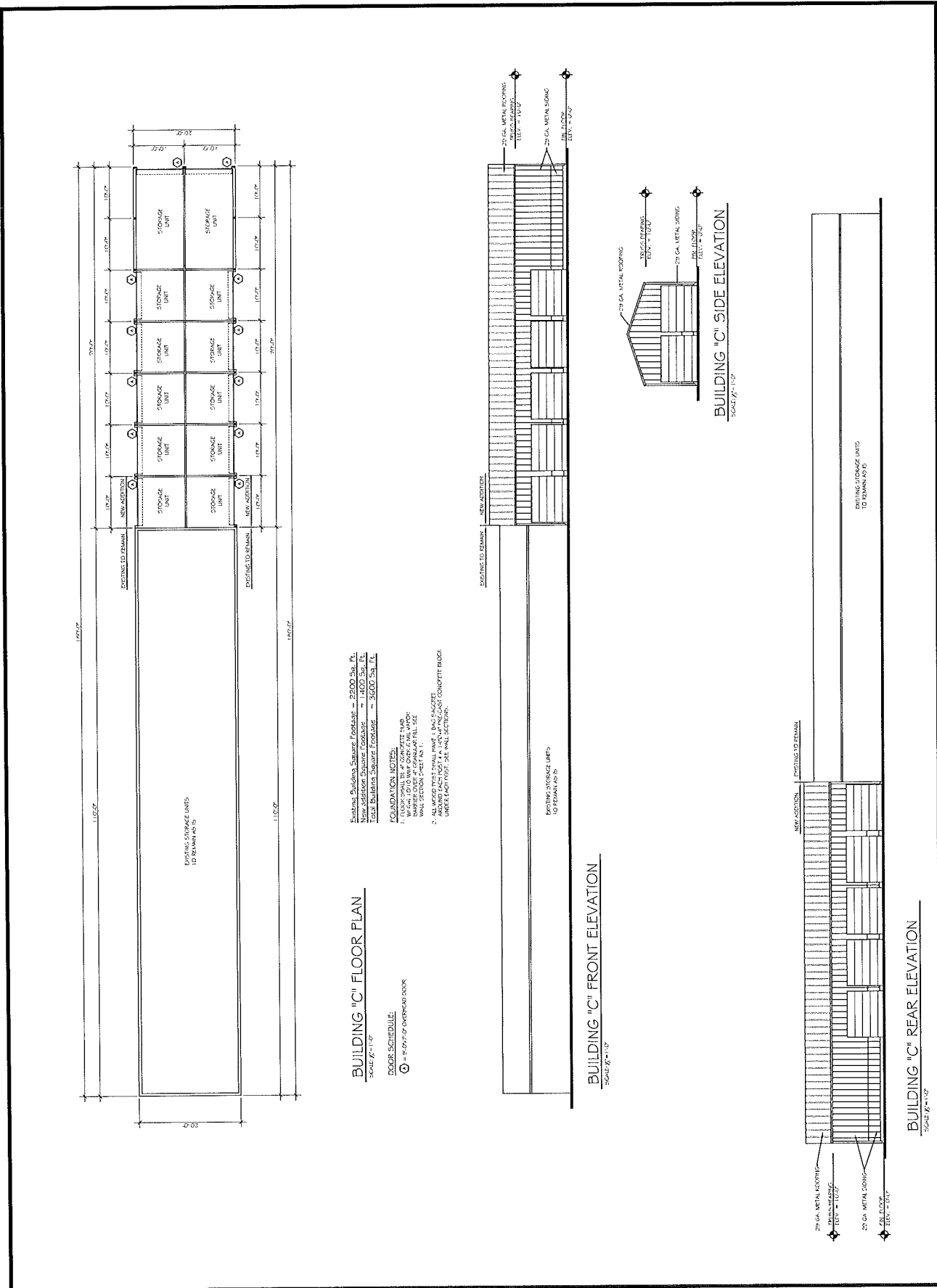
THESE PLANS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF INDIANA. I CERTIFY THAT I AM A MEMBER IN GOOD STANDING OF THE ARCHITECTS' BOARD OF INDIANA. I AM NOT PROVIDING ANY DESIGN OR CONSTRUCTION SERVICES TO ANY OTHER PARTY FOR THE SAME PROJECT AS SHOWN ON THESE PLANS.

A New Building Addition For
Hawkeye Storage
Donovan, Indiana

DONOVAN + DONOVAN
architecture • engineering • interior design
427 Main Street • Post Office Box 970 • Vincennes, Indiana 47591
Tel: 812.232.4115 • Fax: 812.232.4000 • Email: donovan@donovan-donovan.com



Sheet No.
A1.3



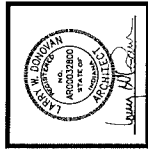
Project no.	12004-451
Date	September 2024
Drawn by	S. Peralta
Checked by	L.M. Donovan



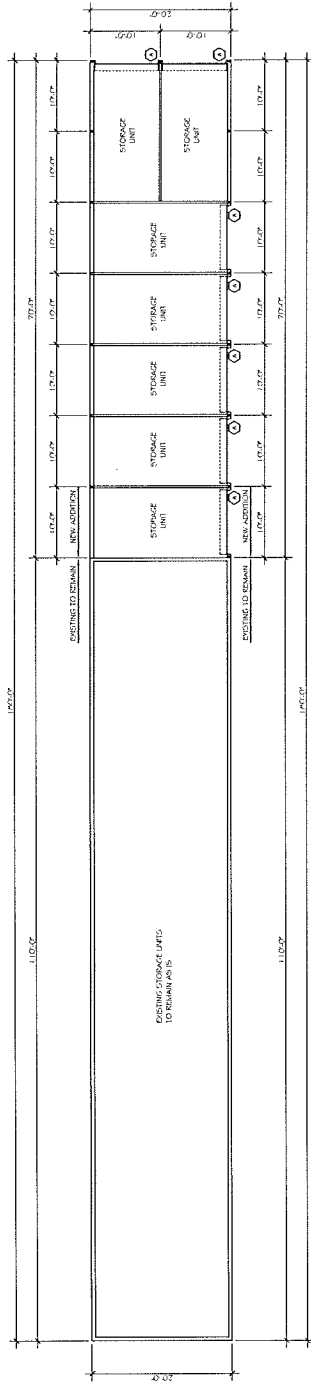
ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC). THE DESIGNER ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY, OR FOR ANY COSTS OF LITIGATION, ARISING FROM THE USE OF THESE DOCUMENTS, WHETHER OR NOT SUCH DAMAGE OR INJURY IS CAUSED IN WHOLE OR IN PART BY NEGLIGENCE OR OTHERWISE.

A New Building Addition For
Hawkeye Storage
Dyer, Indiana

DONOVAN + DONOVAN
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Sheet No.
A1.4



BUILDING "D" FLOOR PLAN

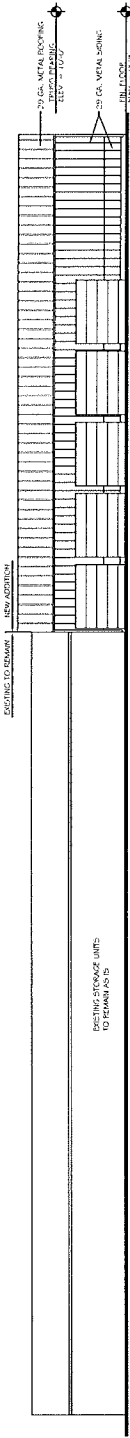
SCALE 1/8" = 1'-0"

DOOR SCHEDULE:
O = 8'-0" x 7'-0" OVERHEAD DOOR

Existing Building Square Footage = 2200 S.F.
New Addition Square Footage = 1200 S.F.
Total Existing Square Footage = 3400 S.F.

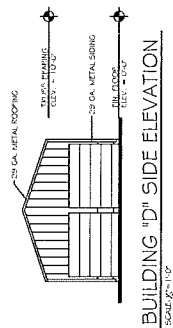
FOUNDATION NOTES:

1. FLOOR SHALL BE 4" CONCRETE SLAB ON 4" GRANULAR FILL, SEE WALL SECTION SHEET A1.1.
2. EXISTING FOUNDATION SHALL BE 12" x 12" CONCRETE. ASKING ABOUT FOOT A HATCH THE 12" x 12" CONCRETE BLOCK. UNDER EACH FEET, SEE WALL SECTION.



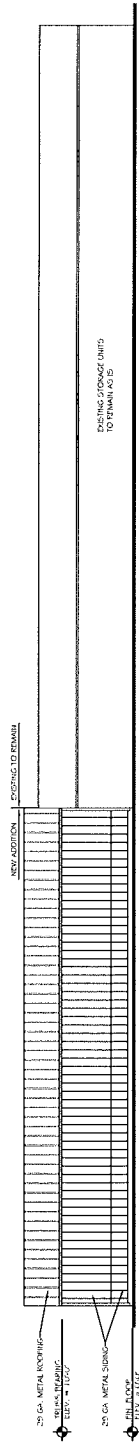
BUILDING "D" FRONT ELEVATION

SCALE 1/8" = 1'-0"



BUILDING "D" SIDE ELEVATION

SCALE 1/8" = 1'-0"



BUILDING "D" REAR ELEVATION

SCALE 1/8" = 1'-0"



WDGE2 LED

Architectural Wall Sconce

Precision Refractive Optic



Catalog
Number

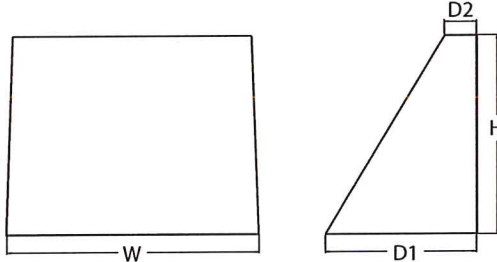
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1):	7"
Depth (D2):	1.5"
Height:	9"
Width:	11.5"
Weight: (without options)	13.5 lbs



Introduction

The WDGE2 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE2 family provides additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.
*See ordering tree for details

WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI T3M MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE2 LED	P0 ¹	27K 2700K	70CRI ⁴	T1S Type I Short	MVOLT	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁶ Shipped separately AWS 3/8inch Architectural wall spacer ⁷ PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available ⁷
	P1 ²	30K 3000K	80CRI	T2M Type II Medium	347 ⁵	
	P2 ²	40K 4000K	LW ³ Limited Wavelength	T3M Type III Medium	480 ⁵	
	P3 ²	50K 5000K		T4M Type IV Medium		
	P4 ²	AMB ³ Amber		TFTM Forward Throw Medium		

Options

E10WH	Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min)
E20WC	Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min)
PE	Photocell, Button Type ⁸
DMG	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ⁹
BCE	Bottom conduit entry for back box (PBBW). Total of 4 entry points.
CCE	Coastal Construction ⁷

Standalone Sensors/Controls

PIR	Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.
PIRH	Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching
PIR1FC3V	Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation.
PIRH1FC3V	Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation.
Networked Sensors/Controls	
NLTAIR2 PIR	Embedded wireless controls by nLight with Passive Infrared Occ sensor and on/off photocell for 8-15' mounting heights.
NLTAIR2 PIRH	Embedded wireless controls by nLight with Passive Infrared Occ sensor and on/off photocell for 15-30' mounting heights.
NLTAIREM2 PIR	Embedded wireless controls by nLight with UL924 listed emergency operation, Passive Infrared Occ sensor and on/off photocell for 8-15' mounting heights
NLTAIREM2 PIRH	Embedded wireless controls by nLight with UL924 listed emergency operation, Passive Infrared Occ sensor and on/off photocell for 15-30' mounting heights.

See page 4 for out of box functionality

Finish

DDBXD	Dark bronze
DBLXD	Black
DNAXD	Natural aluminum
DWHXD	White
DSSXD	Sandstone
DBTDXD	Textured dark bronze
DBLBXD	Textured black
DNATXD	Textured natural aluminum
DWHGXD	Textured white
DSSTXD	Textured sandstone



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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WDGE2 LED
Rev. 07/08/24



D-Series Size 1 LED Area Luminaire



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED								
Series	LEDs	Color temperature ²		Color Rendering Index ²	Distribution		Voltage	Mounting
DSX1 LED	Forward optics	(this section 70CRI only)			AFR Automotive front row	T5M Type V medium	MVOLT (120V-277V) ⁴	Shipped included
	P1 P6	30K 3000K	70CRI	T1S Type I short	T5LG Type V low glare	HVOLT (347V-480V) ^{5,6}	SPA Square pole mounting (#8 drilling)	
	P2 P7	40K 4000K	70CRI	T2M Type II medium	T5W Type V wide	XVOLT (277V - 480V) ^{7,8}	RPA Round pole mounting (#8 drilling)	
	P3 P8	50K 5000K	70CRI	T3M Type III medium	BLC3 Type III backlight control ³	120 ^{16, 26}		
	P4 P9	(this section 80CRI only, extended lead times apply)		T3LG Type III low glare ³	BLC4 Type IV backlight control ³	208 ^{16, 26}	SPAS Square pole mounting #5 drilling ⁹	
	P5			T4M Type IV medium		240 ^{16, 26}		
	Rotated optics	27K 2700K	80CRI	T4LG Type IV low glare ³	LCCO Left corner cutoff ³	277 ^{16, 26}	RPAS Round pole mounting #5 drilling ⁹	
	P10 ¹ P12 ¹	30K 3000K	80CRI	TFTM Forward throw medium	RCCO Right corner cutoff ³	347 ^{16, 26}		
	P11 ¹ P13 ¹	35K 3500K	80CRI			480 ^{16, 26}	SPA8N Square narrow pole mounting #8 drilling	
		40K 4000K	80CRI				WBA Wall bracket ¹⁰	
		50K 5000K	80CRI				MA Mast arm adapter (mounts on 2 3/8" OD horizontal tenon)	

Control options		Other options		Finish (required)	
Shipped installed		PER7	Seven-pin receptacle only (controls ordered separate) ^{14, 21}	Shipped installed	DDBXD Dark Bronze
NLTAIR2 PIRHN	nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{11, 12, 20, 21}	FAO	Field adjustable output ^{15, 21}	SPD20KV	DBLXD Black
PIR	High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{13, 20, 21}	BL30	Bi-level switched dimming, 30% ^{16, 21}	HS	DNAXD Natural Aluminum
PER	NEMA twist-lock receptacle only (controls ordered separate) ¹⁴	BL50	Bi-level switched dimming, 50% ^{16, 21}	L90	DWHXD White
PER5	Five-pin receptacle only (controls ordered separate) ^{14, 21}	DMG	0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁷	R90	DDBTXD Textured dark bronze
		DS	Dual switching ^{18, 19, 21}	CCE	DBLBXD Textured black
				HA	DNATXD Textured natural aluminum
				BAA	DWHGXD Textured white
				SF	
				DF	
				Shipped separately	
				EGSR	External Glare Shield (reversible, field install required, matches housing finish)
				BSDB	Bird Spikes (field install required)

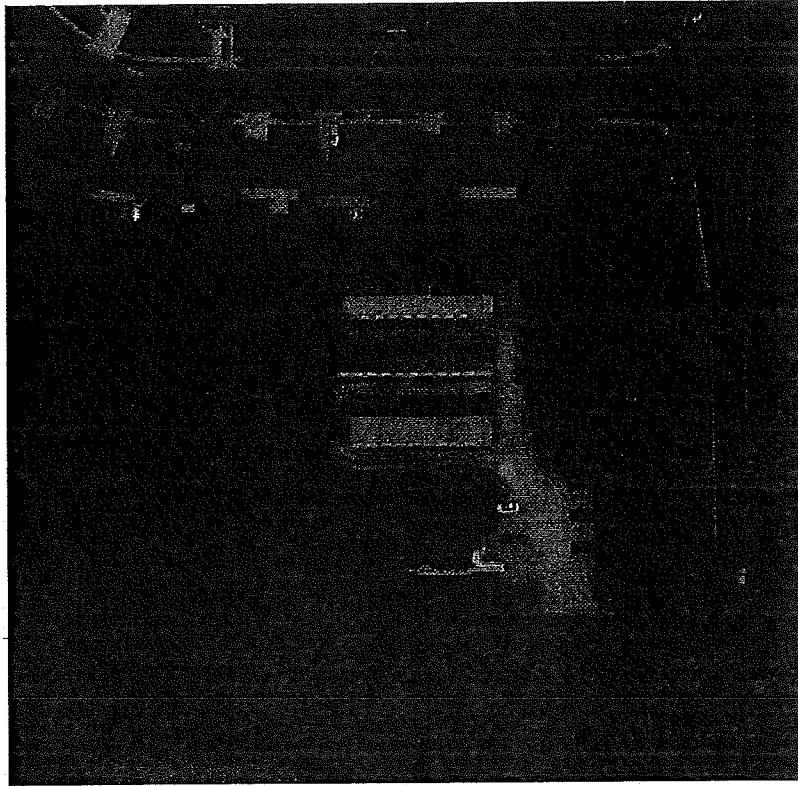


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DSX1-LED
Rev. 09/05/23
Page 1 of 10

SEP 27 2004



...now what's below.
Call before you dig.

[illegible]

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300 E. & MAIN STREET
DANVILLE, Indiana

1010

100

JEREMIAH HOLDINGS, LLC

NO
SHEETDEED DESCRIPTION
INSTRUMENT #202400223

A PART OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 12 NORTH, RANGE 1 EAST, SEVENTH COMMERCE, INDIANA, DESCRIBED AS FOLLOWS, TO-WIT:

[illegible]

PROJECT NAME	ADDRESS	PROJECT TYPE	STATUS	DATE
1. NEW HIGHWAY	1234 MAIN ST, NEW YORK, NY 10001	NEW CONSTRUCTION	COMPLETED	2023-01-15
2. RENOVATION PROJECT	5678 MARKET ST, NEW YORK, NY 10002	RENOVATION	IN PROGRESS	2023-02-01
3. INFRASTRUCTURE IMPROVEMENT	9012 PARKWAY, NEW YORK, NY 10003	INFRASTRUCTURE	PLANNING	2023-03-10
4. COMMUNITY CENTER	3456 CENTER ST, NEW YORK, NY 10004	COMMUNITY	COMPLETED	2023-04-20
5. INDUSTRIAL DEVELOPMENT	7890 INDUSTRIAL BLVD, NEW YORK, NY 10005	INDUSTRIAL	IN PROGRESS	2023-05-05
6. RESIDENTIAL DEVELOPMENT	2345 RESIDENTIAL DR, NEW YORK, NY 10006	RESIDENTIAL	PLANNING	2023-06-15
7. COMMERCIAL DEVELOPMENT	6789 COMMERCIAL ST, NEW YORK, NY 10007	COMMERCIAL	COMPLETED	2023-07-25
8. EDUCATIONAL FACILITY	1011 EDUCATIONAL AVE, NEW YORK, NY 10008	EDUCATIONAL	IN PROGRESS	2023-08-10
9. HEALTHCARE FACILITY	4567 HEALTHCARE DR, NEW YORK, NY 10009	HEALTHCARE	PLANNING	2023-09-20
10. RECREATION FACILITY	8901 RECREATION BLVD, NEW YORK, NY 10010	RECREATION	COMPLETED	2023-10-05
11. TRANSPORTATION PROJECT	2345 TRANSPORTATION ST, NEW YORK, NY 10011	TRANSPORTATION	IN PROGRESS	2023-11-15
12. ENVIRONMENTAL IMPROVEMENT	6789 ENVIRONMENTAL DR, NEW YORK, NY 10012	ENVIRONMENTAL	PLANNING	2023-12-01
13. CULTURAL CENTER	1011 CULTURAL AVE, NEW YORK, NY 10013	CULTURAL	COMPLETED	2024-01-10
14. TECHNOLOGY HUB	4567 TECHNOLOGY BLVD, NEW YORK, NY 10014	TECHNOLOGY	IN PROGRESS	2024-02-20
15. ARTS DISTRICT	8901 ARTS DISTRICT ST, NEW YORK, NY 10015	ARTS DISTRICT	PLANNING	2024-03-05
16. BUSINESS DISTRICT	2345 BUSINESS DISTRICT DR, NEW YORK, NY 10016	BUSINESS DISTRICT	COMPLETED	2024-04-15
17. PARK DEVELOPMENT	6789 PARK DEVELOPMENT ST, NEW YORK, NY 10017	PARK DEVELOPMENT	IN PROGRESS	2024-05-25
18. WATER TREATMENT PLANT	1011 WATER TREATMENT BLVD, NEW YORK, NY 10018	WATER TREATMENT	PLANNING	2024-06-10
19. WASTE MANAGEMENT FACILITY	4567 WASTE MANAGEMENT DR, NEW YORK, NY 10019	WASTE MANAGEMENT	COMPLETED	2024-07-20
20. POWER PLANT	8901 POWER PLANT ST, NEW YORK, NY 10020	POWER PLANT	IN PROGRESS	2024-08-05
21. TELECOMMUNICATIONS CENTER	2345 TELECOMMUNICATIONS BLVD, NEW YORK, NY 10021	TELECOMMUNICATIONS	PLANNING	2024-09-15
22. DATA CENTER	6789 DATA CENTER DR, NEW YORK, NY 10022	DATA CENTER	COMPLETED	2024-10-25
23. RESEARCH AND DEVELOPMENT CENTER	1011 RESEARCH AND DEVELOPMENT ST, NEW YORK, NY 10023	RESEARCH AND DEVELOPMENT	IN PROGRESS	2024-11-10
24. INNOVATION HUB	4567 INNOVATION HUB BLVD, NEW YORK, NY 10024	INNOVATION HUB	PLANNING	2024-12-20
25. STARTUP INCUBATOR	8901 STARTUP INCUBATOR ST, NEW YORK, NY 10025	STARTUP INCUBATOR	COMPLETED	2025-01-05
26. CO-WORKING SPACE	2345 CO-WORKING SPACE DR, NEW YORK, NY 10026	CO-WORKING SPACE	IN PROGRESS	2025-02-15
27. FLEXIBLE OFFICE SPACE	6789 FLEXIBLE OFFICE SPACE BLVD, NEW YORK, NY 10027	FLEXIBLE OFFICE SPACE	PLANNING	2025-03-25
28. REMOTE WORK CENTER	1011 REMOTE WORK CENTER ST, NEW YORK, NY 10028	REMOTE WORK CENTER	COMPLETED	2025-04-10
29. DIGITAL MARKETING CENTER	4567 DIGITAL MARKETING BLVD, NEW YORK, NY 10029	DIGITAL MARKETING CENTER	IN PROGRESS	2025-05-20
30. E-COMMERCE HUB	8901 E-COMMERCE HUB ST, NEW YORK, NY 10030	E-COMMERCE HUB	PLANNING	2025-06-05
31. ONLINE RETAIL CENTER	2345 ONLINE RETAIL CENTER DR, NEW YORK, NY 10031	ONLINE RETAIL CENTER	COMPLETED	2025-07-15
32. DIGITAL CONTENT CREATION CENTER	6789 DIGITAL CONTENT CREATION BLVD, NEW YORK, NY 10032	DIGITAL CONTENT CREATION CENTER	IN PROGRESS	2025-08-25
33. VIRTUAL REALITY EXPERIENCE CENTER	1011 VIRTUAL REALITY EXPERIENCE ST, NEW YORK, NY 10033	VIRTUAL REALITY EXPERIENCE CENTER	PLANNING	2025-09-10
34. AUGMENTED REALITY EXPERIENCE CENTER	4567 AUGMENTED REALITY EXPERIENCE BLVD, NEW YORK, NY 10034	AUGMENTED REALITY EXPERIENCE CENTER	COMPLETED	2025-10-20
35. IMMERSIVE EXPERIENCE CENTER	8901 IMMERSIVE EXPERIENCE ST, NEW YORK, NY 10035	IMMERSIVE EXPERIENCE CENTER	IN PROGRESS	2025-11-05
36. DIGITAL ART GALLERY	2345 DIGITAL ART GALLERY DR, NEW YORK, NY 10036	DIGITAL ART GALLERY	PLANNING	2025-12-15
37. DIGITAL MUSEUM	6789 DIGITAL MUSEUM BLVD, NEW YORK, NY 10037	DIGITAL MUSEUM	COMPLETED	2026-01-25
38. DIGITAL LIBRARY	1011 DIGITAL LIBRARY ST, NEW YORK, NY 10038	DIGITAL LIBRARY	IN PROGRESS	2026-02-10
39. DIGITAL ARCHIVE	4567 DIGITAL ARCHIVE BLVD, NEW YORK, NY 10039	DIGITAL ARCHIVE	PLANNING	2026-03-20
40. DIGITAL COLLECTION	8901 DIGITAL COLLECTION ST, NEW YORK, NY 10040	DIGITAL COLLECTION	COMPLETED	2026-04-05
41. DIGITAL EXHIBITION	2345 DIGITAL EXHIBITION DR, NEW YORK, NY 10041	DIGITAL EXHIBITION	IN PROGRESS	2026-05-15
42. DIGITAL PERFORMANCE SPACE	6789 DIGITAL PERFORMANCE SPACE BLVD, NEW YORK, NY 10042	DIGITAL PERFORMANCE SPACE	PLANNING	2026-06-25
43. DIGITAL THEATRE	1011 DIGITAL THEATRE ST, NEW YORK, NY 10043	DIGITAL THEATRE	COMPLETED	2026-07-10
44. DIGITAL CONCERT HALL	4567 DIGITAL CONCERT HALL BLVD, NEW YORK, NY 10044	DIGITAL CONCERT HALL	IN PROGRESS	2026-08-20
45. DIGITAL MUSIC STUDIO	8901 DIGITAL MUSIC STUDIO ST, NEW YORK, NY 10045	DIGITAL MUSIC STUDIO	PLANNING	2026-09-05
46. DIGITAL RECORDING STUDIO	2345 DIGITAL RECORDING STUDIO DR, NEW YORK, NY 10046	DIGITAL RECORDING STUDIO	COMPLETED	2026-10-15
47. DIGITAL SOUNDSTAGE	6789 DIGITAL SOUNDSTAGE BLVD, NEW YORK, NY 10047	DIGITAL SOUNDSTAGE	IN PROGRESS	2026-11-25
48. DIGITAL FILM SET	1011 DIGITAL FILM SET ST, NEW YORK, NY 10048	DIGITAL FILM SET	PLANNING	2026-12-10
49. DIGITAL PRODUCTION CENTER	4567 DIGITAL PRODUCTION CENTER BLVD, NEW YORK, NY 10049	DIGITAL PRODUCTION CENTER	COMPLETED	2027-01-20
50. DIGITAL POST-PRODUCTION CENTER	8901 DIGITAL POST-PRODUCTION ST, NEW YORK, NY 10050	DIGITAL POST-PRODUCTION CENTER	IN PROGRESS	2027-02-05

DEVELOPMENT SUMMARY

PACKAGED USE - STORAGE - USE VARIANCE REQUESTED
 PROVIDER
 CLIENT ZONE: "HS AND LB"
 MIN. LOT SIZE: 70.000 SF 0.459 AC
 MIN. LOT WIDTH: 50'

MIN. DEPTH OF FRONT YARD: 40'	30'
MIN. DEPTH OF REAR YARD: 10'(40' RD)	10'
MIN. DEPTH OF SIDE YARD: 10'(40' RD)	10'
MAX. BUILDING HEIGHT = 80'	LESS THAN 35'
OVERALL PARCEL AREA: 1.905 ACRES	

PROPOSED WORKING COPY = 10,000 5/7.

IMPERVIOUS AREA = 1,300 AC
PERVIOUS AREA = 0.605 AC

BY STATE OF NEW YORK - JURY CHAIRMAN

POST CONSTRUCTION BUILDING COVER

DISTURBED AREA = 2.65 ACRES

•

[illegible]

—

10

[illegible]

FOR:

JEREMIA

DATE _____

213

[illegible]

Am. J. Pathol. 83: 103-114, 1973

10. A preconstruction meeting shall be conducted and include the Owner, Contractor, representatives of the various utility companies and

- Figure 1**

1) The Contractor shall verify with the Owner that all permits have been obtained prior to construction. The Owner, or authorized

1. The first step is to identify the problem. In this case, the problem is that the company is not meeting its financial goals. The second step is to analyze the data. The third step is to develop a plan. The fourth step is to implement the plan. The fifth step is to monitor the results. The sixth step is to evaluate the results. The seventh step is to make adjustments. The eighth step is to report the results. The ninth step is to conclude the project. The tenth step is to document the results.

agencies exercising jurisdiction. The Contractor shall be required to rework any area that does not meet these tolerances at Contractor's expense until conformance is obtained. This specification does not permit the construction of sewers which do not meet the minimum slope

†1. Materials and construction of the sanitary sewer main, laterals, manholes, and other appurtenances shall conform to the minimum

- Journal of Management Inquiry 22(1) 3-17
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DOI: 10.1177/1056492613505101
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- 1

KRUSE

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1

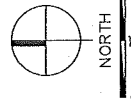
HAWKEYE STORAGE

Table 1

1

TEREMTAH HOLDINGS, LLC

Page 1 of 1

[illegible]

DALEY, KRUSE
2 E. WASHINGTON

01/01/2011	10
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Figure 1

THE PART OF THE SOUTHEAST CORNERS OF SECTION 6, TOWNSHIP 15 NORTH, RANGE 1 EAST, PEARSON COUNTY, INDIANA, DESCRIBED AS FOLLOWS: TO BEGIN AT THE SOUTHWEST CORNER OF SAID QUARTER SECTION, THENCE NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST 318.00 FEET; AND ALONG THE WEST CORNER OF SAID QUARTER SECTION 270.00 FEET; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS EAST 362.00 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 00 SECONDS WEST 342.00 FEET TO A POINT ON THE SOUTH LINE OF SAID QUARTER SECTION; AND SOUTHERLY ALONG SAID SOUTH LINE 100.00 FEET TO THE SOUTHWEST CORNER OF SAID QUARTER SECTION, BEING 100.00 FEET TO THE BEGINNING POINT OF THIS DESCRIPTION, CONTAINING IN ALL 1.666 ACRES, MORE OR LESS.

UTILITY STATEMENT:

The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities comprise all utilities in the area, and that there are no abandoned utilities. The location of the underground utilities shown are in the exact location indicated, although the surveyor does certify that they are located as accurately as possible from information available. The surveyor has not specifically located the underground utilities.



SITE PLAN

C2.0

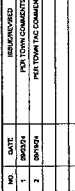
TEREMTA HOLDINGS, LLC

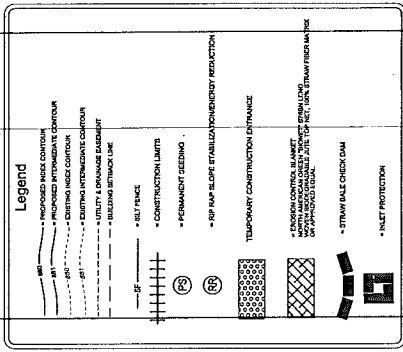
HAWKEYE STORAGE
CR 300 E & MAIN STREET
JANVIL, IL 62450

KRUSE
CONSULTING
Civil Engineers & Land Surveyors
7384 Business Center Drive
Avon, Indiana 46123-6631
(317) 272-5808 • Fax (317) 272-3410

Avon, Indiana 46123-8831
 (317) 272-5508 • Fax (317) 272-2410

NO.	DATE	RECEIVED	BY	DATE	RECEIVED	BY
1	05/04/20	PER TOWN COMMENTS	RAH			
2	05/04/20	PER TOWN FAC COMMENTS	RAH			





THE TOWN OF DANVILLE RESERVES THE RIGHT TO REQUIRE ADDITIONAL CREDIT CONTROLS AS DEEMED NECESSARY TO MAINTAIN THE TOWN'S STORMWATER MANAGEMENT ORDINANCE, ALL EROSION AND SEDIMENT CONTROLS, BEST MANAGEMENT PRACTICES AND POLLUTION PREVENTION MEASURES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE INDIANA STORMWATER QUALITY MANUAL.



EROSION CONTROL PLAN

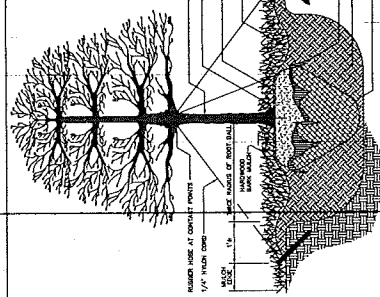
JEREMIAH HOLDINGS, LLC
201 E MAIN STREET
DANVILLE, Indiana 46122

HAWKEYE STORAGE
CR 300 E & MAIN STREET
DANVILLE, Indiana

KRUSE
CONSULTING
Civil Engineers & Land Surveyors
7304 Business Center Drive
Avon, Indiana 46123-0031
(317) 272-0508 • Fax: (317) 272-3411

Avon, Indiana 46123-0631
(317) 272-5505 • Fax (317) 272-2410

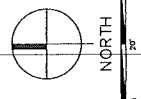
NO.	DATE	RECEIVED	BY	DATE	RECEIVED	BY
1	08/07/24	POST TOWN COMMENTS	BAR			
2	08/08/24	POST TOWN PAC COMMENTS	BAR			



STAKING AND PLANTING TREE DETAIL

- NOTES:**
1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUFACTURER'S INSTRUCTIONS. ANY DEVIATIONS SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO PLANTING.
 2. ALL PLANTS SHALL BE PROVIDED WITH A 1/4\"/>

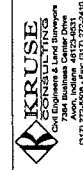
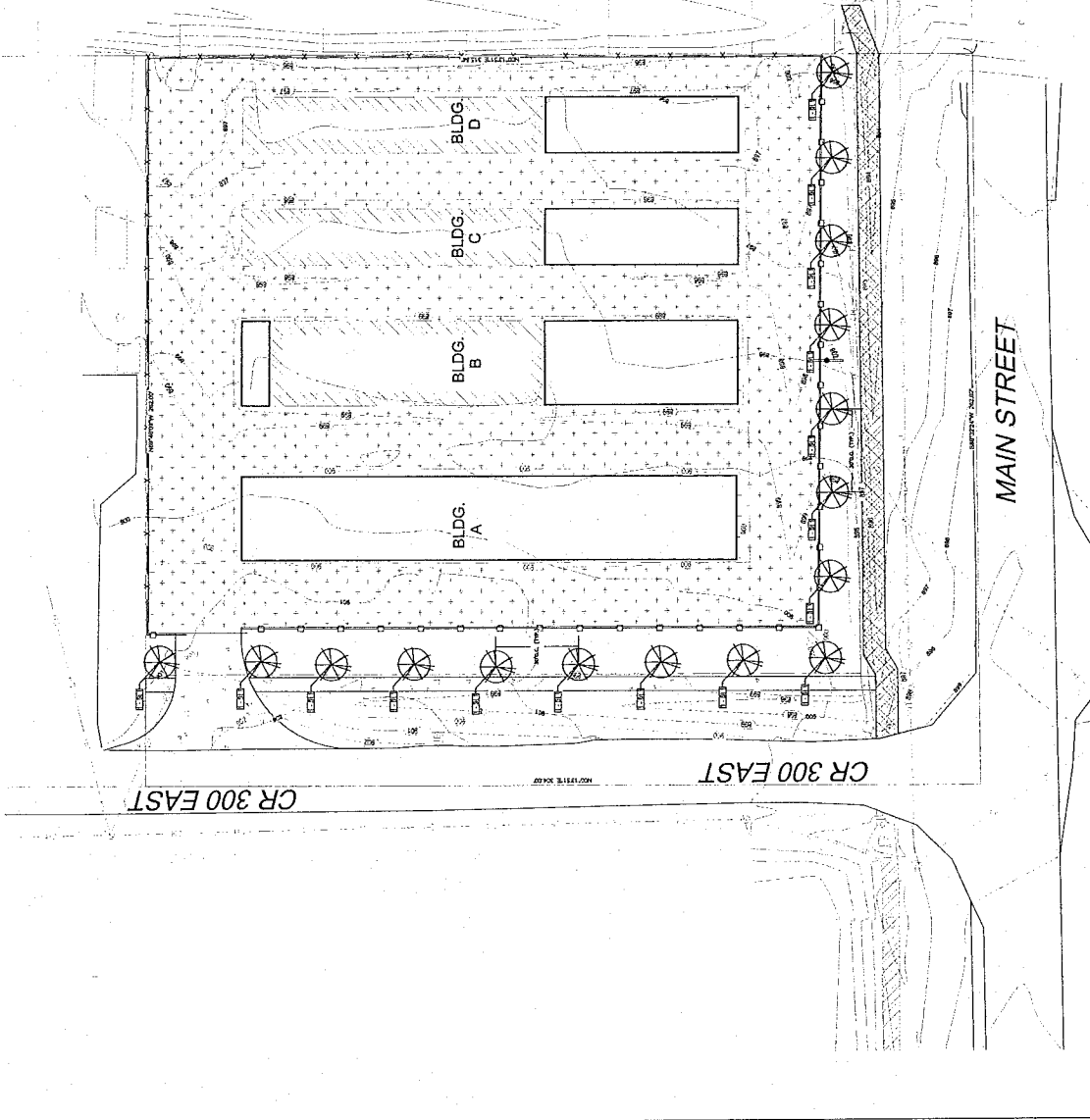
Quan.	Key	Scientific Name	Common Name	Size @ Planting
16	Sh-1	Acer rubrum	Red Maple	2 1/2\"/>



LANDSCAPING PLAN

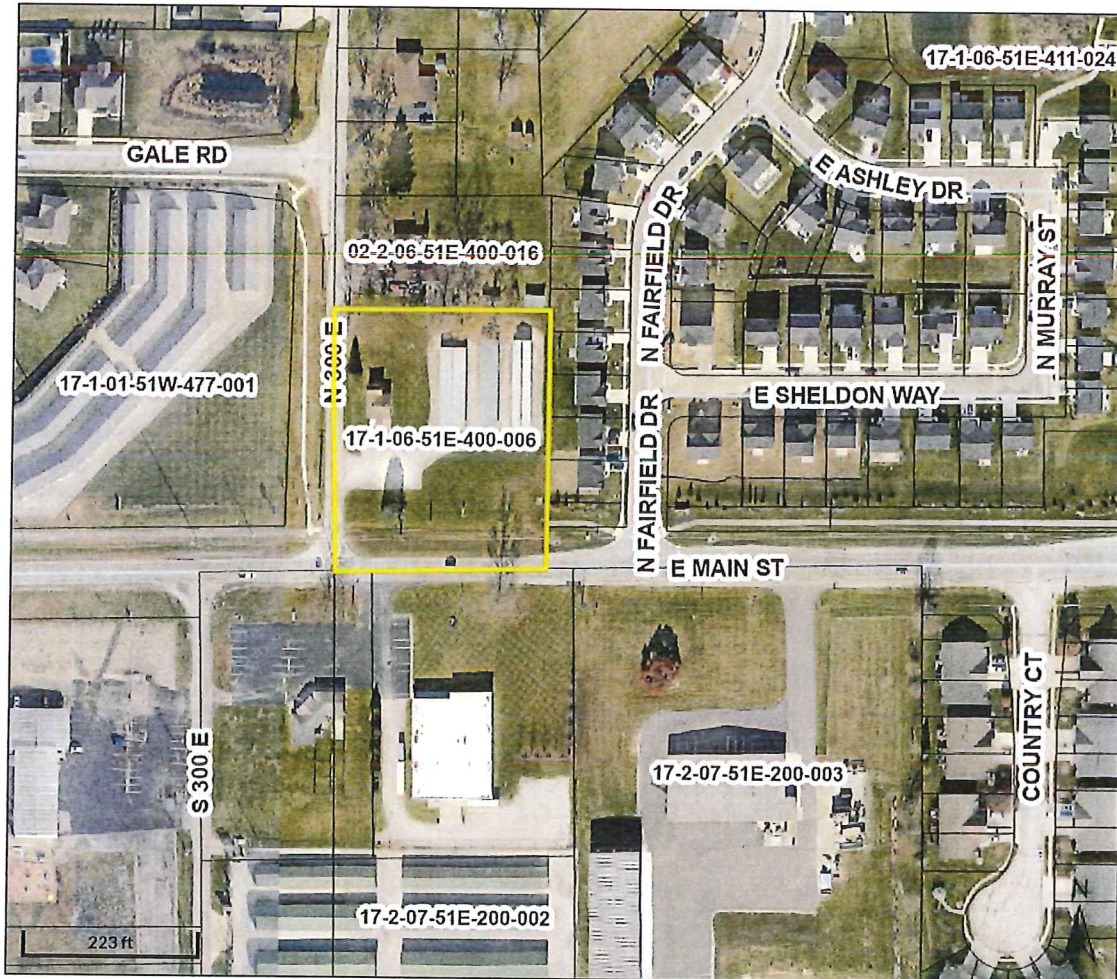
DATE: 05/11/2017
BY: J. E. Kruse
PROJECT: HAWKEYE STORAGE
201 E MAIN STREET
CARMEL, IN 46032

LS1

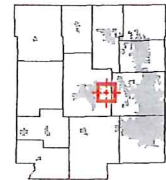


HAWKEYE STORAGE
CR 300 E MAIN STREET
CARMEL, IN 46032

NO.	DATE	DESCRIPTION	BY	DATE	REVISION
1	05/11/2017	PRELIMINARY	J. E. Kruse		



Overview



Legend

-  Parcels
-  Road Centerlines

Parcel ID	32-10-06-400-006.000-003	Alternate ID	17-1-06-51E 400-006	Owner Address	JEREMIAH HOLDINGS LLC
Sec/Twp/Rng	0006-0015-1E	Class	COMMERCIAL MINI-WAREHOUSE		291 E MAIN ST
Property Address	27 N County Road 300 E	Acreage	1.9		DANVILLE, IN 46122
	Danville				
District	Town Of Danville				
Brief Tax Description	Pt Se 6-15-1E 1.9 Ac				
	CONSERVANCY				
	2.47-7-10 CREATION DATE 6-13-1983				
	15/16 ANNEX PER ORD 3-2014 FROM 002-206511-400017				
	(Note: Not to be used on legal documents)				

Date created: 8/7/2024

Last Data Uploaded: 8/7/2024 5:56:02 AM

Developed by  **Schneider**
GEOSPATIAL

CASE SUMMARY

Minor Plat

Case: 2024-2203
Jeremiah Holdings, LLC, Petitioner, Hawkeye Storage – 27 North 300 East
Dale Kruse, Kruse Consulting, Inc.

Request: Minor Plat Approval

Location: 27 North County Road 300 East

Acreage: 1.29 acres

Zoning: IL, Industrial Light & LB, Local Business

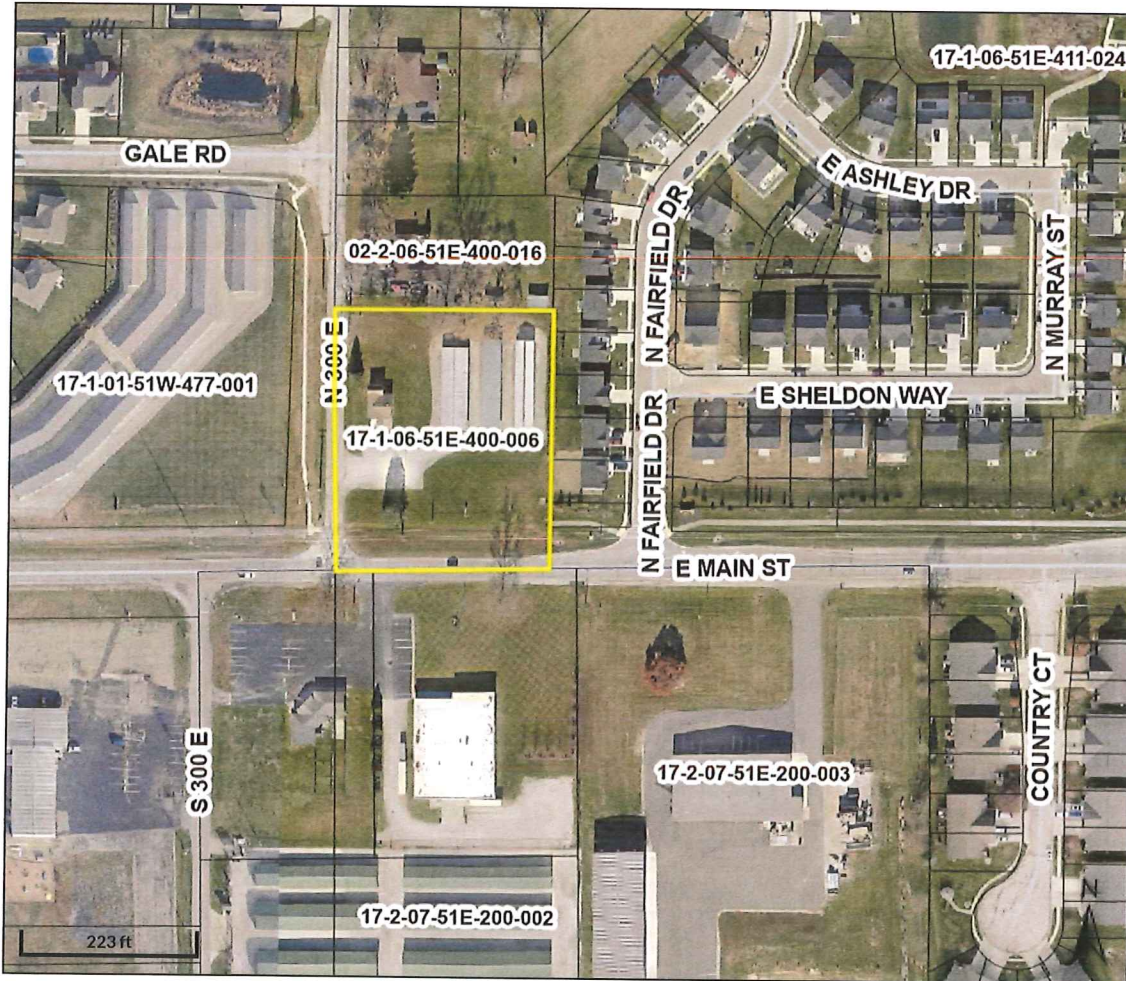
Staff Comments:

This plat is being requested to create additional right of way to improve the roadside ditch and transfer additional property on the northern boundary of the site to the adjacent property owner which will remedy a building encroachment.

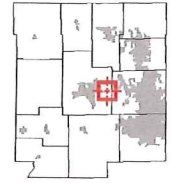
Staff recommends approval of the proposed plat.

Plan Commission Action on Minor Plat:

Approve Minor Plat
Deny Minor Plat
Approve Minor Plat with conditions



Overview



Legend

- Parcels
- Road Centerlines

Parcel ID	32-10-06-400-006.000-003	Alternate ID	17-1-06-51E 400-006	Owner Address	JEREMIAH HOLDINGS LLC
Sec/Twp/Rng	0006-0015-1E	Class	COMMERCIAL MINI-WAREHOUSE		291 E MAIN ST
Property Address	27 N County Road 300 E	Acreage	1.9		DANVILLE, IN 46122
	Danville				
District	Town Of Danville				
Brief Tax Description	Pt Se 6-15-1E 1.9 Ac				
	CONSERVANCY				
	2.47-7-10 CREATION DATE 6-13-1983				
	15/16 ANNEX PER ORD 3-2014 FROM 002-206511-400017				
	(Note: Not to be used on legal documents)				

Date created: 8/7/2024

Last Data Uploaded: 8/7/2024 5:56:02 AM

Developed by Schneider
GEOSPATIAL

CASE SUMMARY

Site Plan Review

Case: 2024-2204
Indianapolis Airport Authority, Lift Academy, Hendricks County Airport -
2749 Gordon Graham Boulevard
Brooks Benton, Luckett & Farley

Request: Site Plan Approval, Preliminary & Final

Location: 2749 Gordon Graham Boulevard

Acreage: 1.0 acre

Zoning: IL, Industrial Light & APOD, Airport Overlay District

Staff Summary:

Zoning:

- This is the site of the current Gordon Graham Field airport facility, and the petitioner is requesting to erect a manufactured office building to be used as a flight training school. In addition to the office building, the petitioner is also proposing a new above ground fuel tank.

Utilities:

- This site is currently being served by the Town of Danville for water.
- This site utilizes an onsite commercial septic system as public wastewater is not available.

Public Streets/Public ROW:

- No new public streets will be constructed as a result of this project.

Stormwater/Drainage:

- The drainage of this site is not being altered as a result of the proposed structure.

Architectural Design Standards:

- The proposed building complies with the architecture design standards of the UDO.

Landscaping/Screening:

- The petitioner is not proposing any landscaping as this structure is not visible from adjacent properties or public right of way.
- A dumpster is not proposed for this project.

Lighting:

- The petitioner has provided a lighting plan for this site that complies with the UDO.

Signage:

- No signage is being proposed as part of this site plan review.

Additional Comments:

- A Knox Box must be provided in the event of an emergency.

Staff recommends approval of this site plan subject to staff's comments.

Plan Commission Action on Site Plan:

Approve Site Plan
Deny Site Plan
Approve Site Plan with conditions



ADVISORY PLAN COMMISSION

49 North Wayne Street | Danville, IN 46122
317-745-4180 | www.danvilleindiana.org

Date of Hearing: 10-9-24
Plan Commission Action: _____

App. No.: 2024-2204
Fee: \$1,040.00
Received By: LT

APPLICATION FOR APPROVAL (Check all that apply)

- ☐ Plat ☐ Replat ☐ Revision ☐ Amendment ☐ Minor Plat ☐ PUD
☐ SPR ☐ Rezone ☐ Exempt Subdivision

* Please fill out the form in its entirety

Name (s) of Owner (s) Indianapolis Airport Authority

Address (s) 7800 Col H Weir Cook Mem Drive, Indianapolis, IN 46241

Phone (s) _____ Email (s) _____

Owners' Representative (Subdivider, if any) and /or Registered Engineer or Land Surveyor:

Address (s) 737 S 3rd St, Louisville, KY 40202

Phone (s) (502) 585-4181 Email (s) BBenton@luekett-farley.com

I (We) do hereby apply for approval of the following described plat of a subdivision in accordance with the Subdivision Control Ordinance. I (We) am (are) the owner (s) of the real estate included in said subdivision.

Name of Subdivision: N/A

Address of Subject Property: 2749 Gordon Graham Blvd, Danville, Indiana 46122

Generally described as follows:

Area (in acres): 30.7 - 1 acre SPR area Number of Lots: 1

Existing Zoning District (if applicable to rezone): IL (Industrial Light)

Proposed Zoning District (if applicable to rezone): N/A

Parcel ID#: 32-11-12-400-004.000-003 Current Zoning District: IL (Industrial Light)

Feet of new streets to be dedicated to the public: N/A

Feet of sanitary sewers to be dedicated to the public: N/A

Feet of water main to be dedicated to the public: N/A

Feet of storm sewer to be dedicated to the public: N/A

STATE OF INDIANA)

) SS:

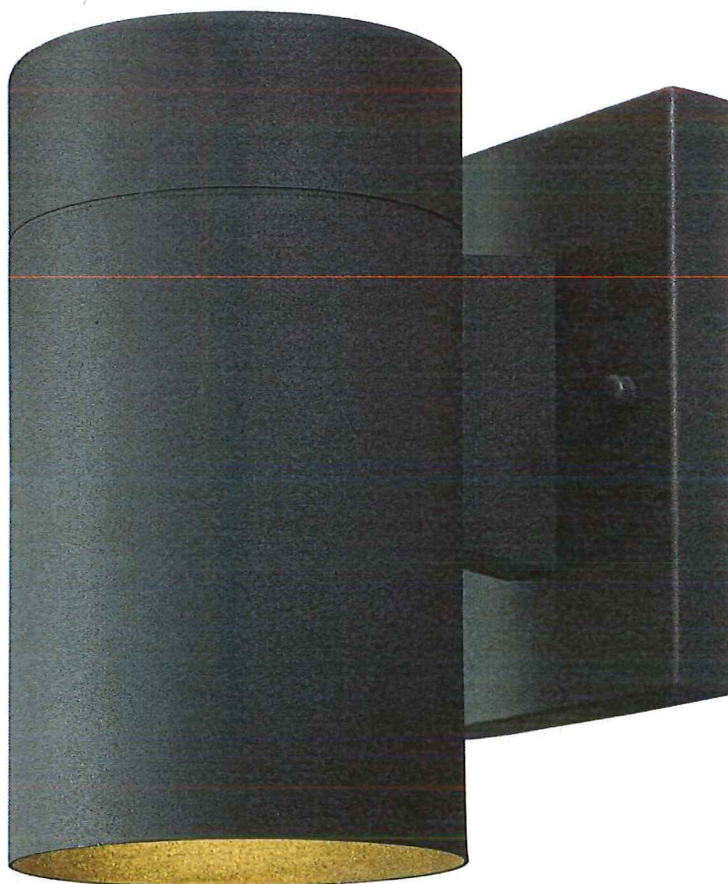
HENDRICKS COUNTY)

The undersigned certifies that the above information is true and correct to the best of his (her) knowledge.

Brooks Benton
Signature of Owner/Applicant (s)
Discipline Manager, Civil Engineering
Title of Applicant

Patriot Lighting® Night Sky Black Outdoor Wall Light

Model Number: IOL211BK | Menards® SKU: 3563478



EVERYDAY LOW PRICE

\$27.99

SALE PRICE Good Through 10/6/24

\$22.46

11% REBATE* Good Through 10/6/24

\$2.47

PRICE
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REBATE*

\$19⁹⁹
each

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SAVE BIG before it's too late! This sale price ends in:

04 days **16** hours **00** minutes

- Stylish yet affordable outdoor lighting
- Warm gold interior to enhance downward light
- CSA listed

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Color: Black

Pick Up At Store

✓ This product is on display at [Jeffersonville](#)

M 10 In-Stock at [Jeffersonville](#)
Item located in Aisle 322 Section E

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232 Available for Immediate Shipment From Our Fulfillment Center
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FIREGUARD® double-wall fire-protected aboveground storage tank features an inner and outer steel tank with a unique lightweight thermal insulation material that exceeds the UL 2-hour fire test. Insulating material is 75% lighter than concrete, reducing shipping, installation and relocation costs.



**Unique Thermal Insulating Material is
75% Lighter than Concrete**

FIREGUARD® features:

- Insulates product in tank from ambient temperature variations, reducing emissions to the environment
- Primary and secondary tank can be tightness tested on site with standard testing procedures, unlike other designs
- Steel outer wall provides low cost maintenance and protection from weathering
- Primary storage tank and secondary containment compatible with a wide range of fuels and chemicals, including biodiesel and ethanol
- Support designs available for all seismic requirements
- Interstitial space can be monitored for leak detection
- Meets temperature requirements when the furnace test was extended to 4 hours

FIREGUARD® The only tank that meets all of these standards:

- UL 2085 Listed "Protected" tank
- Ballistics and Impact protection per UL 2085
- Both the inner and outer steel tanks are built to UL standards
- National Fire Protection Association (NFPA) 30 & 30A
- International Fire Code (IFC)
- California Air Resources Board (CARB) Standing Loss Control testing requirements for air emissions
- Steel Tank Institute (STI) Standard F941 for Thermally Insulated Aboveground Storage Tanks

Additional features:

- Capacities range up to 75,000 gallons
- Steel construction allows for recycling
- Low cost compartments and customization
- Built to nationally-recognized STI standards with strict third-party quality control inspection program

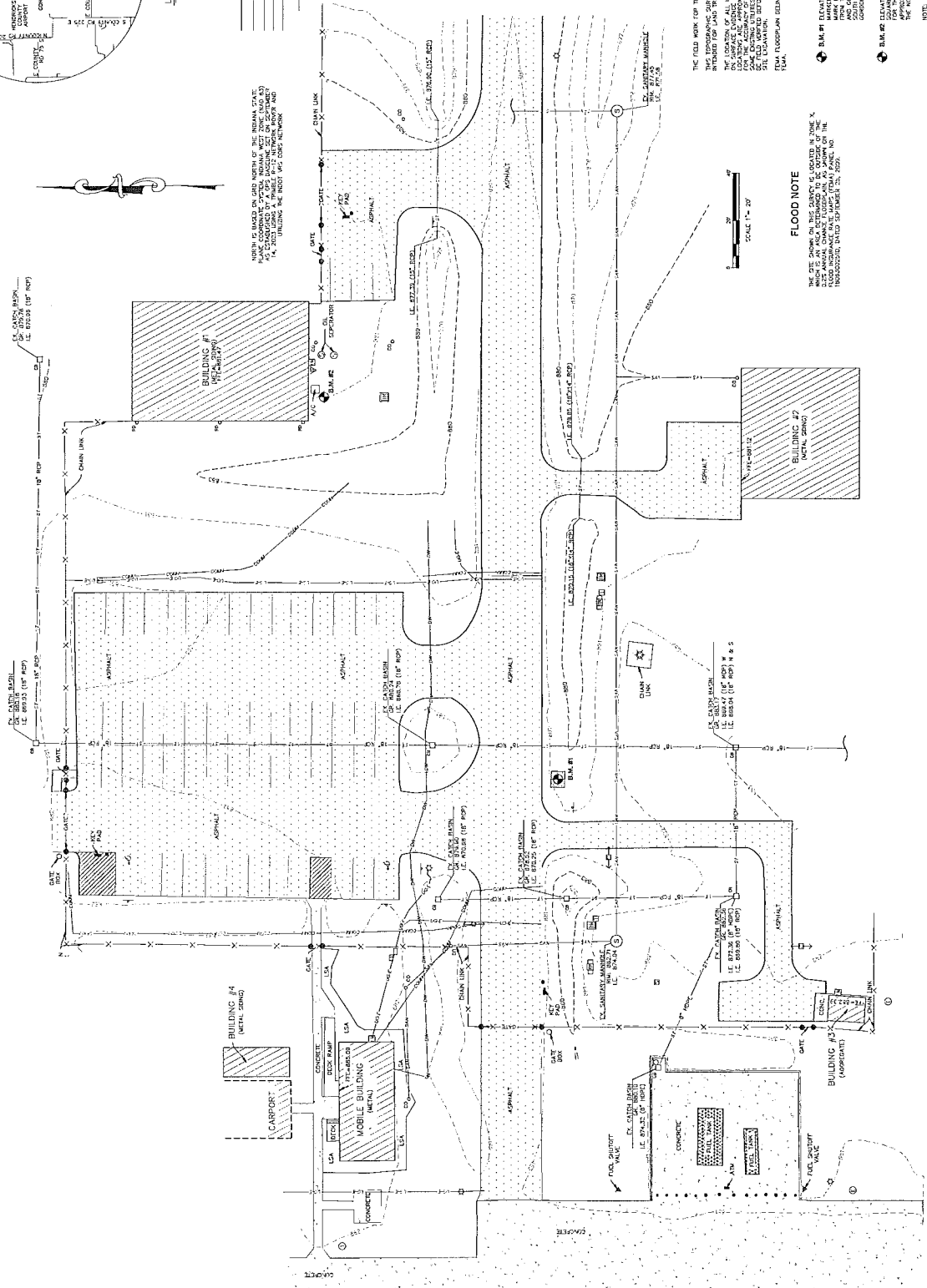


**Compatible With a Wide Range of Fuels and
Chemicals, Including Biodiesel and Ethanol**

Available Designs:

- Horizontal
- Vertical
- Rectangular

FIREGUARD® is available from a large network of STI Licensed Manufacturers • www.steeltank.com

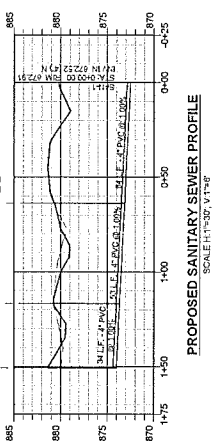


KEYNOTES

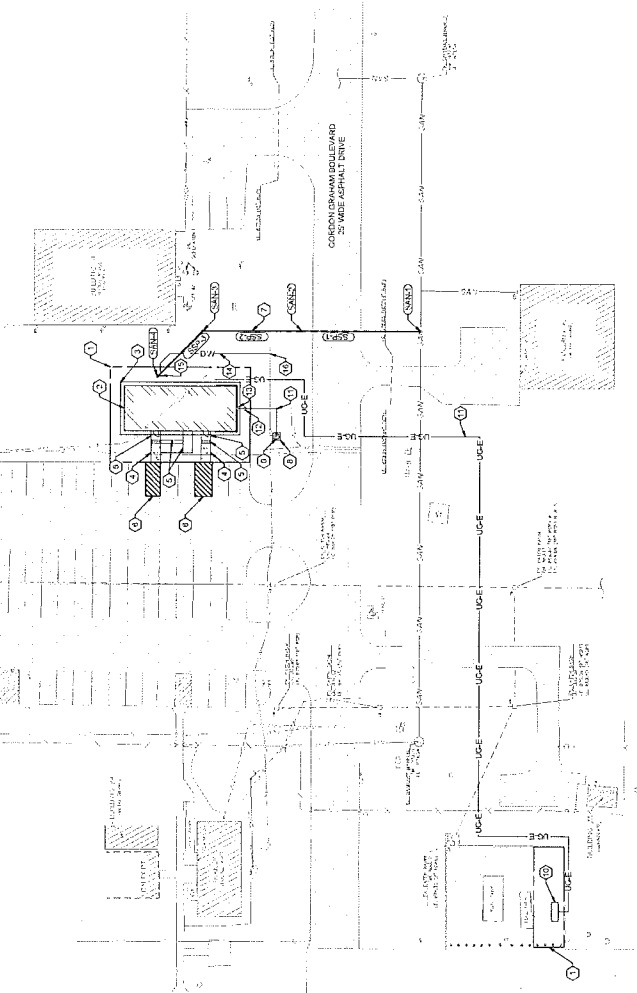
1. LEAVE BOUNDARY.
2. TRAINING FACILITY. REFER TO BUILDING DRAWING PACKAGE FOR MORE INFORMATION.
3. LEVEL GRAVEL PAD CONSISTING OF 8 INCHES OF COMPACTED AGGREGATE NO. 53 STONE GRAVEL PAD TO EXTEND 2 FEET BEYOND THE TRAINING FACILITY FOOTPRINT.
4. CONCRETE SIDEWALK. SEE DETAIL 1, SHEET C701.
5. STAIRS, RAMPS, AND LEVEL LANDINGS TO BE DESIGNED AND PROVIDED BY OTHERS.
6. 4 INCH WIDE WHITE PAVEMENT STRIPS.
7. UNDERGROUND SANITARY SEWER LINE. SEE PIPE TABLE AND PRIVATE DRAINAGE PACKAGE FOR MORE INFORMATION.
8. DANVILLE INDIANA WASTEWATER TREATMENT PLANT. SEE DETAIL 1, SHEET C701.
9. REQUIREMENTS SHALL CONFORM TO THE SAME DOCUMENTS AS SANITARY ALLIANCE. SEE DETAIL 1, SHEET C701.
10. CONCRETE TRANSFORMER PAD. SEE DETAIL 2, SHEET C701.
11. NEW 1000VA TRANSFORMER. BY UTILITY. COORDINATE PRIMARY CONDUIT REQUIREMENTS WITH UTILITY.
12. FUEL TANK AND ASSOCIATED EQUIPMENT TO BE PROVIDED BY OTHERS.
13. UNDERGROUND 4 INCH ELECTRIC CONDUIT WITH 2400S AND 1400S COPPER. PROVIDE CONDUIT AND EQUIPMENT. FOR CONDUIT EMBEDMENT INFORMATION, SEE DETAIL 4, SHEET C701.
14. NEW 400A 240V SERVICE DISCONNECT. FOR SERVICE GROUNDING INFORMATION, SEE DETAIL 5, SHEET C701.
15. 3/4" WATER SUPPLY SERVICE. REFER TO THE BUILDING DRAWING PACKAGE FOR SUPPLY SCHEMATIC AND ALL PLUMBING NOTES AND DETAILS.
16. COORDINATE WITH PLUMBING DRAWINGS FOR CONNECTION TO BUILDING PIPING.
17. WATER SUPPLY SERVICE. THE LOCATION IS GENERAL AND SHOULD BE COORDINATED WITH THE UTILITY.

PIPE TABLE				
NAME	MATERIAL	DIAM.	APPROX. LENGTH	SLOPE
SS0-1	PVC	4"	46'	1.00%
SS0-2	PVC	4"	53'	1.00%
SS0-3	PVC	4"	34'	1.00%

PRIVATE DRAINAGE STRUCTURE TABLE				
NAME	TYPE	TOP ELEV.	PIPE IN 1:1E	PIPE OUT 1:1E
SNM1	CONNECTION TO SANITARY SEWER SYSTEM	872.01	SS0-1, 4" PVC (N) 872.52	
SNM2	4 INCH CLEANOUT	869.09	SS0-2, 4" PVC (N) 873.16	SS0-1, 4" PVC (N) 874.19
SNM3	4 INCH CLEANOUT	867.75	SS0-3, 4" PVC (N) 873.09	
SNM4	4 INCH CLEANOUT	861.42	SS0-3, 4" PVC (SD) 874.03	



PROPOSED SANITARY SEWER PROFILE
SCALE 1:1200, V:1H

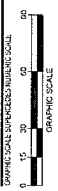


GENERAL CONSTRUCTION NOTES

- A. THIS PLAN SHALL FULLY COMPLY WITH THE REQUIREMENTS OF THE 2019 IBCS WITH DISABILITIES ACT STANDARDS.
- B. ALL WORK SHALL CONFORM TO STATE AND LOCAL REGULATIONS.
- C. ALL SIGNAGE AND STRIPING TO BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
- D. ALL CONSTRUCTION MATERIALS AND WORK ACTIVITIES SHALL BE IN ACCORDANCE WITH THE 2019 IBCS WITH DISABILITIES ACT STANDARDS. THE STANDARD SPECIFICATIONS (LATEST EDITION) UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BONDS AND PERMITS FOR CONSTRUCTION WITHIN A PUBLIC RIGHT-OF-WAY.
- E. REFER TO THE BUILDING DRAWING PACKAGE FOR ADDITIONAL INFORMATION ON THE BUILDING LAYOUT AND ALL BUILDING INFORMATION.
- F. REFER TO THE BUILDING DRAWING PACKAGE FOR ELECTRICAL PLAN AND ELECTRICAL DETAILS.
- G. FOR PARTIAL ELECTRICAL ONE LINE DIAGRAM, SEE DETAIL 7, SHEET C701.
- H. FOR UTILITY TRENCH INFORMATION, SEE DETAIL 8, SHEET C701.

LEGEND	
	PROPOSED CONCRETE PAVEMENT
	EXISTING ASPHALT PAVEMENT TO REMAIN
	EXISTING CONCRETE PAVEMENT TO REMAIN

SITE MATERIALS AND UTILITY PLAN



CAUTION EXISTING UTILITIES
THE INFORMATION SHOWN ON THIS DRAWING CONCERNING THE LOCATION, DEPTH, AND MATERIAL OF EXISTING UTILITIES IS TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND MATERIAL OF EXISTING UTILITIES IN THE PROJECT AREA AND MUST BE ADVISED OF ANY CHANGES PRIOR TO ANY EXCAVATION. FOR VERIFICATION OF LOCATION, SEE, AND MATERIAL, CALL 811 OR 1-800-485-5844.

LIFT ACADEMY -
HENDRICKS CO., IN.
278 GORDON GRIHAM BLVD.
DAYVILLE, INDIANA 46122

PROJECT LOCATION: 278 GORDON GRIHAM BLVD.
LIFT ACADEMY
10000 N. STATE ST.
DAYVILLE, INDIANA 46122
2023-04-24

DATE: 2023-05-02

DATE: 2023-05-02



Luckett & Farley
Professional Engineers, Inc.
1000 N. STATE ST.
DAYVILLE, INDIANA 46122

DATE: 2023-05-02

DATE: 2023-05-02

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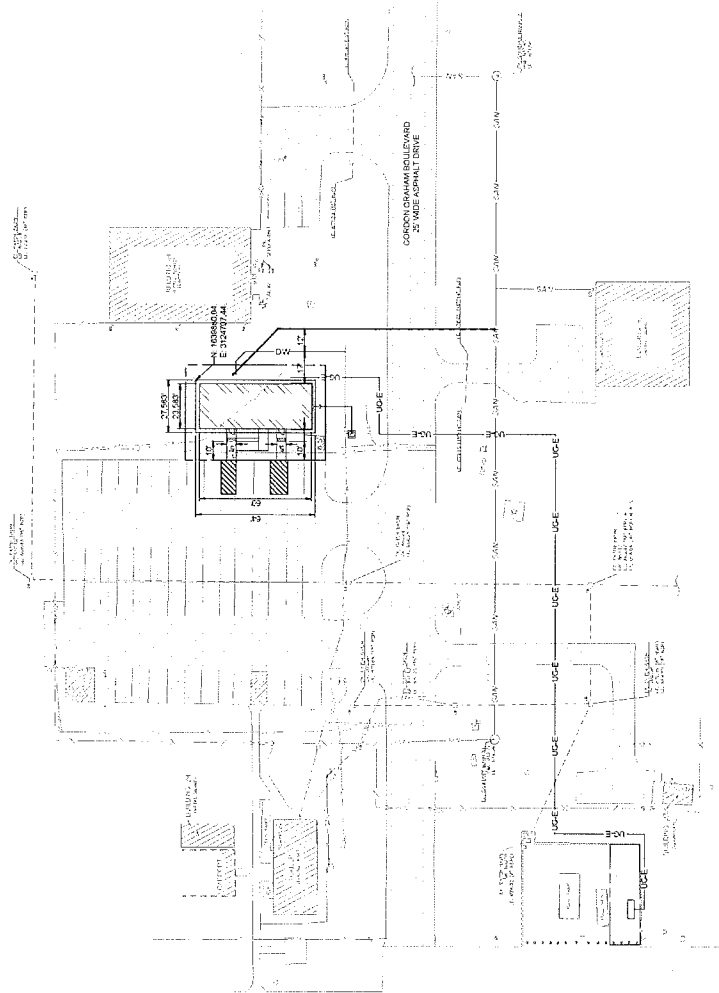
DATE: 2023-05-02

DATE: 2023-05-02

SITE DIMENSION PLAN

GRAPHIC SCALE 30' PER INCH
0 10 20 30 40 50
GRAPHIC SCALE

CAUTION EXISTING UTILITIES
THE INFORMATION SHOWN ON THIS DRAWING CONCERNING THE LOCATION, SIZE, AND MATERIAL FOR ALL EXISTING UTILITIES IS BASED ON RECORD DRAWINGS AND FIELD SURVEY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND MATERIAL FOR ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION. FOR VERIFICATION OF LOCATION, SIZE, AND MATERIAL, CALL 811 OR 1-800-368-3344.



LEGEND	
	PROPOSED CONCRETE PAVEMENT
	EXISTING ASPHALT PAVEMENT TO REMAIN
	EXISTING CONCRETE PAVEMENT TO REMAIN

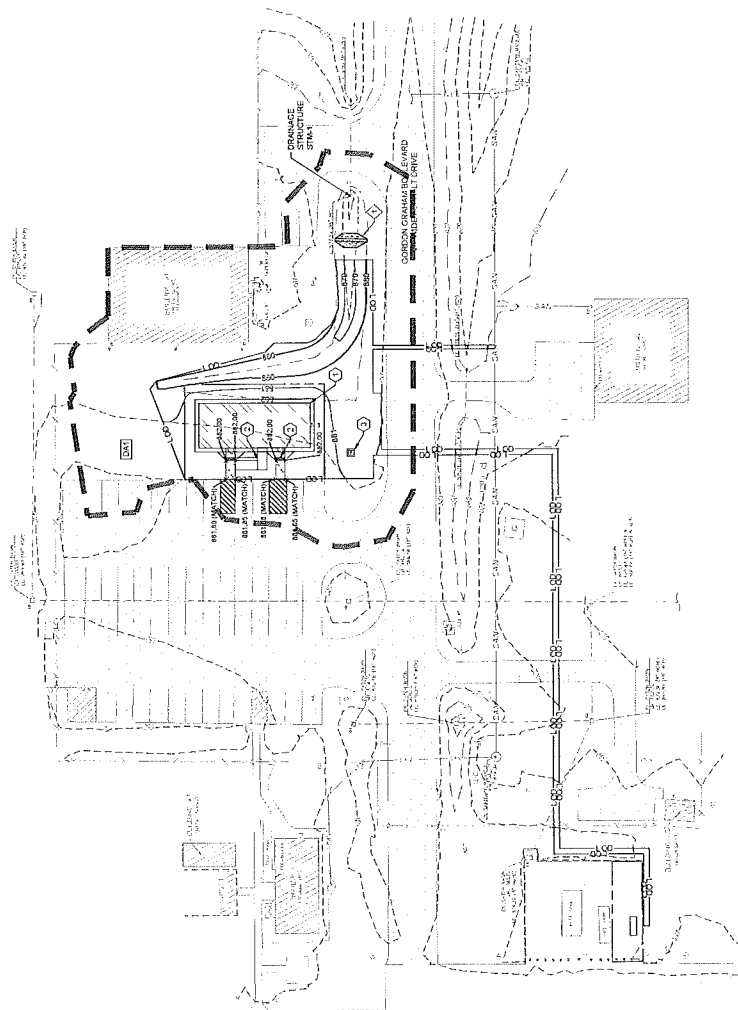
SCALE SHOWN TO ENSURE REPRODUCTION ACCURACY

EPSC BMP STRUCTURE CHART			NOTES
STR. #	BMP #	BMP DESCRIPTION	
1	CD-01	ROCK CHECK DAM WITH FILTER MEDIA. SEE DETAIL 3C701.	INSTALL BMP PRIOR TO ALL CONSTRUCTION ACTIVITIES. MAINTAIN UNTIL SITE IS STABILIZED, THEN REMOVE.

DRAINAGE AREA #	C	T_c (HR)	INTENSITY INCH/HOUR	DRAINAGE AREA (ACRES)	$\frac{Q}{(CFS) \text{ @ } 10\%}$
DA1	STM-1	0.40	10	5.22	1.33
				7.78	1.08

RAINAGE AREA #	RAINAGE STRUCT #	C	T _c (HR)	INFLUENCE COEFFICIENT	AREA (ACRES)	Q (CFS)	WATER
DA1	STM-1	0.44 TO	5.22	7.78	0.038	1.48	2.17

PROPOSED DRAINAGE AREA CHART	TO PULASKI TRUNK LINE	TO PULASKI TRUNK LINE	TO PULASKI TRUNK LINE	TO PULASKI TRUNK LINE
DA1	STM-1	0.48	10	7.7%
		5.22		0.038
				1.40
				2.17



CAUTION EXISTING UTILITIES

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATION, SIZE, AND MATERIAL FOR ALL EXISTING UTILITIES IN THE PROJECT AREA. INDICATING MUST BE NOTIFIED 2 BUSINESS DAYS PRIOR TO ANY EXCAVATION. FOR VERIFICATION OF LOCATION, SIZE, AND MATERIAL, CALL 811, OR 1-800-363-5544.

KEYNOTES

1. FINISH FLOOR ELEVATION (FE) OF THE NEW TRAINING PLATFORM IS TO BE 664. GRAVEL TO BE LAYED ON TOP OF THE BUILDING PACKAGE FOR STRUCTURAL FOUNDATION AND PIER SETBACKS.
2. STEPS, RAMPS, AND LEVEL LANDINGS TO BE DESIGNED BY OTHERS. BIDDING ELEVATIONS OF RAMPS AND STAIRS WILL MATCH THE CONCRETE SUBGRADE ELEVATION OF 662. EACH RAMP WILL RUN AT THE MAXIMUM ADA SLOPE OF 1:12.4. EACH RAMP IS 17 FEET LONG, INDICATING A CHANGE IN ELEVATION OF 1 FOOT PER 12.4 FEET. THERE WILL BE ONE RAMP TO BE AT ELEVATION 663. LEVEL LANDINGS AT EACH DOOR TO BE AT FFE ELEVATION 662.
3. TRANSFORMER AND ELECTRICAL EQUIPMENT TO BE 660 ON

- KEYNOTES**
1. FINISH FLOOR ELEVATION (FFEL) OF THE NEW TRAINING PLATFORM IS TO BE 664. GRAVEL SHALL BE USED TO FILL THE SPACE BETWEEN THE BUILDING PACKAGE FOR STRUCTURAL FOUNDATION AND PER STEPS.
 2. STEPS, RAMPS, AND LEVEL LANDINGS WILL BE DESIGNED BY OTHERS. BIDDOR ELEVATION OF RAMPS AND STAIRS WILL MATCH THE CONCRETE BIDDOR ELEVATION OF 662. EACH RAMP WILL RUN AT THE MAXIMUM ADA SLOPE OF 1:12.4. EACH RAMP IS 17 FEET LONG, INDICATING A CHANGE IN ELEVATION OF 1 FOOT PER 12.4 FEET. THERE WILL BE ONE RAMP TO BE AT ELEVATION 663. LEVEL LANDINGS AT EACH DOOR TO BE AT FFE ELEVATION 662.
 3. TRANSFORMER AND ELECTRICAL EQUIPMENT SHALL BE ON A CONCRETE PAD.

[illegible]

- [illegible]

SITE INFORMATION	
SITE AREA	0.238 ACRES
PERVIOUS SURFACE	267.2(SF)
PROPOSED IMPERVIOUS SURFACE	0.232 ACRES 141.07(SF)
INCREASE IN IMPERVIOUS SURFACE	0.004 ACRES 5.13(SF)
LIMITS OF DISTURBANCE	0.217 SF 0.167 ACRES

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SITE AREA	0.238 ACRES
PERVIOUS SURFACE	267.2(SF)
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INCREASE IN IMPERVIOUS SURFACE	0.004 ACRES 5.13(SF)
LIMITS OF DISTURBANCE	0.217 SF 0.167 ACRES

EPSC PHASING

1. OBTAIN ALL NECESSARY CONSTRUCTION AND STORMWATER PERMITS.
2. PRECONSTRUCTION MEETING.
3. INSTALL BMPs AS SHOWN ON THE PLANS AND MAINTAIN THROUGHOUT CONSTRUCTION.
4. COMPLETE ALL CONSTRUCTION.
5. ONCE THE SITE IS STABILIZED, REMOVE ALL TEMPORARY BMP STRUCTURES, REPAIR AND SEED DISTURBED AREAS.

- ### EPSC PHASING
1. OBTAIN ALL NECESSARY CONSTRUCTION AND STORMWATER PERMITS.
 2. PRECONSTRUCTION MEETING.
 3. INSTALL BMPs AS SHOWN ON THE PLANS AND MAINTAIN THROUGHOUT CONSTRUCTION.
 4. COMPLETE ALL CONSTRUCTION.
 5. ONCE THE SITE IS STABILIZED, REMOVE ALL TEMPORARY BMP STRUCTURES, REPAIR AND SEED DISTURBED AREAS.

EPSC NOTES

ALL EMISSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE EPC "TECHNICAL MANUAL" FOR EMISSION CONTROL IN DEVELOPING AREAS DATED OCTOBER 1987 AND THE 525 "FIELD OFFICE TECHNICAL GUIDE".

THE TOWN ENGINEER HAS THE RIGHT TO REQUIRE ADDITIONAL EMISSION CONTROL MEASURES IN THE FIELD AS CONDITIONS WARRANT.

1. THE CONTRACTOR SHALL PROVIDE A COMPLETE EMISSION CONTROL PLAN. THE PLAN SHALL BE APPROVED BY THE TOWN ENGINEER.

2. ALL EMISSION CONTROL DEVICES MUST BE INSTALLED AS NECESSARY BY THE CONTRACTOR TO PREVENT DROUGHT AND SEDIMENTATION.

3. AT THE END OF EACH WORKING SITE SHALL BE CLEARED OF SEDIMENT AND ROCKS.

4. THE CONTRACTOR SHALL PROVIDE A COMPLETE EMISSION CONTROL PLAN THAT SEDIMENT WILL NOT GET OUT OR INTO THE STORM SYSTEM DURING A RAIN EVENT.

5. CONTRACTOR SHALL PROVIDE TEMPORARY EROSION BARRIERS AROUND ALL UTILITY EXCAVATIONS TO PREVENT SEDIMENTATION OF THE STORM SYSTEM. THE BARRIERS SHALL BE REMOVED.

- EPSC NOTES**
- ALL EMISSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE EPC "TECHNICAL MANUAL" FOR EMISSION CONTROL IN DEVELOPING AREAS DATED OCTOBER 1987 AND THE 525 "FIELD OFFICE TECHNICAL GUIDE".
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3. AT THE END OF EACH WORKING SITE SHALL BE CLEANED OF SEDIMENT AND ROCKS.
4. THE CONTRACTOR SHALL PROVIDE EMISSION CONTROL PLAN. THE PLAN SHALL BE APPROVED BY THE TOWN ENGINEER.
5. CONTRACTOR SHALL PROVIDE TEMPORARY EROSION BARRIERS AROUND ALL UTILITY EXCAVATIONS. THE BARRIERS SHALL BE COMPLETE AND THE EROSION BARRIERS SHALL BE MAINTAINED.

LEGNED	PROPOSED CONCRETE PAVEMENT	EXISTING ASPHALT PAVEMENT TO REMAIN	EXISTING CONCRETE PAVEMENT TO REMAIN	DRAINAGE AREA BOUNDARY	LIMITS OF DISTURBANCE

LEGNED	PROPOSED CONCRETE PAVEMENT	EXISTING ASPHALT PAVEMENT TO REMAIN	EXISTING CONCRETE PAVEMENT TO REMAIN	DRAINAGE AREA BOUNDARY	LIMITS OF DISTURBANCE

2749 GORDON GRAHAM BLVD.
DANVILLE, INDIANA 46122

BUCKETT & FARLEY
37 SOUTH THIRD STREET
LOUISVILLE, KY 40202-2100
(502) 584-4111



Luckett & Farley

2023.052

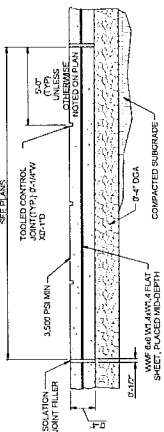
OWNER REVIEW PLOT

DATE	APR 11 1983
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SHEET TITLE
**SITE GRADING,
DRAINAGE, AND
EPSC PLAN**

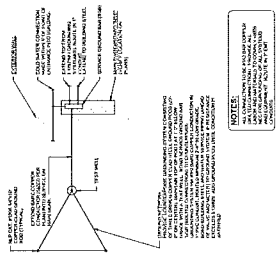
C-401

SCALE SHOWN TO EMPIRE REPRODUCTION AGENCY



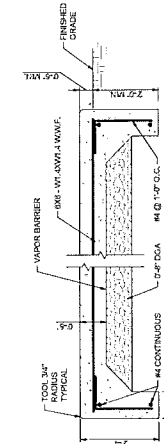
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 3. PROVIDE 1\"/>
 4. PROVIDE 1\"/>
 5. PROVIDE 1\"/>
 6. MINIMUM SIDEWALK CROSS-SLOPE = 1/4\"/>
 7. SIDEWALK SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM STANDARD DRY DENSITY AS PER ASTM D1557. MOISTURE CONTENT SHALL BE WITHIN 2% OF OPTIMUM.
 8. PROVIDE 1\"/>

CONCRETE SIDEWALK
N.T.S.



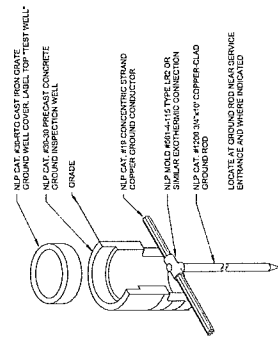
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 8. PROVIDE 1\"/>

TYPICAL ELECTRICAL
SERVICE GROUNDING
N.T.S.



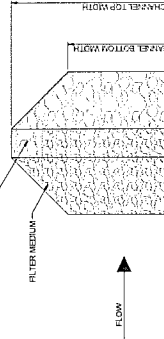
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 8. PROVIDE 1\"/>

CONCRETE
TRANSFORMER PAD
N.T.S.



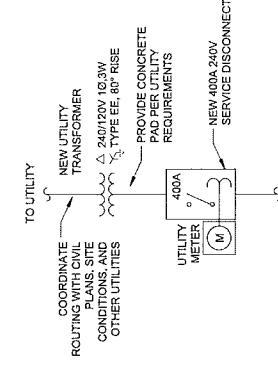
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 8. PROVIDE 1\"/>

GROUND INSPECTION WELL
N.T.S.



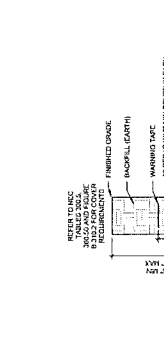
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 8. PROVIDE 1\"/>

ROCK CHECK DAM
N.T.S.



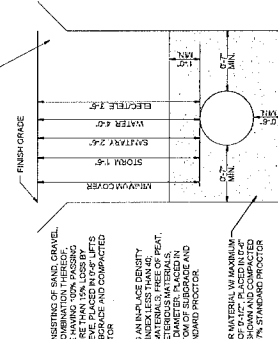
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PARTIAL ELECTRICAL
ONE LINE DIAGRAM
N.T.S.



- NOTES
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 8. PROVIDE 1\"/>

DUCT BANK 1X1
N.T.S.



- NOTES
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 8. PROVIDE 1\"/>

UTILITY TRENCH
N.T.S.

WILLIAMS SCOTSMAN

24 x 64 OFFICE

GENERAL NOTES

1. THIS BUILDING IS NOT TO BE LOCATED IN AREAS THAT EXCEED THOSE LISTED IN THE DESIGN CRITERIA SECTION OF THESE PLANS. THIS NOTE SHALL ALSO BE ON DATA PLATE OF BUILDING.
2. APPROVED LABEL AND DATA PLATE LOCATED ON EXTERIOR OF ELECTRICAL PANEL DOOR.
3. THE MANUFACTURE ASSUMES NO RESPONSIBILITY FOR COMPLIANCE TO ANY CODES (STATE OR LOCAL) OTHER THAN THE CODES LISTED ON THIS PAGE. ADDITIONAL APPROVALS, PERMITS, INSPECTIONS, ETC. ALONG WITH ASSOCIATED FEES ARE TO BE ACCOMMODATED BY THE DEALER OR OWNER OF THE BUILDING.
4. THIS BUILDING SHALL BE INSTALLED ABOVE THE FLOOD HAZARD LEVEL.
5. EXTERIOR DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT A KEY OR ANY SPECIAL KNOWLEDGE.
6. IF REQUIRED FIRE EXTINGUISHER(S) ARE TO BE PROVIDED AND INSTALLED AT SITE BY OTHERS.
7. THE BUILDING EXTERIOR AND THE FACILITIES WITHIN THE BUILDING SHALL BE IDENTIFIED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. (SIGNAGE SUPPLIED AND INSTALLED BY OTHERS)
8. REQUIRED ACCESSIBLE ENTRANCES SHALL BE PROVIDED WITH ACCESSIBLE BUILDING APPROACHES PER APPLICABLE CODES. (PROVIDED AND INSTALLED BY OTHERS).
9. DOOR THRESHOLDS SHALL BE NO MORE THAN 1/2 INCH MAXIMUM IN HEIGHT AND WITH BEVELED EDGES. THE BEVEL SHALL NOT BE MORE THAN ONE VERTICAL UNIT TO TWO HORIZONTAL UNITS PER THE ACCESSIBILITY CODE.
10. HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING. FINCHING, OR TWISTING OF THE WRIST TO OPERATE. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MIN. AND 48 INCHES MAX. ABOVE THE FLOOR. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.
11. CONTROLS AND OUTLET MOUNTING HEIGHTS SHALL BE IN ACCORDANCE WITH THE ACCESSIBILITY CODE.

DRAWING INDEX	
SHEET	DESCRIPTION
CV1	COVER SHEET
CV2	DESIGN LOADS
SP1-SP2	SPECIFICATIONS
FL-F1.1	FOUNDATION PLAN/DETAILS
A1	FLOOR PLAN
A2	EXTERIOR ELEVATIONS
E1	ELECTRICAL PLAN
E2	ELECTRICAL DETAILS
M1	MECHANICAL PLAN
P1-P2	PLUMBING PLANS
S1	CROSS SECTION
S2-S2.1	CONNECTION DETAILS
S3	FRAME FRAMING PLAN
S4	FLOOR FRAMING PLAN
S5	ROOF FRAMING PLAN

SUBMITTAL TYPE: INDIANA MOBILE OCCUPANT LOAD: 14 OCCUPANCY TYPE: B CONSTRUCTION TYPE: VB-UNPROTECTED TOTAL SQUARE FEET: 1410	INDIANA MOBILE
CODES: INDIANA MOBILE BUILDING CODE INDIANA MOBILE MECHANICAL CODE INDIANA MOBILE PLUMBING CODE 2009 INDIANA ELECTRICAL CODE: 2008 NEC WITH STATE AMENDMENTS. 2010 INDIANA ENERGY CONSERVATION CODE: 2007 ASHRAE WITH STATE AMENDMENTS. 2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES	

CUSTOMER APPROVAL

☐ APPROVED

☐ APPROVED EXCEPT AS NOTED

☐ REVISE AS NOTED AND RESUBMIT

☐ SEE LETTER OF TRANSMITTAL

APPROVED BY: _____

DATE: _____

THIS PRINT MUST BE SIGNED, DATED, AND RETURNED TO YOUR SALES REPRESENTATIVE AT AGM STRUCTURES

NOTE: ALL PAGES MUST BE SIGNED

PRINT DATE: 2/10/24

DRAWING NUMBER: CV1

DRAWN BY: BB

SHEET DESCRIPTION: COVER PAGE

CUSTOMER: WILLIAMS SCOTSMAN

PLAN APPROVAL #: IN# MTC201G0192

QUOTE NUMBER: 23-083 R1

SCALE: AS NOTED

SERIAL NUMBER: 24-0978

MODEL: 24 x 64 OFFICE

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Elkhart, IN 46516
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DESIGN LOADS		WIND DESIGN	
FLOOR LIVE LOAD: 50 PSF FLOOR DEAD LOAD: 21 PSF ROOF DESIGN LIVE LOAD: 30 PSF ROOF DEAD LOAD: 9 PSF CLIMATE ZONE: 5a		WIND SPEED: 115 MPH 3 SECOND GUST EXPOSURE: C RISK CATEGORY: I	
ROOF SNOW LOAD		SHIPPING INFORMATION:	
PF = (0.7) * (Ce) * (Cd) * (Ct) * (Pg) EXPOSURE FACTOR Ce = 1.0 IMPORTANCE FACTOR I = 1.0 THERMAL FACTOR Ct = 1.1 GROUND SNOW LOAD Pg = 35 ROOF SNOW LOAD 30 PSF		SHIPPING HEIGHT: 12'-4" SHIPPING WIDTH: 12 FEET SHIPPING LENGTH: 60 FEET SHIPPING WEIGHT A: 21200 Lbs SHIPPING WEIGHT B: 20500 Lbs	
SEISMIC DESIGN:			
BUILDING FOOT PRINT: 1410 SQ. FT.		COEFFICIENTS:	
BASIC SEISMIC-FORCE-RESISTING SYSTEM LIGHT-FRAMED WALLS SHEATHED WITH WOOD STRUCTURAL PANELS		SPECTRAL RESPONSE Sds = 0.141 SPECTRAL RESPONSE Sd1 = 0.122 SITE SPECTRAL RESPONSE Ss = 0.132 SITE SPECTRAL RESPONSE S1 = 0.076 SEISMIC IMPORTANCE I = 1.0	
ASSUMED SITE CLASS: D SEISMIC DESIGN CATEGORY: B			

RECOMMENDED UNIFORM ROOF LIVE LOADS FOR SHEATHING AND STURD-I-FLOOR* WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS					
SPAN RATING	PANEL THICKNESS (INCH)	MAXIMUM SPAN (INCH)		ALLOWABLE LIVE LOADS (PSF) SPACING OF SUPPORTS O.C.	
		WITH EDGE SUPPORT (A)	WITHOUT EDGE SUPPORT	16 (INCH)	24 (INCH)
*RATED SHEATHING					
16/O	5/16, 3/8	16	16	30	-
20/O	5/16, 3/8	20	20	50	-
24/O	3/8, 7/16, 15/32, 1/2	24	20 (B)	100	30
24/16	7/16, 1/2	24	24	100	40
40/20	19/32, 5/8	48	32	305	130
*RATED STURD-I-FLOOR					
16 O.C.	19/32, 5/8, 21/32	24	24	100	40
20 O.C.	19/32, 5/8, 3/4	32	32	150	60
24 O.C.	11/32, 23/32, 3/4	40	36	240	100

NOTES:
A. EDGE SUPPORT = T+G EDGES, PANEL EDGE CLIPS (ONE BETWEEN EACH SUPPORT, EXCEPT TWO BETWEEN SUPPORTS 48" O.C.), LUMBER BLOCKING OR OTHER.
B. 24" FOR 15/32" AND 1/2" PANELS
10 PSF DEAD LOAD ASSUMED
* RATINGS BASED ON TEST RESULTS FROM ANY NATIONALLY RECOGNIZED TESTING AGENCY.

FLAME SPREAD RATINGS FOR INTERIOR FINISHES	
MATERIAL	FLAME SPREAD
WALL COVERINGS:	
GYP/SUM	CLASS A
FRP GYP/SUM	CLASS A
VINYL GYP/SUM	CLASS A
WOODGRAN PANELING	CLASS C
CEILING FINISHES:	
PREFINISHED GYP/SUM	CLASS A
T-GRID SUSPENDED CEILING	CLASS B
DUCTWORK:	
FIBERGLASS DUCT BOARD	CLASS A

CUSTOMER APPROVAL ☐ APPROVED ☐ APPROVED EXCEPT AS NOTED ☐ REVISE AS NOTED AND RESUBMIT ☐ SEE LETTER OF TRANSMITTAL APPROVED BY _____ DATE _____	PRINT DATE: 2/10/24	DRAWING NUMBER CY2
	DRAWN BY: BB	

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		SERIAL NUMBER: 24-0978	QUOTE NUMBER: 23-083 RI	PLAN APPROVAL #: N# MTC20160192	DRAWN BY: BB	

STATE SUBMITTALS AND LABELS

State Approval and Indiana Mobile label

Indiana:

FRAME

Main I-beam: M12x10.8 I-Beam (ASTM A36) (Fy=36ksi)
Cross member: Angle & Rod and 13ga formed steel outrigger @ 48" O.C.
Hitch: Detachable w/ 2 5/16" cup and jack
Axles: 3 w/ brakes, under slung (Single triple)
Note: \$2 1/2" spring centers
Tires: New 14-Ply
Paint: Min 3 mil black asphalt
The Downer: Frame ties, if required, on site by others

FLOOR

Covering: 1/8" vinyl composition tile w/one coat of wax (Color = To Be Selected)
Bottom board: Woven plastic insulation support
Insulation: R-30 knitted faced fiberglass (Double layer of R-15)
Joists: 2x8 #2 spf equal or better @ 16" O.C. (Transverse)
Rim joist: 2x8 #2 spf equal or better (double along main lines)
Decking: 3/4" (23/32") T&G Douglas Fir Plywood 16" O.C. min. span index
Note: Holdback top layer of decking / covering each side of main line (Ship loose materials to finish)

WALLS

1/2" Vinyl Covered Gypsum (w/ battens @ wall seams) (Color = To Be Selected)

EXTERIOR

Shade: 2x4 #2 spf @ 16" O.C. w/ double top and single bottom plates
Wall height: 8'-0"
Insulation: R-21 Knitt faced fiberglass batts
Siding: House wrap under siding
Note: 7/16" L2 Smart Side wood siding with grooves every 8" O.C. (Color = To Be Selected)
Skirting: Caulk all seams above doors and windows.
Note: 7/16" Smart Panel wood siding with grooves every 8" O.C. (4x9 sheets)
Note: Shipped Loose, installed on site by others (Color = To Be Selected)
Note: All framing materials, vents, and access panels for skirting at site by others

Exterior Trim:

Trim: 1x4 top, corners, doors, and windows (Color = To Be Selected)
Trim: 1x6 bottom (skipped loose) (Color = To Be Selected)
Trim: 1x6 main line Trim shipped loose (Color = To Be Determined)

INTERIOR

Shade: 2x4 #2 spf @ 16" O.C. w/ double top and single bottom plates
Wall height: 8'-0"
Floor Base: 4" Vinyl cove base (6" in restroom) (Color = To Be Selected)
Wall Trim: Vinyl wrapped wood battens at vertical seams and corners
Ceiling Cove: Vinyl wrapped wood battens
Wall Main-Line: Ship loose battens for wall main lines
Ceiling Main-Line: Ship loose battens for ceiling main lines
Door Trim: Prefinished wood casing
Window Trim: Prefinished wood casing w/ jamb

Interior Trim:

ROOF

Ceiling System: 1/2" prefinished gypsum w/vapor barrier Color: White
Ceiling Height: 8'-0"
Rafters: Mono truss @ 16" O.C.
Main-beam: 2-layers of 1 1/2"x18" 2.0E LVL
Insulation: R-38 insulation
Shunting: 7/16" OSB 24/16 span index
Roofing: .045 Black EPDM rubber roof Fully adhered
Roof Splice: 12"x65' (Black) EPDM Splice (Shipped loose)
Roof venting: Powered screened gable vent to activate @ 65% relative humidity (100 CFM)
Roof venting: Non-powered screened gable vent (16x4)
Gutters: Standard J-Rail

EXTERIOR DOORS

Door: 36x80 ins'tal door w/steel jambs (Door Color = White / Gray / Off White)
Lite Kit: H/C threshold, drip cap, weather stripping
Hardware: 10"x10" Laminated Glass
Hardware: Heavy duty Stay Chain
Hardware: Keyed Entry Lever (Grade 2) (Keyed Alike)

INTERIOR DOORS

Door: 36x80 prefinished hollow core wood door
Jambs: Prefinished wood jambs w/ butterfly hinges
Hardware: Floor mount door stop (Factory Standard)
Hardware: Passage lever set US32D (Grade 3)
Hardware: Privacy lever set US32D (Grade 3)

WINDOWS

Exterior Window: Win-tech GT9 24x33 vertical single hung slider w/ DIG w/ Low E, Argon, White vinyl frame, drip cap, and Bug screen (U=0.27 SHGC=0.23 VT=0.45) (DP + 25/25) (Air Int. 0.11 efm/sqft)

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SCALE: AS NOTED
SERIAL NUMBER: 24-Q978
MODEL: 24 x 64 OFFICE

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CUSTOMER: WILLIAMS SCOTSMAN
QUOTE NUMBER: 23-083 RI
PLAN APPROVAL #: N# HTG20160192

SHEET DESCRIPTION:

SPECIFICATIONS

PRINT DATE: 2/10/24
DRAWN BY: BB
DRAWING NUMBER: SP1

ELECTRICAL	
Service:	120/240V single phase, 3 wire, 60hz w/ground
Load center:	16 circuit with main 150Amp breaker
Entrance:	1 1/2" EMT conduit sub dm floor
Raceway:	Min. #14 AWG NM up to 40A. > 40A in SE type wire.
Lights:	1" x 4' L.E.D. 33w Surface Mount Wrp w/ Acrylic Lens (40085)
Exterior Lights:	120V 14W L.E.D. weatherproof exterior light
Exhaust Fan:	1 Panasonic 100 CFM exhaust fan/it combo w/ LED bath FV-4510VSL1
Noise:	Vented out sidewall with weather hood
Misc:	12 Volt T12lights
4	Color: White
16	120V 15A duplex Tamper Resistant w/wall plate
1	120V 15A Black duplex weather resistant GFCI Protected w/ WP HD in-use cover
1	120V 15A duplex GFCI protected w/ wall plate
1	120V 15A duplex GFCI protected, WP for heat tape (heat tape on site by others)
3	120V Occupancy Sensor switch w/ manual override w/ wall plate (ODS15-IDW)
2	120V toggle type w/ wall plate (Exterior Lights)
5	120V Occupancy Sensor switch w/ dual manual override w/ wall plate (TDOS5-JD-W-F)

PLUMBING	
Supply lines:	PEX (Pressure regulator valve supplied by others at site)
Shut-off Valves:	All Fixtures
Waste Lines:	Schedule 40 PVC
Note:	Manifolding below floor and across main lines to be by others at site
Water Heater:	Vent(s) may need to be finished on site by others due to shipping requirements
Water Closet:	6.5KW 240V instant w/airunit breaker lock out
Lavatory:	H/C type, white w/ elongated bowl & open front; sent w/ 1.6gpi flush tank
Lav. Faucet:	H/C type, 19x17 white wall mount with grid drain
Accessory:	Single lever faucet (No Pop Up)
Tempering:	Insulate P-trap & Supply lines on H/C lines, also cover valves
Accessories:	3/8" hot water tempering valve per ASSE 1070
1	Set grab bars (1) 36, (1) 18 and (1) 42, 1 1/2 diameter
1	18x36 mirror with Stainless Steel Frame
1	T.P. holder (single roll)

HVAC	
Heating:	10KW 240/208V electric resistant heat in wall hung unit
Cooling:	2-ton 240/208V single phase Bard wall hung unit (11.0 EER) (W24AB-A10)
Note:	For 208V service, change low voltage up to 208
Thermostat	Digital 7-Day Programmable
Ducts:	14x6 Fiberglass in roof for HVAC supply air
Diffusers:	12x12 white w/adjustable damper in ceiling.
Diffusers:	8x8 white w/adjustable damper in ceiling. (Restroom)
Return Air:	Set of 14x8 through wall above door
Return Air:	Set of 30x8 through wall above door
Return Air:	24x14 through wall grille #RG-2 @ unit/plenum wall

SPECIALTIES	
Extinguisher:	If required, on site by others

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PRINT DATE: 2/10/24

DRAWN BY: BB

DRAWN BY: BB

DRAWING NUMBER: SP2

DRAWING NUMBER: SP2

SHEET DESCRIPTION: SPECIFICATIONS

CUSTOMER: WILLIAMS SCOTSHAN

PLAN APPROVAL #: N# M1020160152

QUOTE NUMBER: 23-083 R1

MODEL: 24 x 64 OFFICE

SCALE: AS NOTED

SERIAL NUMBER: 24-0478

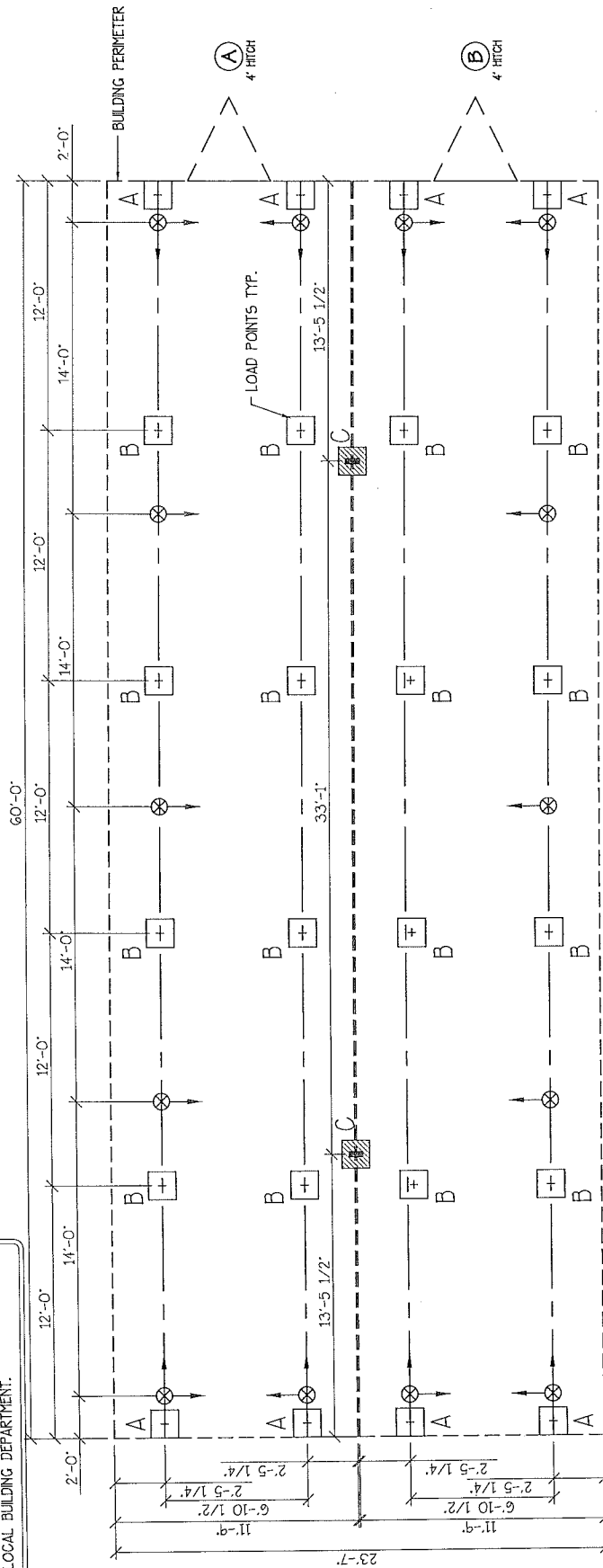
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- FOUNDATION NOTE:
1. ASSUMED SOIL BEARING 2000 PSF.
 2. CONCRETE FOOTING DESIGNED TO 3000 PSI MINIMUM.
 3. CRAWL SPACE VENTILATION PROVIDED ON SITE BY OTHERS
 4. CRAWL SPACE ACCESS PROVIDED ON SITE BY OTHERS
 5. TIE-DOWN STRAPS SHALL BE 1-1/4" X 0.035" TYPE 1, FINISH B, GRADE 1 GALVANIZED STEEL STRAPPING MEETING ANSI 225.1 AND ASTM D3953 G60.

NOTE: THE EXTERIOR BUILDING DIMENSIONS INDICATED ON THE FLOOR PLANS ARE FROM THE EXTERIOR SIDE OF STUD NOT INCLUDING FINISH OF EXTERIOR WALL. INTERIOR DIMENSIONS ARE FROM FINISH TO FINISH.

NOTE: THIS DRAWING IS NOT THE FINAL FOUNDATION DESIGN. THE PURPOSE OF THIS PLAN IS TO SHOW CALCULATED LOAD POINTS. THE ACTUAL DESIGN OF THE FOUNDATION MUST MEET LOCAL CODES AND SOIL CONDITIONS BY A REGISTERED PROFESSIONAL AND IS THE RESPONSIBILITY OF THE DEALER AND/OR INSTALLER OF THIS BUILDING. A SEPARATE FOUNDATION DRAWING SET MUST BE SUBMITTED TO THE LOCAL BUILDING DEPARTMENT.



FOUNDATION PLAN

SCALE: 3/16"=1'-0"

POINT LOADS

SYMBOL	LOAD POINT IN KIPS	FOOTING SIZE
A	4.1	18" X 18"
B	7.7	24" X 24"
C	9.2	30" X 30"

STRAP TO I-BEAM TYP.

SUGGESTED ANCHOR LOCATION TYP.

+ CONCRETE BLOCK FROM TOP OF PIER TO BOTTOM PERIMETER I-BEAM

CONCRETE BLOCK FROM TOP OF PIER TO BOTTOM OF FLOOR

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 DRAWN BY: BB

DRAWING NUMBER
F1

SHEET DESCRIPTION:

FOUNDATION PLAN

CUSTOMER: WILLIAMS SCOTSHAN
 QUOTE NUMBER: 23-083 RI
 PLAN APPROVAL #: N/A
 N/A: NTC20160192

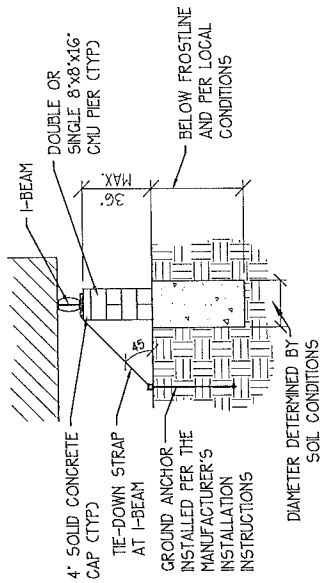
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SERIAL NUMBER: 24-0478
 MODEL: 24 x 64 OFFICE

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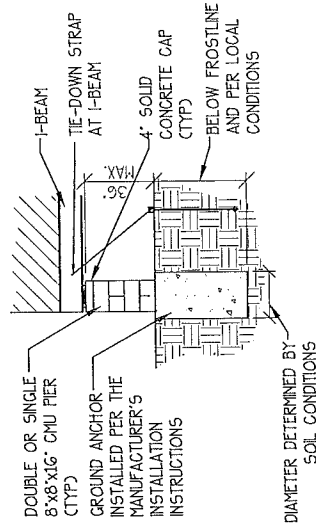
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SUGGESTED TIE-DOWN DETAIL

SCALE: 3/16"=1'-0"



SUGGESTED LONGITUDINAL TIE-DOWN DETAIL

SCALE: 3/16"=1'-0"

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FOUNDATION DETAILS

CUSTOMER: WILLIAMS SCOTSMAN	PLAN APPROVAL #: N# MTC20160192
QUOTE NUMBER: 23-083 R1	

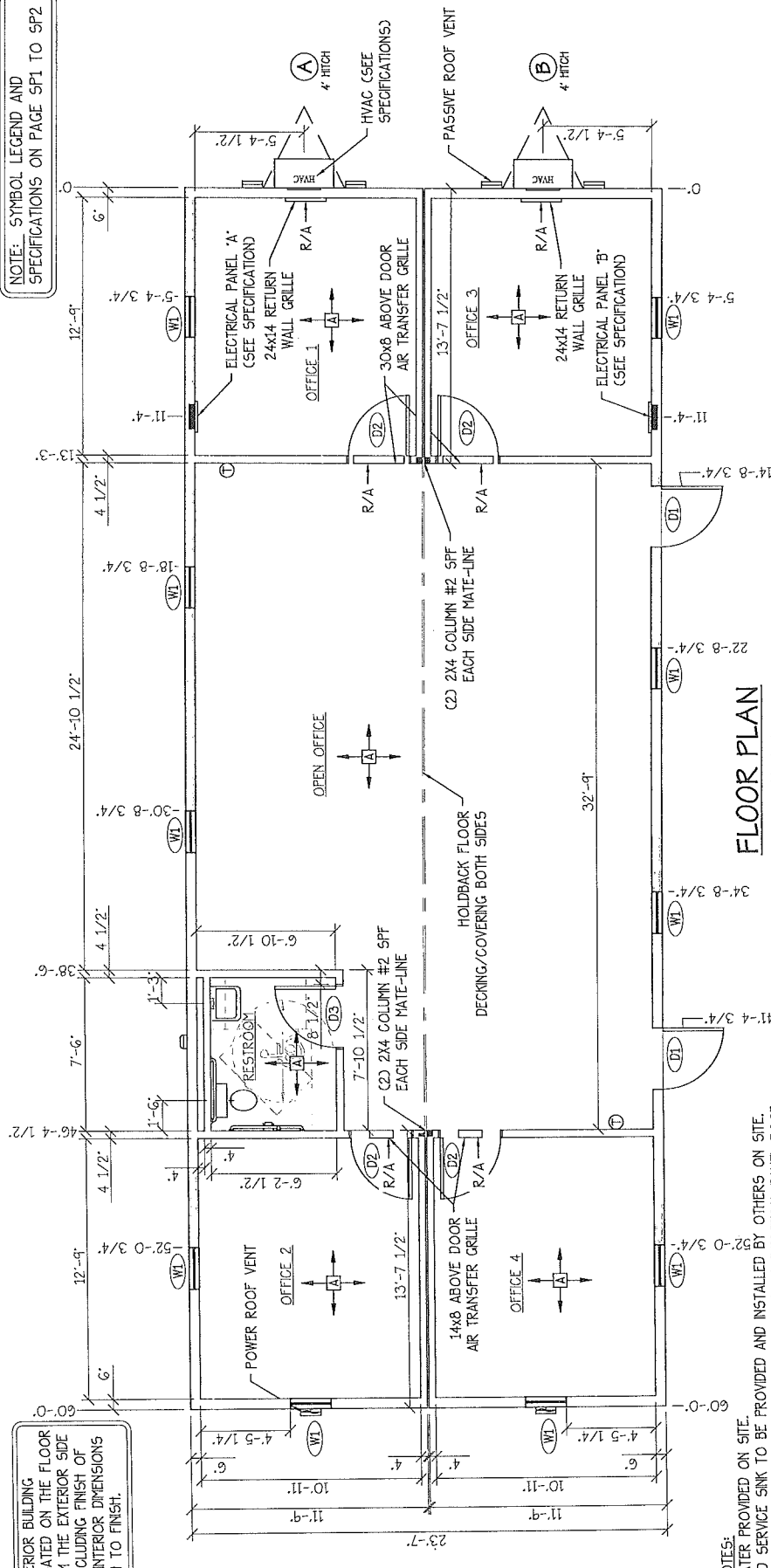
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SERIAL NUMBER: 24-C478	

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NOTE: SYMBOL LEGEND AND SPECIFICATIONS ON PAGE SP1 TO SP2

NOTE: THE EXTERIOR BUILDING DIMENSIONS INDICATED ON THE FLOOR PLANS ARE FROM THE EXTERIOR SIDE OF STUD NOT INCLUDING FINISH OF EXTERIOR WALL. INTERIOR DIMENSIONS ARE FROM FINISH TO FINISH.



FLOOR PLAN NOTES:
1. BOTTLE WATER PROVIDED ON SITE.
2. IF REQUIRED SERVICE SINK TO BE PROVIDED AND INSTALLED BY OTHERS ON SITE.
3. STATE LABELS AND DATA PLATE LOCATED ON FRONT OF ELECTRICAL PANEL DOOR

DOOR/WINDOW SCHEDULE

TAG	SIZE	TYPE	JAMB/FRAME	ROUGH OPENING	SILL HEIGHT	HEADERS
D1	36 x 80	TELLSTAR - STEEL	STEEL	36 1/4" x 80 1/4"	-	2-2X6 #2 SPT ON EDGE W/TILER
D2D3	36 x 80	WOOD HOLLOW CORE	WOOD	36" x 82"	-	NON LOAD BEARING
W1	24 x 53	VERTICAL	VINYL	24 1/2" x 53 1/4"	27 AFF.	2-2X6 #2 SPT ON EDGE W/TILER

WALLS
1/2" Vinyl Covered Gypsum (w/ battens @ wall seams) (Color = To Be Selected)

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- HEADER NOTES:
- ALL STRUCTURAL HEADERS SHALL BE FASTENED AND BEAR ON
(C) 2X4/G #25PF JACK STUD EACH SIDE.
 - ALL OPENINGS TO HAVE (C) 2X4/G #25PF JAMB STUD EACH SIDE OF OPENING.
 - OPENINGS ON END WALLS DO NOT REQUIRE STRUCTURAL HEADER DUE TO ROOF TRUSS CARRIES THE LOAD UNLESS NOTED.



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SCALE: A5 NOTED

SHEET DESCRIPTION: FLOOR PLAN

CUSTOMER: WILLIAMS SCOTSMAN

QUOTE NUMBER: 23-083 R1

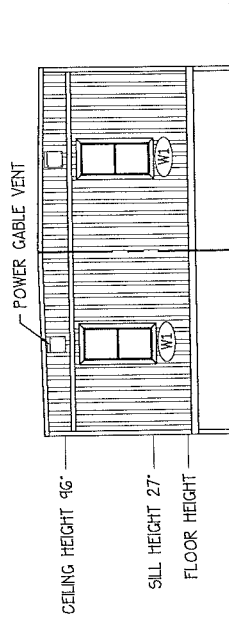
MODEL: 24 x G4 OFFICE

PLAN APPROVAL #: INF MIT0201010192

PRINT DATE: 2/10/24

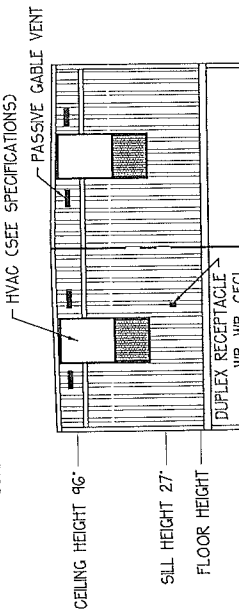
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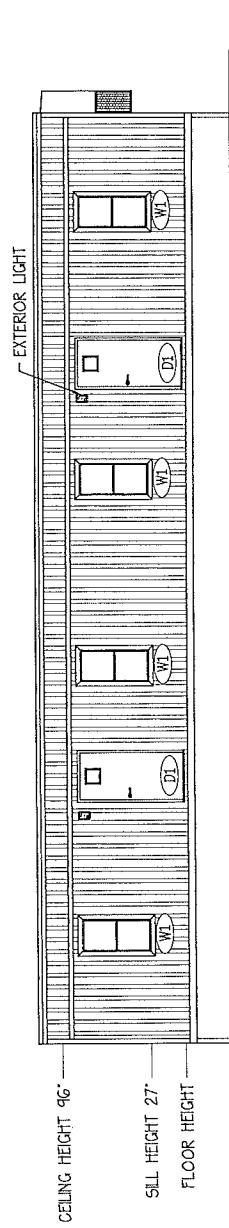
REAR ELEVATION

SCALE: 1/8"=1'-0"



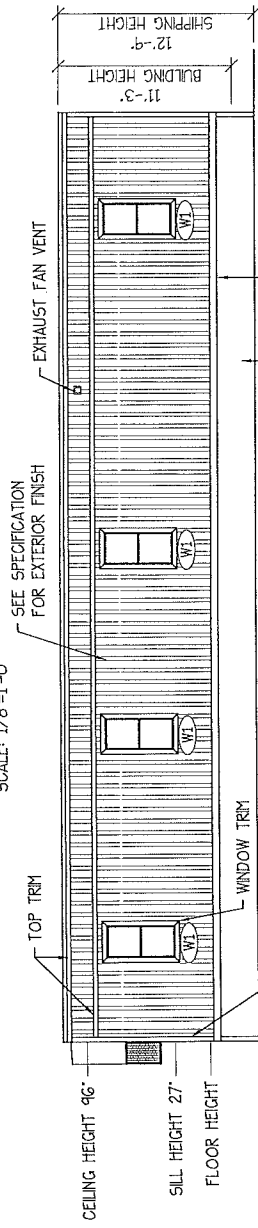
HITCH END ELEVATION

SCALE: 1/8"=1'-0"



CURB SIDE ELEVATION

SCALE: 1/8"=1'-0"



ROAD SIDE ELEVATION

SCALE: 1/8"=1'-0"

FASTENING SCHEDULE

APPLICATION	METHOD	QUANTITY	TYPE	NOTES
SIDING TYPE				
SMART PANEL TO WALL FRAMING	NAILED	SEE NOTE	0.131"x2.5"	12" O.C. FIELD, 6" O.C. EDGE (UNLESS NOTED)
WINDOWS TO WALL FRAMING	NAILED	SEE NOTE	0.131"x2.5"	PER WINDOW FLANGE
TELL /ELIXER DOORS TO WALL FRAMING	NAILED	SEE NOTE	0.131"x2.5"	PER DOOR FLANGE

NOTE: SYMBOL LEGEND AND SPECIFICATIONS ON PAGE SP1 TO SP2

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DRAWN BY: BB
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ELEVATIONS

CUSTOMER: WILLIAMS SCOTSMAN
QUOTE NUMBER: 23-083 R1
PLAN APPROVAL #: N# MTC2016C192

MODEL: 24 x 64 OFFICE
SERIAL NUMBER: 24-0978

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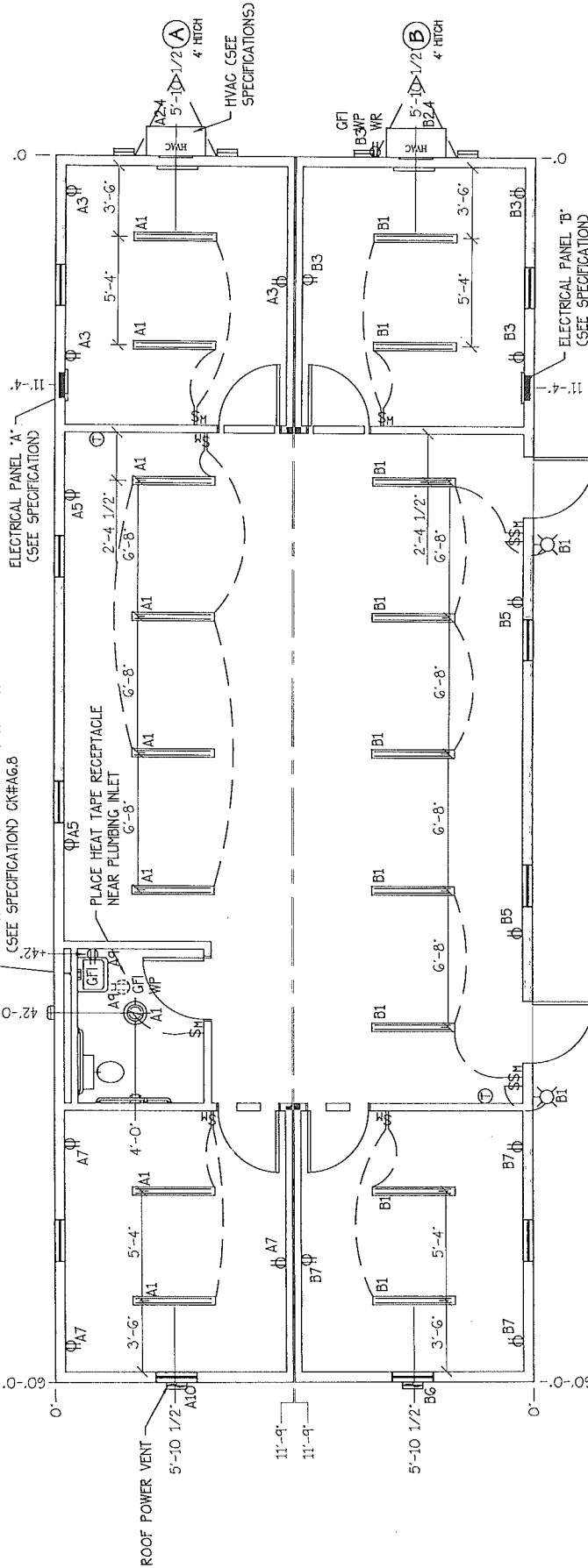
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NOTE: SYMBOL LEGEND AND SPECIFICATIONS ON PAGE SP1 TO SP2

ELECTRICAL INSTALLATION NOTES:

1. ALL RECEPTACLES ARE +18" A.F.F. TO BOTTOM OF BOX UNLESS NOTED.
2. ALL SWITCHES ARE +42" A.F.F. TO BOTTOM OF BOX UNLESS NOTED.
3. ALL PHONE/DATA J-BOXES ARE +18" A.F.F. TO BOTTOM OF BOX UNLESS NOTED.

ELECTRIC INSTANTANEOUS WATER HEATER
(SEE SPECIFICATION CK#AG8)



ELECTRICAL

- Services:
120/240V single phase, 3 wire, 60Hz w/ground
16 circuit with main 150Amp breaker
1 1/2" EMT conduit amb thru floor
MIS. #14 AWG NM up to 40A, > 40A, in SE type wire.
1" x 4" E.L.D. 33W Surface Mount Wip w/ Acrylic Lens (40085)
120V 14W LED, weatherproof exterior light
Pansonic 100 CFM exhaust fan/ combo w/ LED bulb FV40S10VSL1
Vented out sidewall with weather hood
12 Volt Talllight
Colors: White
120V 15A duplex Tangle Free/Resistant schwall plate
120V 15A duplex weather resistant GFCI Protected w/ WP 1IP in-use cover
120V 15A duplex GFCI Protected w/ wall plate
120V 15A duplex GFCI Protected, WP for just type (don't use on side by others)
120V Occupancy Sensor switch w/ manual override w/ wall plate (OSI S1DWP)
120V toggle type w/ wall plate (Exterior Light)
120V Occupancy Sensor switch w/ dual manual override w/ wall plate (CDOSS-JD-W-F)

- Receptacles/Switches:
GFI, WP, WRB
GFI, WPB
GFI, WRB
Switches:
S1, S2, S3, S4, S5

ELECTRICAL PLAN

SCALE: 3/16"=1'-0"

ELECTRICAL PLAN NOTES:

1. NM TYPE CABLE NOT TO BE RAN IN SUSPENDED CEILINGS OR CAVITIES USED AS RETURN AIR CHASES. WIRING IN THESE AREAS SHOULD BE RUN IN CONDUIT OR MC TYPE CABLE.
2. ALL EXTERIOR METAL TO BE GROUNDED PER N.E.C. OR APPLICABLE CODE.
3. WEATHERPROOF PROTECTION REQUIRED FOR ALL OUTDOOR LIGHTS, RECEPTACLES AND DISCONNECTS.

CUSTOMER APPROVAL

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SCALE: AS NOTED
SHEET DESCRIPTION: ELECTRICAL PLAN
CUSTOMER: WILLIAMS SCOTSMAN
QUOTE NUMBER: 23-083 RI
MODEL: 24 x 64 OFFICE
PLAN APPROVAL #: INF MTC20160192

PRINT DATE: 2/10/24
DRAWN BY: BB
DRAWING NUMBER: E1

Panel ID: "A"											
VOLTAGE: MOUNTED TYPE SURFACE/FLUSH:						120/240 SURFACE					
**MAIN BREAKER: 150A						PHASE: INTERIOR/EXTERIOR:					
MAIN LUGS ONLY:						LOCATION:					
LOAD	AREA SERVED	WIRE	BRK	QTY	A	B	QTY	BRK	WIRE	AREA SERVED	LOAD
525	LIGHTING	14	15	1	●		2	60	6	HVAC	5282
540	RECEPTACLES	14	15	3			4	60	6		5282
360	RECEPTACLES	14	15	5	●		6	30	10	WATER HEATER	3240
540	RECEPTACLES	14	15	7			8	30	10		3240
743	OTEL / HEAT TAFE	14	15	9	●		10	15	14	ROOF VENT	180
0	SPACE	-	0	11			12	0	-	SPACE	0
0	SPACE	-	0	13	●		14	0	-	SPACE	0
0	SPACE	-	0	15		●	16	0	-	SPACE	0
CALCULATION OF CONTINUOUS LOAD:											
NEC MINIMUM LIGHTING LOAD:						TOTAL FOR PHASE "A"					
705 SQUARE FEET X 3.5 =						TOTAL FOR PHASE "B"					
ACTUAL LIGHTING LOAD:						2468 VA TOTAL CONNECTED LOAD					
USE LARGER OF NEC OR ACTUAL:						525 VA NON-CONTINUOUS LOAD					
OTHER CONTINUOUS LOADS:						2468 VA FACTORED CONTINUOUS LOAD					
TOTAL CONTINUOUS LOAD:						1 VA					
FACTORED CONTINUOUS LOAD X 125						2469 VA TOTAL LOAD					
						3086 VA TOTAL LOAD/240 VOLTS =					
						64 Amps					

Panel ID: "B"

VOLTAGE: MOUNTED TYPE SURFACE/FLUSH:

120/240 SURFACE

PHASE: INTERIOR/EXTERIOR: LOCATION:

SINGLE 3 WIRE PER PRINT

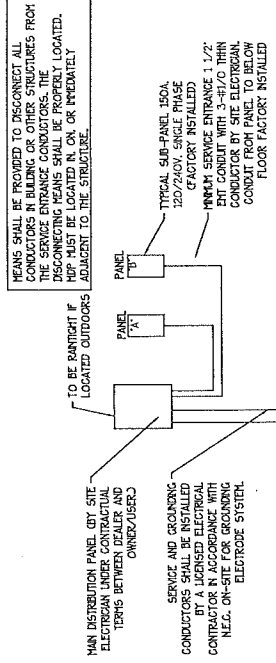
**MAIN BREAKER: 150A

MAIN LUGS ONLY:

LOAD	AREA SERVED	WIRE	BRK	QTY	A	B	QTY	BRK	WIRE	AREA SERVED	LOAD
525	LIGHTING	14	15	1			2	60	6	HVAC	5282
720	RECEPTS/EXT. QTY	14	15	3			4	60	6		5282
360	RECEPTACLES	14	15	5			6	15	14	ROOF VENT	180
540	RECEPTACLES	14	15	7			8	0	-	SPACE	0
0	SPACE	-	0	9			10	0	-	SPACE	0
0	SPACE	-	0	11			12	0	-	SPACE	0
0	SPACE	-	0	13			14	0	-	SPACE	0
0	SPACE	-	0	15			16	0	-	SPACE	0
CALCULATION OF CONTINUOUS LOAD:											
NEC MINIMUM LIGHTING LOAD:					TOTAL FOR PHASE "A"			6347 VA			
705 SQUARE FEET X 3.5 =					TOTAL FOR PHASE "B"			6542 VA			
ACTUAL LIGHTING LOAD:					2468 VA TOTAL CONNECTED LOAD			12889 VA			
USE LARGER OF NEC OR ACTUAL:					525 VA NON-CONTINUOUS LOAD:			12363 VA			
OTHER CONTINUOUS LOADS:					2468 VA FACTORED CONTINUOUS LOAD:			3086 VA			
TOTAL CONTINUOUS LOAD:					1 VA						
FACTORED CONTINUOUS LOAD X 125					2469 VA TOTAL LOAD			15449 VA			
					3086 VA TOTAL LOAD/240 VOLTS =			64 Amps			

WIRE TYPES	
WIRE	TYPE
2-2-4 SEU	SERVICE ENTRANCE 600 VOLTS
6-6-8 SEU	THRU 600 VOLTS
#8	NH-8 WITH GROUND 600 VOLTS
#10	NH-8 WITH GROUND 600 VOLTS
#12	NH-8 WITH GROUND 600 VOLTS
#14	NH-8 WITH GROUND 600 VOLTS

- NOTES:
- DISCONNECT AND/OR FULL LOAD AMPERE RATING VOLTAGE AND PHASE SHALL BE REQUIRED FOR ALL MOTORS
 - SERVICE AND GROUNDING CONDUCTORS SHALL BE INSTALLED BY A LICENSED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH NEC, ON SITE RE: GROUNDING SYSTEMS ELECTRODE SYSTEM.
 - SITE CONTRACTOR MAY SUBSTITUTE WIRE TYPES IN CONFORMANCE WITH NEC.
 - ALL WIRE LOCATIONS SHALL BE LOCATED ON OR IN A READILY ACCESSIBLE LOCATION.
 - THE MARKING NUMBERS OF DISCONNECTS AND GROUPING OF DISCONNECTS SHALL BE IN CONFORMANCE WITH SECTIONS 230-71 AND 230-72.
 - MAIN DISTRIBUTION PANEL SHALL BE SIZED A MINIMUM OF THE LOAD INDICATED ON THE ELECTRICAL LOAD CALCULATION.



ELECTRICAL PANEL RISER DIAGRAM

SCALE: NOTE

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PRINT DATE: 2/10/24
DRAWING NUMBER: E2

SHEET DESCRIPTION: ELECTRICAL DETAILS

CUSTOMER: WILLIAMS SCOTSMAN
QUOTE NUMBER: 23-083 R1
PLAN APPROVAL #: N# NTC20160192

SCALE: AS NOTED
SERIAL NUMBER: 24-0978
MODEL: 24 x 64 OFFICE

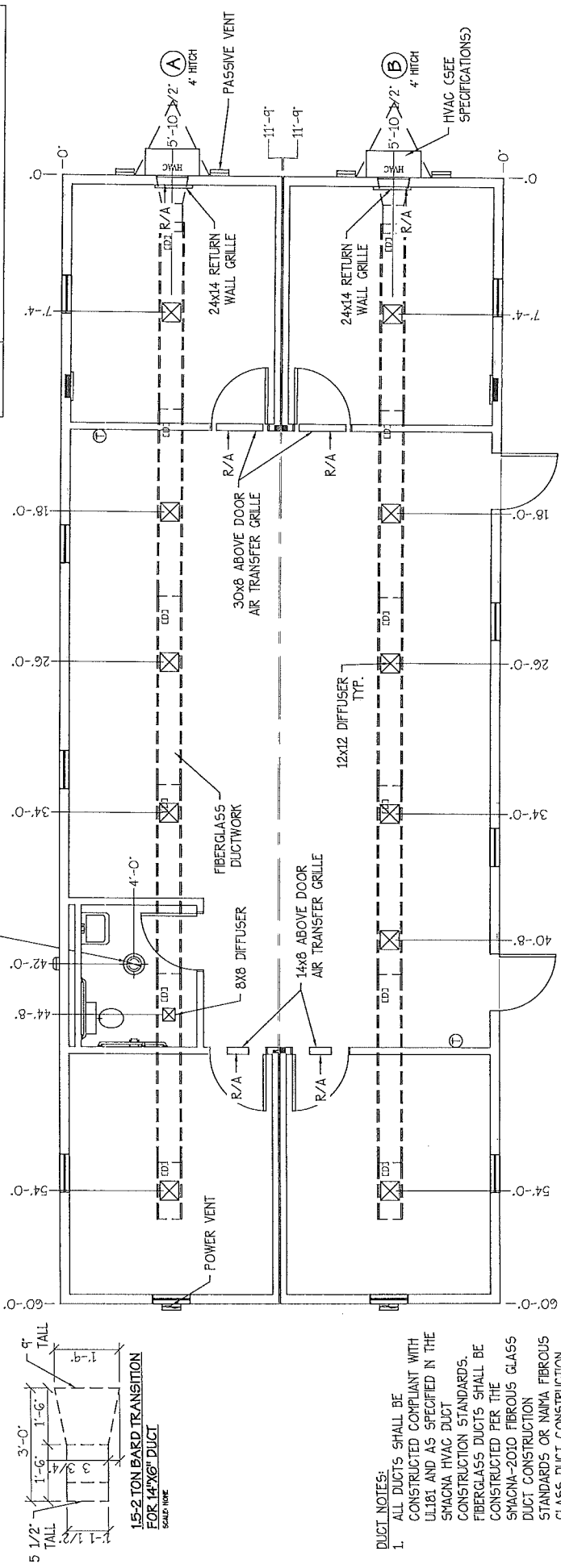
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NOTE: THE EXTERIOR BUILDING DIMENSIONS INDICATED ON THE FLOOR PLANS ARE FROM THE EXTERIOR SIDE OF STUD NOT INCLUDING FINISH OF EXTERIOR WALL. INTERIOR DIMENSIONS ARE FROM FINISH TO FINISH.

NOTE: SYMBOL LEGEND AND SPECIFICATIONS ON PAGE SP1 TO SP2

DUCT LEGEND	
SYMBOL	DUCT SIZE CALL DIMENSIONS ARE INSIDE
D	14" WIDTH X 6" HEIGHT X 10' LONG C OR CUT TO FIT



MECHANICAL PLAN

SCALE: 3/16"=1'-0"

Heating:	Cooling:	Note:	Notes:
10KV 240/208V Electric resistance heat in wall hung unit	2-ton 240/208V single phase heat wall hung unit (11.0 BHP) (W540B-A10)	For 208V service, change low voltage tag to 208	Digital 7-Day Programmable
14x6 Phergus in roof for HVAC supply air	12x12 white w/adjustable damper in ceiling	8x8 white w/adjustable damper in ceiling (Room)	Set of 14x8 through wall above door
Set of 30x8 through wall above door	24x14 through wall grille R/C-2 @ unit/plenum wall		

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- MECHANICAL PLAN NOTES:
- ATTIC TO BE MECHANICALLY VENTILATED AT AT MINIMUM 2.02 CFM PER SF.
 - POWER ROOF VENT SHOWN TO BE MINIMUM OF 50 CFM AND OPERATES RELATIVE 60% HUMIDITY.
 - EXHAUST FANS AND VENTING EQUIPMENT TO BE DUCTED TO EXTERIOR AND TERMINATE AT AN APPROVED VENT CAP.
 - BOARD HVAC UNIT IS EQUIPPED WITH FRESH AIR INTAKE LOUVERS AND DAMPER AND CAPABLE OF UP TO 25% FRESH AIR.
 - HVAC SYSTEM TO BE TESTED AND BALANCED WITHIN 10% OF THE DESIGN PARAMETERS AND ANY REPORTS REQUIRED ARE TO BY SITE CONTRACTOR ONCE BUILDING IS INSTALLED AT SITE.



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SCALE: AS NOTED

SERIAL NUMBER: 24-0478

MODEL: 24 x 64 OFFICE

QUOTE NUMBER: 23-083 R1

SHEET DESCRIPTION:

MECHANICAL PLAN

PRINT DATE: 2/10/24

DRAWN BY: BB

DRAWING NUMBER

M1

DWV NOTES:

1. ALL HORIZONTAL RUNS SHALL HAVE A UNIFORM SLOPE OF 1/4" PER FOOT TOWARD DRAIN.
2. ALL CLEAN OUTS SHALL BE ACCESSIBLE; CLEAN OUTS PROVIDED AT BASE OF ALL WASTE AND SOIL STACKS, AND PROVIDED SO THAT ALL HORIZONTAL PIPING CAN BE REACHED WITH A CLEAN OUT TOOL WITHOUT PASSING THROUGH MORE THAN 45 DEGREE OF TURNS.
3. ROOF VENTS SHALL NOT BE LOCATED WITHIN 10' OF OTHER VENTILATING INTAKE OPENINGS.
4. JOINTS FORMED WHERE FIXTURES COME IN CONTACT WITH WALLS OR FLOORS SHALL BE SEALED.
5. ENTIRE DRAIN, WASTE AND VENT SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE PLUMBING CODE.
6. WHEN REQUIRED DUE TO BUILDING SHIPPING HEIGHT, VENT EXTENSIONS WILL BE SHIPPED LOOSE FOR FIELD INSTALLATION UNDER CONTRACTUAL TERMS BETWEEN CUSTOMER AND OWNER/USER.
7. ALL HORIZONTAL RUNS SHALL BE SUPPORTED 48" O.C. MAX.
8. VENTS SHALL BE 3" DIAMETER, 12" ABOVE AND BELOW ROOF.

DWV FITTING NOTES:

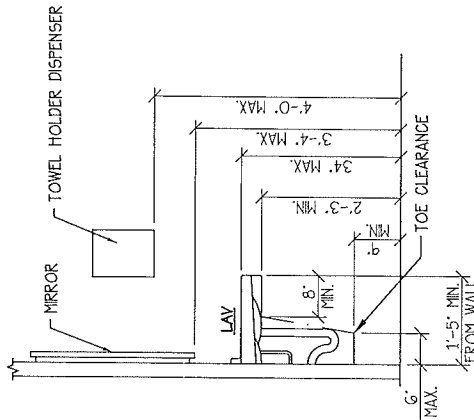
1. ALL VERTICAL TO HORIZONTAL CHANGE OF DIRECTION SHALL BE THROUGH A LONG TURN T-Y OR COMBINATION WYE AND 1/8 BEND WITH THE EXCEPTION OF THE WATER CLOSET TRAP ARM WHICH SHALL BE AN EXTRA LONG TURN 40 DEGREE ELBOW.
2. ALL HORIZONTAL TO VERTICAL CHANGE OF DIRECTION SHALL BE THROUGH A SANITARY TEE OR WHEN C23 FIXTURES ENTER A VERTICAL STACK AT THE SAME LEVEL, A DOUBLE SANITARY TEE SHALL BE USED, EXCEPT FOR BLOW OUT FIXTURES AND FIXTURES OR APPLIANCES WITH PUMPING ACTION DISCHARGE.
3. ALL HORIZONTAL TO HORIZONTAL CHANGE OF DIRECTION SHALL BE THROUGH A LONG TURN T-Y OR COMBINATION WYE AND 1/8 BEND.
4. BACK TO BACK WATER CLOSETS SHALL HAVE A DOUBLE T-Y FITTING.

WATER SUPPLY NOTES:

1. ALL WATER SUPPLY FITTINGS SHALL BE EITHER COPPER, BRASS, OR GALVANIZED STEEL.
2. ALL WATER SUPPLY PIPING SHALL BE SUPPORTED 48" O.C. HORIZONTALLY. ALL PEW WATER SUPPLY PIPING SHALL BE SUPPORTED NOT MORE THAN 32" O.C. HORIZONTALLY.
3. ALL PIPING AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PLUMBING CODE.
4. WATER HEATER THERMOSTAT TO BE FACTORY SET AT 120 F.
5. TANK TYPE WATER HEATERS SHALL BE EQUIPPED WITH A DRAIN VALVE.
6. IF THE BUILDING IS BEING LOCATED IN A CLIMATE WITH FREEZING TEMPERATURES, BELOW FLOOR PIPING SHALL BE PROTECTED AGAINST FREEZING BY HEAT TAPING. HEAT TAPE SHALL BE PROVIDED AND INSTALLED AT SITE UNDER CONTRACTUAL TERMS BETWEEN CUSTOMER AND OWNER/USER.
7. FACTORY WILL INSTALL 3/8" PPE INSULATION ON ALL COLD WATER SUPPLY LINES.
8. PRESSURE REGULATOR, IF REQUIRED AND FULL SIZE SHUTOFF VALVE BETWEEN BUILDING AND WATER MAIN (METER) TO BE BY SITE CONTRACTOR.

GENERAL NOTES:

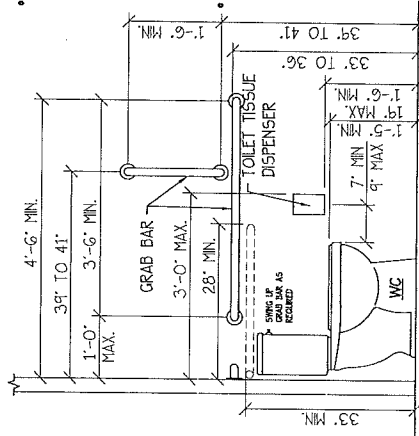
1. IN CONCEALED LOCATIONS WHERE PIPING, OTHER THAN CAST IRON OR GALVANIZED STEEL, IS INSTALLED THROUGH HOLES OR NOTCHES IN STUDS, JOISTS, RAFTERS OR SIMILAR MEMBERS LESS THAN 15 INCHES FROM THE NEAREST EDGE OF THE MEMBER, THE PIPE SHALL BE PROTECTED BY SHIELD PLATES. PROTECTIVE SHIELD PLATES SHALL BE A MINIMUM OF .062 INCHES THICK STEEL, SHALL COVER THE AREA OF THE PIPE WHERE THE MEMBER IS NOTCHED OR BORED, AND SHALL EXTEND A MINIMUM OF 2 INCHES ABOVE SOLE PLATES AND BELOW TOP PLATES.



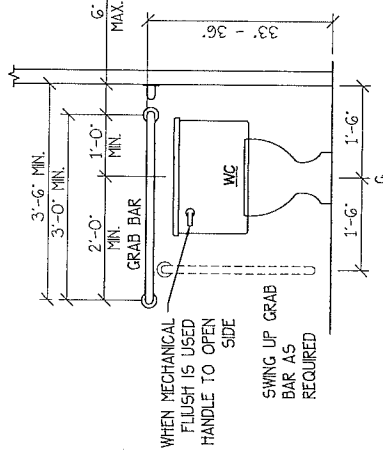
- HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
- CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBF. LEVER OPERATED, PUSH TYPE, AND ELECTRICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGN. IF SELF-CLOSING VALVES ARE USED THE FAUCET SHALL REMAIN OPEN AT LEAST 10 SECONDS.

LAVATORY CLEARANCES

SCALE: NONE



SIDE VIEW



FRONT VIEW

WATER CLOSET CLEARANCES

SCALE: NONE

FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. CONTROLS FOR FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF TOILET AREAS NO MORE THAN 44 INCHES ABOVE THE FLOOR.

THE DIAMETER OR WIDTH OF THE GRIPPING SURFACES OF A GRAB BAR SHALL BE 1-1/4 INCHES TO 1-1/2 INCHES. OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. IF GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1-1/2 INCHES.

GRAB BARS SHALL SUPPORT 250 LBF IN BENDING AND SHEAR. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS. GRAB BARS SHALL HAVE A SLIP RESISTANT FINISH.

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PRINT DATE:	2/10/24	DRAWING NUMBER	P1
DRAWN BY:	BB		

SHEET DESCRIPTION: PLUMBING NOTES / DETAILS

CUSTOMER:	WILLIAMS SCOTSMAN
QUOTE NUMBER:	23-083 RI
MODEL:	24 x G4 OFFICE
PLAN APPROVAL #:	N# MT020160192

SCALE: AS NOTED
SERIAL NUMBER: 24-0478

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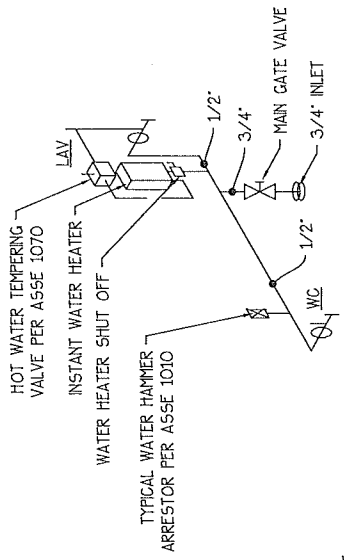
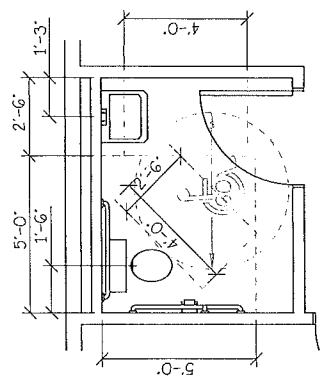


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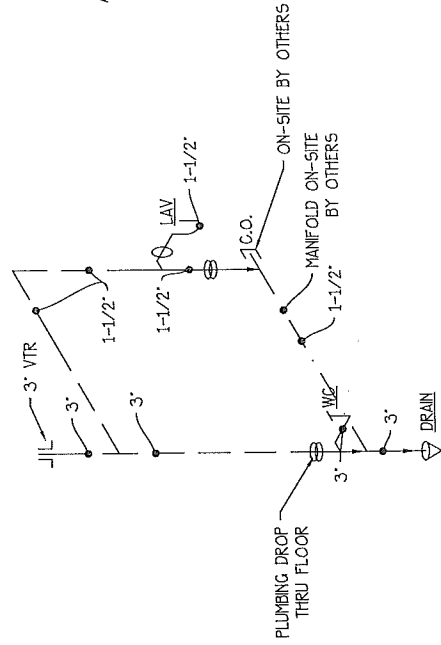
PLUMBING LEGEND

VTR	VENT THRU ROOF
CW	COLD WATER
HW	HOT WATER
PD	POOL DRAIN
WD	WATER DRAIN
WC	WATER CLOSET
UR	URINAL
LAV	LAVATORY
CA	TOILET CARRIER
CO	CLEAN OUT
MOP	SERVICE SINK
WH	WATER HEATER
SH	SHOWER
	VENT THROUGH ROOF (SEE NOTES)
	THROUGH FLOOR PENETRATION (TYPICAL)
	THROUGH WALL PENETRATION (TYPICAL)
	SHUT-OFFS
	CLEAN OUT (C.W./H.W.)
	HOT WATER TEMPERING DEVICE

PLUMBING NOTE:
1. MAXIMUM DEVELOPED LENGTH OF 100 FEET AND 50 TO 60 PSI FOR MINIMUM SUPPLY PRESSURE



SUPPLY SCHEMATIC
SCALE: NONE



DW SCHEMATIC
SCALE: NONE

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PRINT DATE:	2/10/24
DRAWN BY:	BB
DRAWING NUMBER	P2

SHEET DESCRIPTION: **PLUMBING SCHEMATIC**

CUSTOMER:	WILLIAMS SCOTSMAN
QUOTE NUMBER:	23-083 R1
PLAN APPROVAL #:	N# NTC20160192

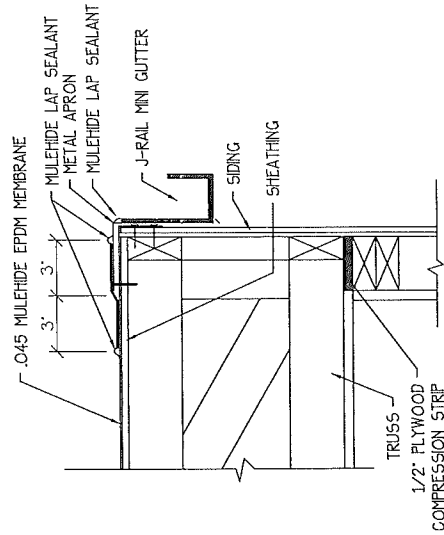
SCALE:	AS NOTED
SERIAL NUMBER:	24-0776
MODEL:	24 x 64 OFFICE

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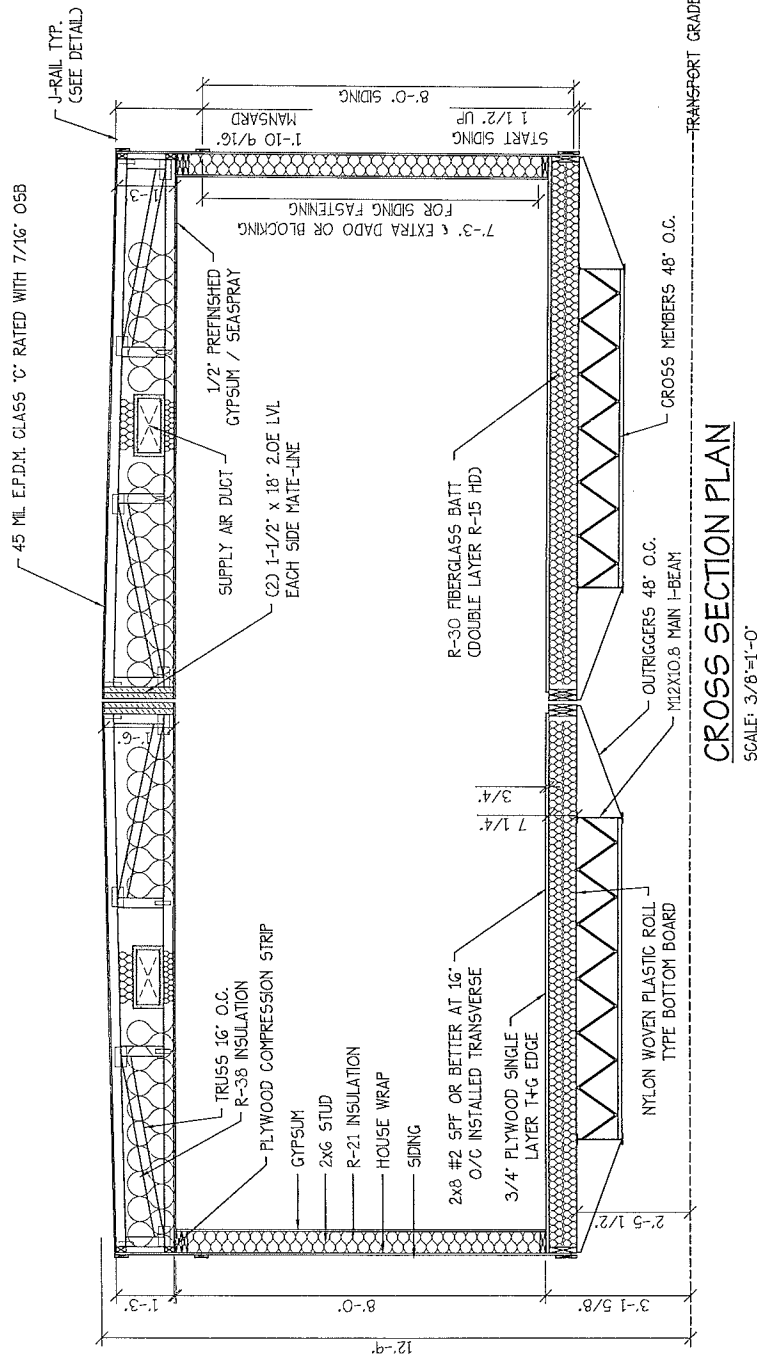
NOTE: THE EXTERIOR BUILDING DIMENSIONS INDICATED ON THE FLOOR PLANS ARE FROM THE EXTERIOR SIDE OF STUD NOT INCLUDING FINISH OF EXTERIOR WALL. INTERIOR DIMENSIONS ARE FROM FINISH TO FINISH.

NOTE: SYMBOL LEGEND AND SPECIFICATIONS ON PAGE SP1 TO SP2



TYPICAL J-RAIL TRIM

SCALE: NONE



CROSS SECTION PLAN

SCALE: 3/8\"=1'-0"

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APPROVED BY
DATE

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SHEET DESCRIPTION:
CROSS SECTION

CUSTOMER:
WILLIAMS SCOTSMAN
PLAN APPROVAL #:
IN# HT20160192

SCALE:
AS NOTED
SERIAL NUMBER:
24-0778
MODEL:
24 x 64 OFFICE

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DRAWING
NUMBER
51

PRINT DATE:
2/10/24
DRAWN BY:
DB

CONNECTION SCHEDULE

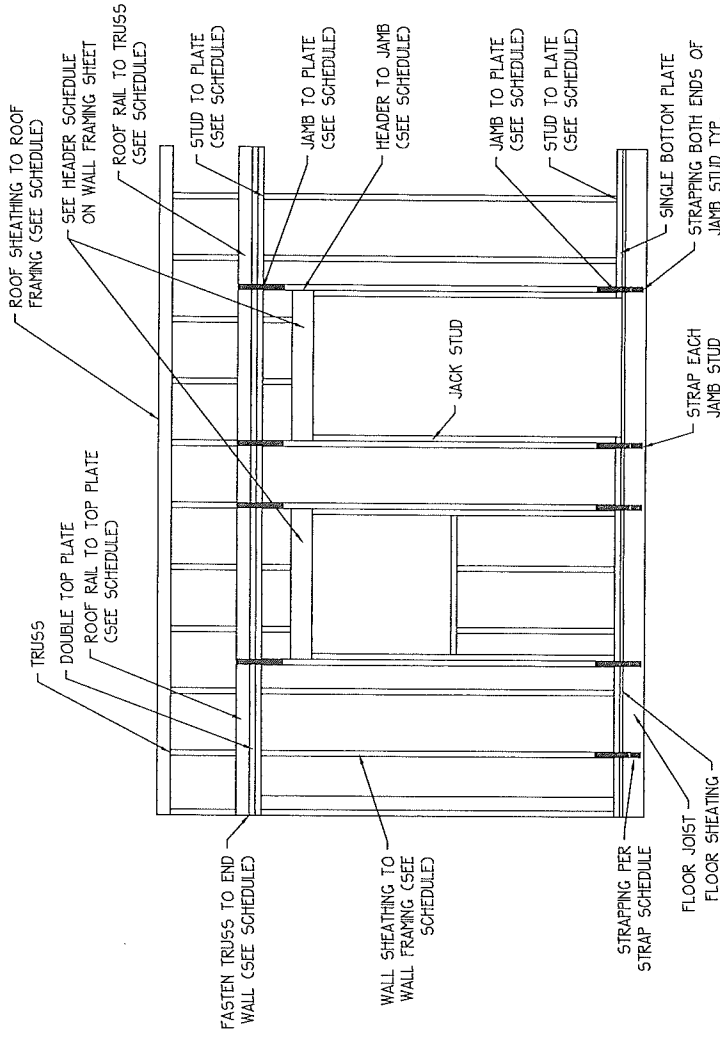
APPLICATION	METHOD	QUANTITY	TYPE	NOTES
DOUBLE TOP PLATE	STAPLED	SEE NOTE	Q25	C2) AT 6" O.C.
STUD TO PLATE	END-NAILED / END STAPLED	3	0.131"x3" / Q25	-
JAMB STUD TO PLATE	END-NAILED / END STAPLED	3	0.131"x3" / Q25	-
HEADER TO JAMB STUD	END-NAILED / END STAPLED	3	0.131"x3" / Q25	EACH END - EACH 2x
EXTERIOR WALL TO EXTERIOR WALL	NAILED / SCREWED	SEE NOTE	0.131"x3" / #8X3"	16" O.C.
INTERIOR WALL TO EXTERIOR WALL	NAILED / SCREWED	SEE NOTE	0.131"x3" / #8X3"	16" O.C.
BOTTOM PLATE TO FLOOR RAIL	SCREWED OR NAILED	SEE NOTE	#8X3-1/2" / 0.131"x3"	16" O.C.
BOTTOM PLATE TO FLOOR END JOIST	SCREWED	SEE NOTE	#8X3-1/2"	14" O.C.
SMART PANEL TO WALL FRAMING	NAILED	SEE NOTE	0.131"x2.5"	12" O.C. FIELD, 6" O.C. EDGE

STRAP SCHEDULE

EXTERIOR /MATE-LINE WALLS	MAX SPACING	NUMBER OF FASTENERS	TYPE OF STRAP
COLUMN TO LVL AND TO FLOOR (SEE DETAIL SHEET S2.1)	N/A	(G) N11 STAPLES EACH END OF STRAP	C2) 30 GA. x 1.5" STEEL STRAP EACH END OF JAMB STUD
JAMB STUDS TO FLOOR RAIL AND TO ROOF RAIL	N/A	(G) N11 STAPLES EACH END OF STRAP	C1) 30 GA. x 1.5" STEEL STRAP EACH END OF JAMB STUD
STUDS TO FLOOR RAIL AND TO ROOF RAIL (SIDEWALLS / END WALLS)	32" O.C.	(G) N11 STAPLES EACH END OF STRAP	C1) 30 GA. x 1.5" STEEL STRAP EACH END OF STUD

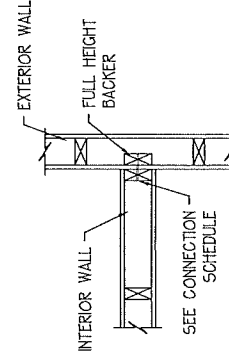
STAPLE SCHEDULE

TYPE	LENGTH	CROWN	GAUGE
N11/EQUAL	3/4"	7/16"	16
N14/EQUAL	1 3/4"	7/16"	16
Q25/EQUAL	2 1/2"	7/16"	15



STRAP AND HEADER DETAIL

SCALE: 3/8"=1'-0"



INTERIOR TO EXTERIOR WALL CONNECTION DETAIL
SCALE: NONE

CUSTOMER APPROVAL

- ☐ APPROVED
☐ APPROVED EXCEPT AS NOTED
☐ REVISE AS NOTED AND RESUBMIT
☐ SEE LETTER OF TRANSMITTAL

APPROVED BY
DATE

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SHEET DESCRIPTION:
**CONNECTION
DETAILS**

PLAN APPROVAL #:
N# HT020160192

CUSTOMER:
WILLIAMS SCOTTSMAN

QUOTE NUMBER:
23-083 RI

MODEL:
24 x 64 OFFICE

SCALE:
AS NOTED

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Elkhart, IN 46516
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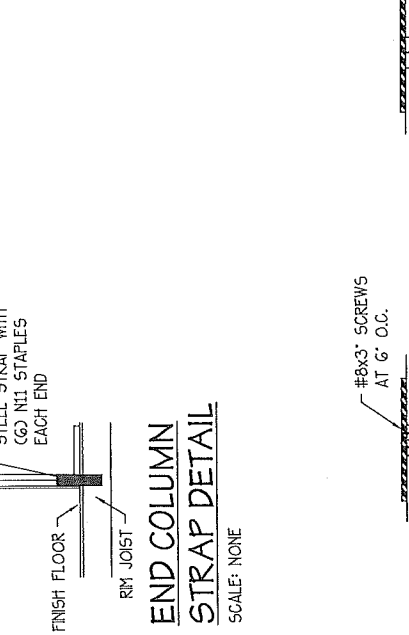
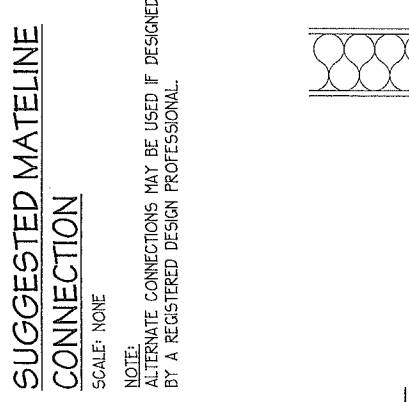
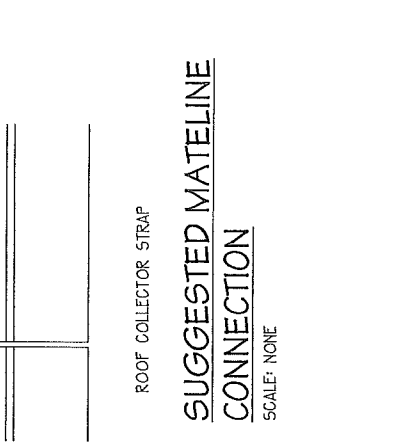
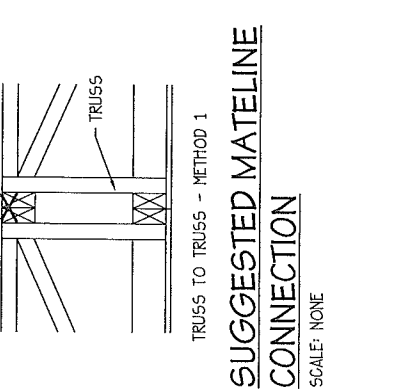
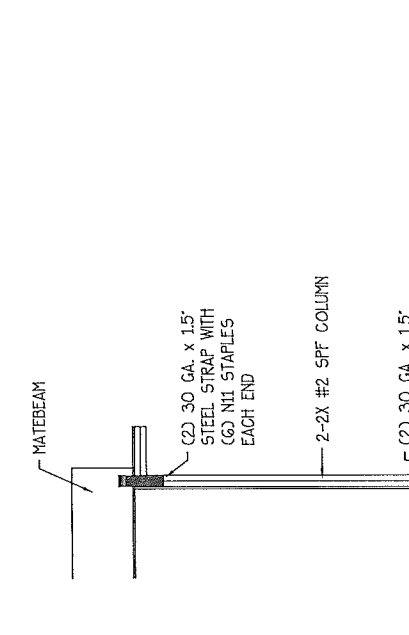
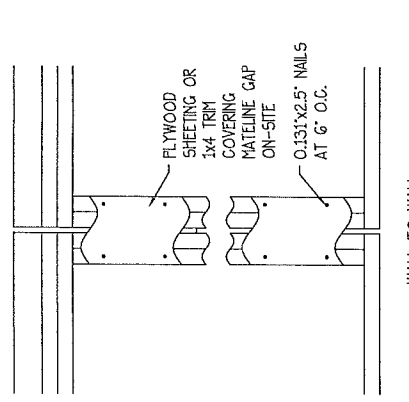
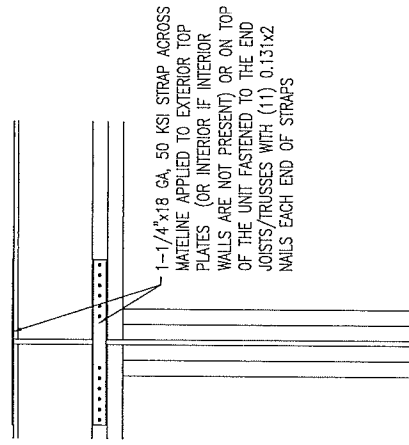
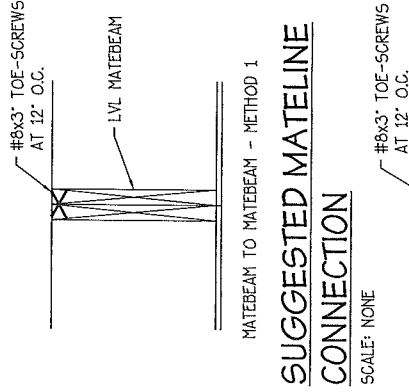


PRINT DATE:
2/10/24

DRAWN BY:
BB

DRAWING
NUMBER

S2



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S2.1

PRINT DATE:

2/10/24

DRAWN BY:

BB

SHEET DESCRIPTION:

CONNECTION DETAILS

CUSTOMER:

WILLIAM'S SCOTSMAN

PLAN APPROVAL #:

IN# HIC20160192

QUOTE NUMBER:

23-083 R1

SCALE:

AS NOTED

SERIAL NUMBER:

24-0778

MODEL:

24 x 64 OFFICE

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NOTE: THE EXTERIOR BUILDING DIMENSIONS INDICATED ON THE FLOOR PLANS ARE FROM THE EXTERIOR SIDE OF STUD NOT INCLUDING FINISH OF EXTERIOR WALL. INTERIOR DIMENSIONS ARE FROM FINISH TO FINISH.

NOTE: SYMBOL LEGEND AND SPECIFICATIONS ON PAGE SP1 TO SP2

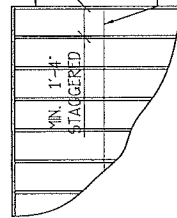
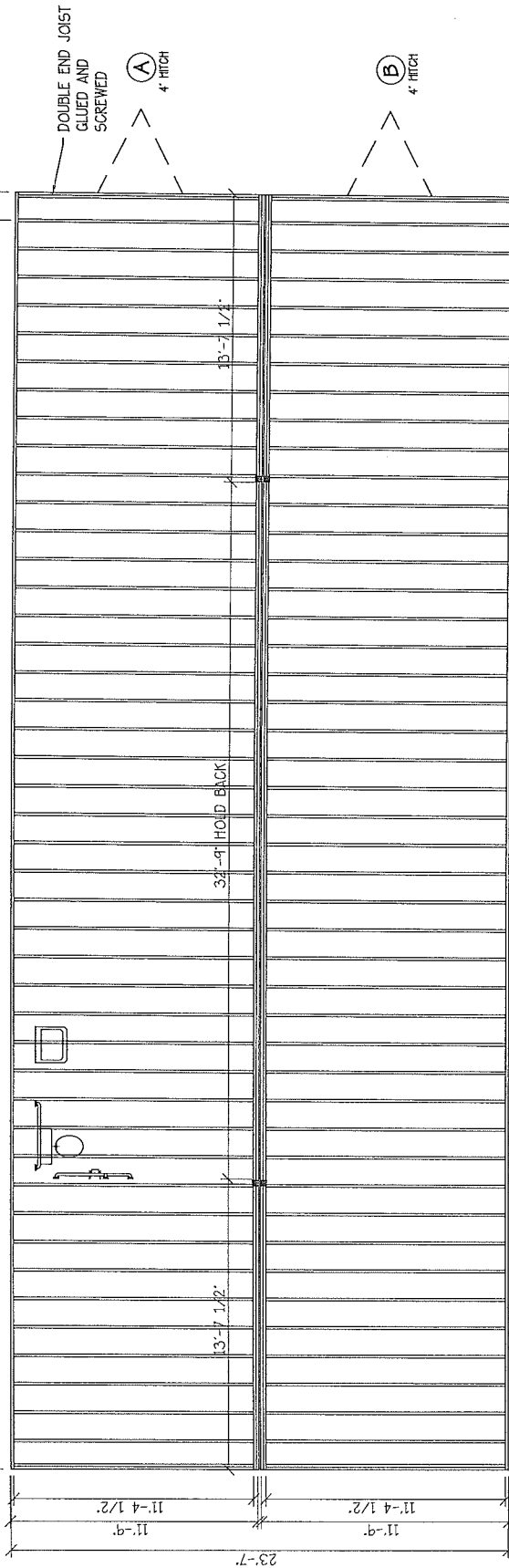
TYPE	LENGTH	GROSS	GUAGE
HY-EQUAL	1 3/4"	7/16"	16
O25/EQUAL	2 1/2"	7/16"	15

APPLICATION	METHOD	QUANTITY	TYPE	NOTES
FLOOR RAIL TO FLOOR JOIST	STAPLED	5	O25	
STEEL FRAME TO FLOOR RAIL	LAGGED	1	5/16"x3"	48" MAX.
FLOOR DECKING TO FLOOR FRAMING	NAILED / STAPLED	SEE NOTE	0.31x12.5" / N45	12" O.C. FELD. 6" O.C. EDGE

CONNECTION SCHEDULE

1'-4" O.C. TYP.

60'-0"

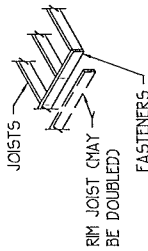


TRANSVERSE FLOOR DECKING FASTENING

SCALE: NONE

FLOOR FRAMING

SCALE: 3/16"=1'-0"



RIM JOIST TO JOIST

SCALE: NONE

CUSTOMER APPROVAL

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- ☐ REVISE AS NOTED AND RESUBMIT
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DRAWING NUMBER	S4

SHEET DESCRIPTION:

FLOOR FRAMING

CUSTOMER:	WILLIAMS SCOTSMAN
QUOTE NUMBER:	23-083 RI
PLAN APPROVAL #:	#11020160192

MODEL:	24 x 64 OFFICE
SERIAL NUMBER:	24-0478

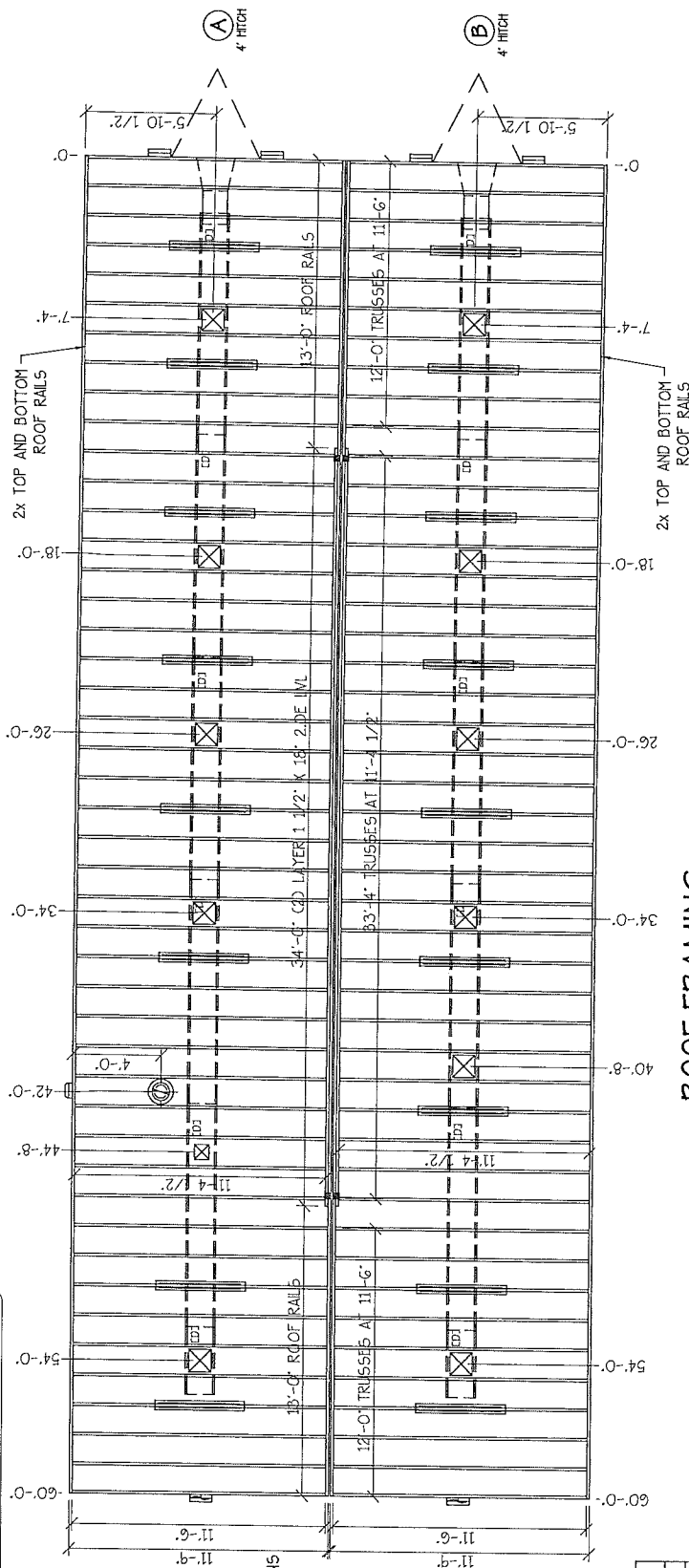
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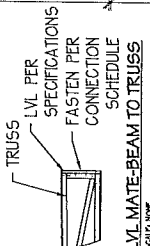
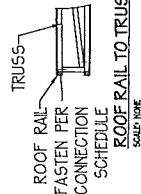
NOTE: THE EXTERIOR BUILDING DIMENSIONS INDICATED ON THE FLOOR PLANS ARE FROM THE EXTERIOR SIDE OF STUD NOT INCLUDING FINISH OF EXTERIOR WALL. INTERIOR DIMENSIONS ARE FROM FINISH TO FINISH.

NOTE: SYMBOL LEGEND AND SPECIFICATIONS ON PAGE SP1 TO SP2



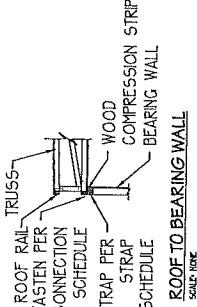
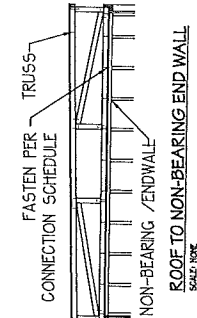
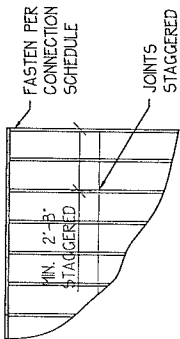
ROOF FRAMING

SCALE: 3/16"=1'-0"



STAPLE SCHEDULE			
TYPE	LENGTH	CROWN	GAUGE
N5/EQUAL	1 3/4"	7/16"	16
O25/EQUAL	2 1/2"	7/16"	16

CONNECTION SCHEDULE			
APPLICATION	METHOD	QUANTITY	NOTES
ROOF RAIL TO TRUSS	END-NAILED / 4-STAPLES	3-NAI5 / 4-STAPLES	-
LVL TO TRUSS	NAILED	4	-
TRUSS TO NON-BEARING WALL	TOE-SCREWED	SEE NOTE	#8 X 3-1/2"
ROOF RAIL TO BEARING WALL	TOE-SCREWED / TOE PLATE	SEE NOTE	#8 X 3-1/2"
TRUSS TO BEARING WALL	TOE-SCREWED	SEE NOTE	#8 X 3-1/2"
ROOF SHEATHING TO ROOF TRUSS	NAILED / STAPLED	SEE NOTE	12" O.C. FIELD, 6" O.C. EDGE



CUSTOMER APPROVAL

APPROVED EXCEPT AS NOTED
 REVISIONS AS NOTED AND SUBMIT
 DATE: _____
 APPROVED BY: _____
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 DRAWN BY: BB

ROOF FRAMING

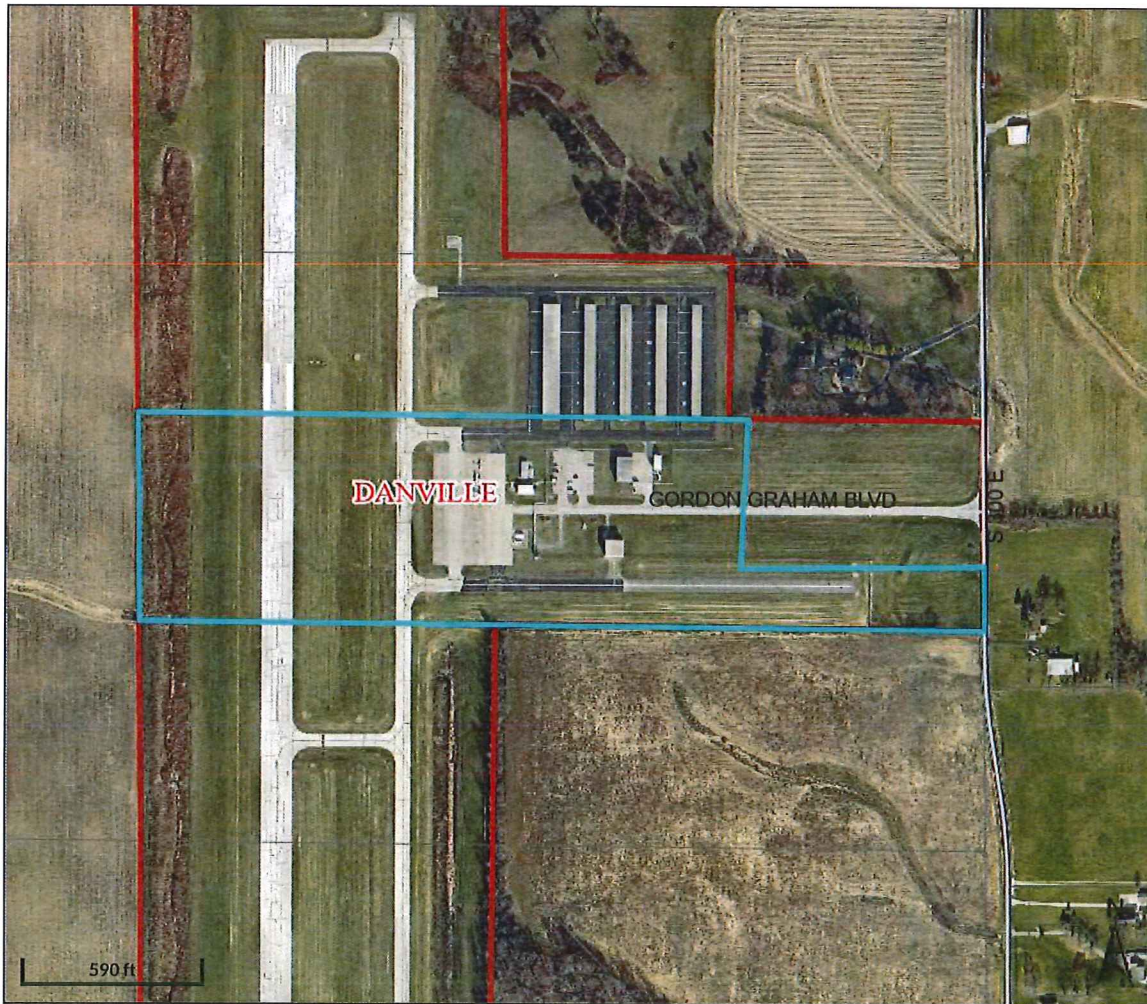
SHEET DESCRIPTION:
 CUSTOMER: WILLIAMS SCOTSMAN
 QUOTE NUMBER: 23-083 R1
 PLAN APPROVAL #: IN# MTC20160192

SCALE: AS NOTED
 SERIAL NUMBER: 24-0478
 MODEL: 24 x G4 OFFICE

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Overview



Legend

-  Roads
-  Parcels
-  Danville Corporate Boundary

Parcel ID	32-11-12-400-004.000-003	Alternate ID	17-2-12-51W 400-004	Owner Address	Indianapolis Airport Authority 7800 COL H WEIR COOK MEM DR INDIANAPOLIS, IN 46241
Sec/Twp/Rng	0012-0015-1W	Class	EXEMPT PROPERTY OWNED BY THE UNITED STATES OF AMERICA		
Property Address	2749 GORDAN GRAHAM RD Danville	Acreage	30.7		
District	Town Of Danville				
Brief Tax Description	Pt S Se 12-15-1W 30.7 AC 2.32-9 Airport 19/20 ANNEXED PER ORD 1-2018 FROM 002-212512-400004 19/20 ALL ANNEXED PER ORD 6-2018 FROM 002-12512-400004 PER AC17C (Note: Not to be used on legal documents)				

Date created: 10/4/2024

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