




**TOWN OF
DANVILLE**

**Danville Plan Commission
January 15, 2025
7:00 PM**

AGENDA

- I. Call Meeting to Order**
 - Pledge of Allegiance
 - Establish Quorum
 - Approve Minutes
 - Election of Officers
 - President
 - Vice President
 - Secretary
 - Appoint BZA Member
 - Appoint Design Review Committee Members

- II. Old Business: None**

- III. New Business:**
 - A. Public Hearing: Hendricks County, Indiana Board of Commissioners, John Ayers (Highway Garage Facility) Site Plan Review, located at 1100 South County Road 300 East, 50 acres
(Stephen P. Kromkowski, DLZ)**

- IV. Other Business: None**

- V. Report of Officers, Committees and Staff**

- VI. Adjourn**

**Next Meeting:
February 12, 2025**

DANVILLE PLAN COMMISSION

MINUTES

December 11th, 2024

7:00 PM

Members Present: Loris Thompson, Barry Lofton, Jill Howard, David Potter, Adam Harvey, Michael Chatham
Members Absent: Sue Rempert
Staff Present: Lesa Ternet, Brittany Mays
Guests: Randall Richter, Scott Perkins, Luke Wilson
Legal: Kayla Moody-Grant, Taft Law

A quorum was established, and the meeting was called to order by L. Thompson.

J. Howard made a motion to approve minutes from the October 10th, 2024, meeting. D. Potter seconded the motion. Motion passed 6-0.

Old Business: None

New Business:

- A. Public Hearing: Joe Wilson (Bio Response) Site Plan Review, located at 200 Colin Court, 1.0 acre.**
(Scott Perkins, Blackline Studio)

S. Perkins presented the project. He stated the proposed project would be a 12,000 square foot new building for Bio Response Solutions on their existing site. S. Perkins stated the location of the building on site allowed for future growth. He continued to state they would be matching the materials with the existing buildings, along with the height and shape of the roof. Due to the nature of the business, large windows would not be desired because of the need for wall space. The building would have windows up high on the walls and in the office spaces. B. Lofton asked if they were going to have to pump water out of the dock. R. Richter stated it is a gravity feed, and was elevated enough to where they wouldn't have to pump the water. The meeting was opened to the public. No public comment. D. Potter made a motion to approve contingent upon BZA approval of requested variances. A. Harvey seconded the motion. Motion carried 6-0.

Roll Call Vote:

D. Potter – Aye
A. Harvey - Aye
L. Thompson – Aye
J. Howard – Aye
M. Chatham - Aye
B. Lofton – Aye

Other Business: None

Report of Officers, Committees and Staff:

Lesa stated the meeting in January would be a week later than normal. She also stated a copy of the 2025 meeting schedule was in the packet given to the Commission.

With there being no further business, the meeting was adjourned at 7:22 p.m.

Loris L. Thompson, President

Barry Lofton, Secretary

Meeting Briefing

January 15, 2025

**John Ayers on behalf of Hendricks County Board of Commissioners Site
Plan Review, P&F**

This is a request for approval of a site plan review to construct three (3) buildings for the Hendricks County Highway Garage Facility on the west side of County Road 300 East, south of US Highway 36. I have included a copy of the site plans and building plans in the packet. This is a public hearing and will require a vote.

CASE SUMMARY

Site Plan Review

- Case:** 2024-2218
John Ayers, on behalf of the Hendricks County Board of Commissioners
Stephen P. Kromkowski, DLZ
- Request:** Site Plan Approval, Preliminary & Final
- Location:** 1100 South County Road 300 East
- Acreage:** 50.0 acres
- Zoning:** Industrial Light (IL) & AD Overlay District
- Staff Summary:**

Zoning:

- This property is located just south of Gordon Graham Boulevard and is the site of the future Hendricks County Highway Garage Facility which encompasses three (3) structures. The primary structure is for the administration and maintenance operations. Secondary structures are for vehicle storage and salt storage. This parcel was recently annexed into the Town for connection to public water. The proposed use is permitted in this district.

Utilities:

- Water will be accessed from an existing 12-inch main at Gordon Graham Boulevard and County Road 300 East.
- As proposed, this site will be served by an on-site commercial septic system unless public wastewater becomes available.

Public Streets/Public ROW:

- No new public streets are being created by this project.

Stormwater/Drainage:

- The Town's engineer has reviewed the drainage plans. His comment letter recommending approval dated January 3, 2025, is included in your packet.

Off-street Parking:

- The number of off-street parking spaces meets the minimum required by the unified development ordinance.

Landscaping/Screening:

- Landscaping requirements have been met for the off-street parking lot and buffer yard screening.

Lighting:

- A lighting plan along with specification sheets of the type of lighting has been submitted. The building mount lighting proposed is not shielded/down lighting and does not comply with Section 4.06.C.10 of the Unified Development Ordinance (UDO).

Pedestrian Circulation:

- A walkway between the parking lot and the entrance to the building has been established.

Signage:

- Building signage is proposed on the administration and maintenance building. A separate sign permit for all signage will be required with details/dimensions prior to installation.

Additional Comments:

- The petitioner is requesting three (3) variances of the architectural standards for the proposed building and a variance to allow a commercial septic system.
- County Road 300 East is classified as a Collector on the 2010 Danville Thoroughfare Plan with a proposed right of way of seventy (70) feet. The County Thoroughfare Plan classifies this road as a Major Arterial with a proposed right of way ranging from one hundred (100) feet (Urban) to 130 feet (Rural). They also have a Transitional right of way of one hundred ten (110) feet. The applicant has agreed to dedicate additional right of way along the entire frontage of their property for future road improvements. The Town believes County Road 300 East would be considered a Transitional area requiring a one hundred ten (110) foot right of way with fifty-five (55) feet to be dedicated. This dedication must be made prior to the issuance of a building permit for construction.
- Staff recommends approval of the site plan review, contingent upon the Board of Zoning Appeals granting the requested variances, which will be heard on January 22, 2025 and the dedication of additional right of way.

Plan Commission Action on Site Plan:

Approve Site Plan
Deny Site Plan
Approve Site Plan with conditions or waivers



853 Columbia Road, Suite 101, Plainfield, IN 46168
Phone: (317) 707-3700 | Fax: (317) 707-3800

January 3, 2025

Lesa Ternet, Planner
Town of Danville
49 N. Wayne St.
Danville, IN 46122

RE: Hendricks County Highway Garage

Dear Ms. Ternet:

I have reviewed the drainage report and the construction plans received. I have the no additional comments. The plans and report meet the Town of Danville Stormwater Ordinance.

All the best,

A handwritten signature in black ink that reads "Joseph L. Miller". The signature is written in a cursive, flowing style.

Joseph L. Miller, P.E.



ADVISORY PLAN COMMISSION

49 North Wayne Street | Danville, IN 46122
317-745-4180 | www.danvilleindiana.org

Date of Hearing: 1-15-25
Plan Commission Action: _____

App. No.: 2024-2218
Fee: —
Received By: LT

APPLICATION FOR APPROVAL (Check all that apply)

- Plat Replat Revision Amendment Minor Plat PUD
- SPR Rezone Exempt Subdivision

DEC 20 2024

* Please fill out the form in its entirety

Name (s) of Owner (s) Hendricks County, Indiana Board of Commissioners

Address (s) 355 S Washington St. #G20 Danville, IN 46122

Phone (s) (317) 745-9236 Email (s) _____

Owners' Representative (Subdivider, if any) and /or Registered Engineer or Land Surveyor: John Ayers

Address (s) 355 S Washington St. #G20 Danville, IN 46122

Phone (s) (317) 745-9236 Email (s) jayers@co.hendricks.in.us

I (We) do hereby apply for approval of the following described plat of a subdivision in accordance with the Subdivision Control Ordinance. I (We) am (are) the owner (s) of the real estate included in said subdivision.

Name of Subdivision: _____

Address of Subject Property: 1100 South County Road 300 East Danville, IN 46122

Generally described as follows:

Area (in acres): 50 acres Number of Lots: 1

Existing Zoning District (if applicable to rezone): _____

Proposed Zoning District (if applicable to rezone): _____

Parcel ID#: 32-11-13200-005.000-002 Current Zoning District: Industrial - Light

Feet of new streets to be dedicated to the public: not applicable

Feet of sanitary sewers to be dedicated to the public: not applicable

Feet of water main to be dedicated to the public: 450 LF extension of 12" water main along the west side of S. CR 300 E.

Feet of storm sewer to be dedicated to the public: not applicable

STATE OF INDIANA)

) SS:

HENDRICKS COUNTY)

The undersigned certifies that the above information is true and correct to the best of his (her) knowledge.

Signature of Owner/Applicant (s)

John Ayers, County Engineer, Hendricks County, Indiana

Title of Applicant

JAN 02 2024

HENDRICKS COUNTY, INDIANA HIGHWAY MAINTENANCE FACILITY CAMPUS PRIMARY BUILDING - VEHICLE STORAGE BUILDING - SALT STORAGE BUILDING

DANVILLE, INDIANA



TAC FINAL SUBMISSION

JANUARY 2, 2025

DEVELOPMENT SUMMARY

The New Hendricks County Highway Maintenance Facility Campus, located at 1100 South County Road 300 East, sits on an approximately 50-acre parcel owned by the Hendricks County Board of Commissioners and is located within the Town of Danville. The project limits will be approximately 17 acres on the southeast corner of the 50-acre parcel.

The project includes the construction of three buildings, along with associated site improvements. The primary building scope of work includes the constructing of a two-story, pre-engineered metal building to accommodate the Highway Department Administration and Maintenance operations. The approximately 30,389 gross square foot (Base Bldg) building is anticipated to be a single-story (28'-0" tall) building without a basement and contain mechanical, electrical, fire protection systems. Approximately 1,500 square feet of space will be constructed as "shell space". The "shell" of this space is identified as an Adamsite Bld Item to serve as office space.

The Vehicle Storage Building scope of work includes the constructing of a pre-engineered metal building to accommodate Highway vehicles, including dump trucks, post-up trucks and other highway support equipment. The approximately 23,500 gross square foot (Base Bldg) building will include a concrete floor, asphalt pavement and contain a pre-erected vehicle storage area. No additional gross square foot will be identified as an Adamsite Bid Item.

The Salt Storage Building scope of work consists of the construction of pre-cast concrete, metal framed facility with a single-story configuration. The building construction will be designed design three-sided fabric structures supported by galvanized frames placed 18 feet on center. Large forces will be resisted by the galvanized frames in the North-South direction and by galvanized steel bracing in the East-West direction. 6" tall precast concrete "bunker" L-piers with corrosion inhibitor to be provided within the fabric structure for salt storage.

Of the approximately 17 acres utilized for development, approximately 243,463 square feet (5.6 acres) is hard surface which is a combination of concrete pavement, asphalt pavement and building footprints.

Table 4.6 in the Unified Development Ordinance requires 1 parking space per 3 employees during the largest shift. The required number of parking spaces for this development is 20. 50 additional spaces and 3 ADA compliant spaces are provided on site.

Per Table 4.4 in the Unified Development Ordinance, no buffer/yard is required nor provided.

Parking lot islands are provided at the end of every row with no more than 15 spaces in a row.

The minimum of 1 canopy tree and 3 shrubs with groundcover are provided within each parking lot island.

The perimeter landscaping of the parking lot includes a 6 foot wide mulched landscape area with 97 evergreen shrubs that reach a minimum of 4 feet height at maturity and provides screening of at least 75% of all parking areas.

CONSTRUCTION MANAGER:
GARMONG CONSTRUCTION SERVICES
5988 N. Michigan Road
Indianapolis, Indiana 46228
PH: 317-682-1001
www.garmong.net



DLZ PROJECT NO. 2063-1041-50



ARCHITECT/ENGINEER:
DLZ Indiana, LLC
2211 E. Jefferson Blvd.
South Bend, IN 46615
PH: 574.236.4400
www.dlz.com

UTILITY CONTACTS

ELECTRIC: HENDRICKS POWER 317-745-5473
GAS: VECHAM 765-287-2118
SANITARY SEWER TOWN OF DANVILLE 317-745-4180 EXT. 1001
WATER TOWN OF DANVILLE 317-745-4180 EXT. 8001
STREETS TOWN OF DANVILLE 317-745-4180 EXT. 4001
POLICE TOWN OF DANVILLE 317-745-4180 EXT. 6001
FIRE TOWN OF DANVILLE 317-745-4180 EXT. 8002

LOCAL JURISDICTIONAL CONTACTS

TOWN MANAGER TOWN OF DANVILLE 317-745-4180 EXT. 1001
TOWN PLANNER TOWN OF DANVILLE 317-745-4180 EXT. 1101

SHEET INDEX

GENERAL	TITLE SHEET
G10	SITE SURVEY
C00	OVERALL SITE LAYOUT AND PROTECTION PLAN
C01	OVERALL SITE LAYOUT AND GEOMETRICS PLAN
C02	SITE LAYOUT AND GEOMETRICS PLAN - AREA A
C03	SITE LAYOUT AND GEOMETRICS PLAN - AREA B
C04	SITE LAYOUT AND GEOMETRICS PLAN - AREA C
C05	SITE LAYOUT AND GEOMETRICS PLAN - AREA D
C06	IMPROVEMENT COORDINATE SCHEDULES
C07	EROSION CONTROL PLAN
C08	SITE GRADING, DRAINAGE, AND EROSION CONTROL PLAN - AREA A
C09	SITE GRADING, DRAINAGE, AND EROSION CONTROL PLAN - AREA B
C10	SITE GRADING, DRAINAGE, AND EROSION CONTROL PLAN - AREA C
C11	SITE GRADING, DRAINAGE, AND EROSION CONTROL PLAN - AREA D
C12	OVERALL SITE UTILITY PLAN
C13	SITE UTILITY PLAN - AREA A
C14	SITE UTILITY PLAN - AREA B
C15	SITE UTILITY PLAN - AREA C
C16	SITE UTILITY PLAN - AREA D
C17	OVERALL SITE PLANTING PLAN
C18	SITE PLANTING PLAN - AREA A
C19	SITE PLANTING PLAN - AREA B
C20	SITE PLANTING PLAN - AREA C
C21	SITE PLANTING PLAN - AREA D
C22	PLANT SCHEDULE
C23	SITE DETAILS 1
C24	SITE DETAILS 2
C25	SITE DETAILS 3
C26	SITE DETAILS 4
C27	SITE DETAILS 5
C28	SITE DETAILS 6
C29	ELECTRICAL
C30	SITE ELECTRICAL PLAN
C31	SITE LIGHTING PHOTO-METRIC PLAN
C32	SITE LIGHTING FIXTURE DETAILS

LOCATION MAP



RENDERING



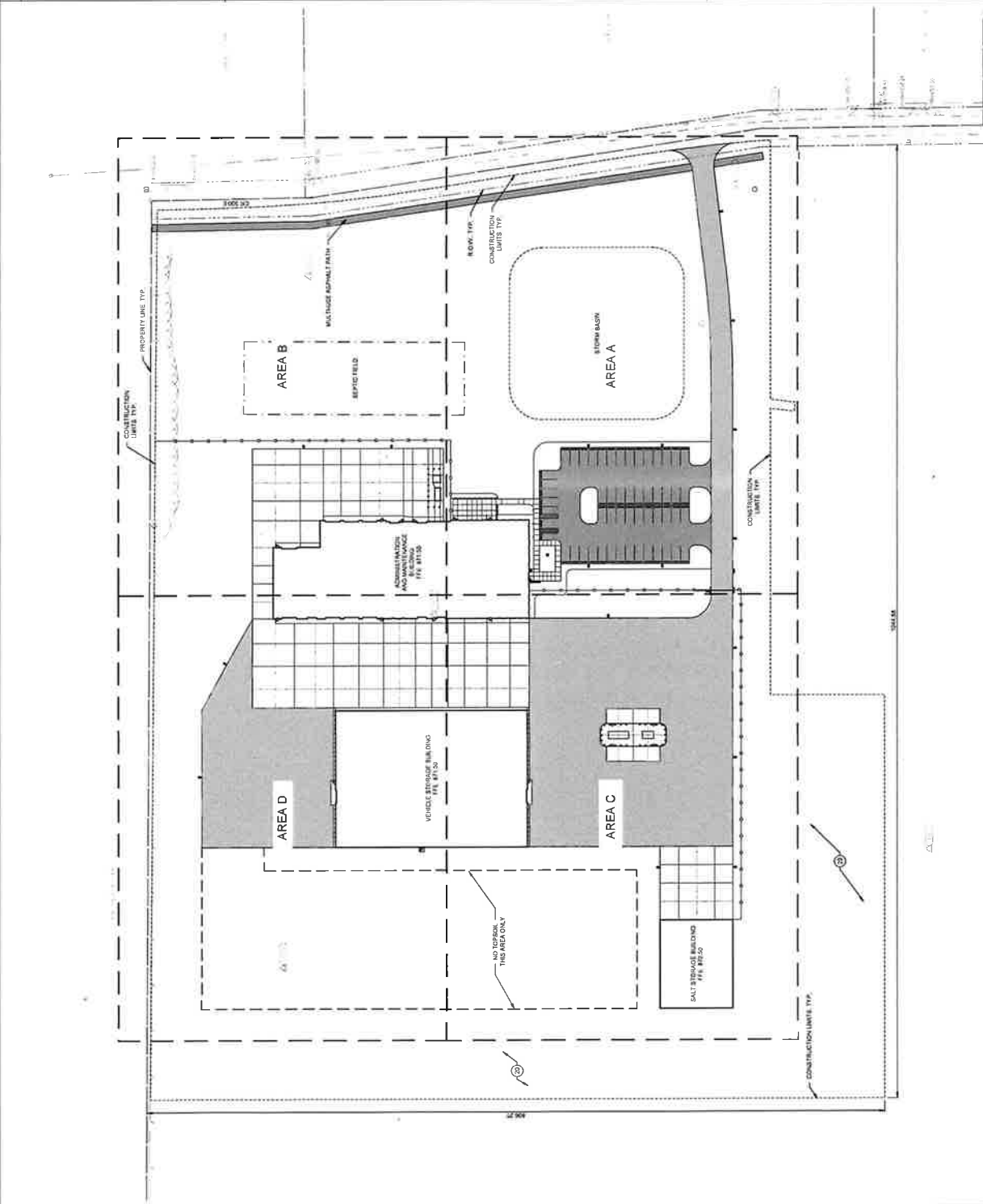


- LEGEND**
- ASPHALT PAVEMENT - HEAVY DUTY
 - ASPHALT PAVEMENT - LIGHT DUTY
 - CONCRETE PAVEMENT - VEHICULAR TYPE 1 & TYPE 2
 - CONCRETE PAVEMENT - PEDESTRIAN

- SITE IMPROVEMENT KEY**
- 1 CONCRETE PAVEMENT - VEHICULAR TYPE 1
 - 2 CONCRETE PAVEMENT - VEHICULAR TYPE 2
 - 3 CONCRETE PAVEMENT - PEDESTRIAN
 - 4 ASPHALT PAVEMENT - HEAVY DUTY
 - 5 ASPHALT PAVEMENT - LIGHT DUTY
 - 6 4" FT. CHAIN LINK FENCE
 - 7 6" FT. CHAIN LINK GATE/SLUR BARR GATE
 - 8 4" FT. CHAIN LINK GATE/SLUR BARR GATE
 - 9 4" FT. CHAIN LINK GATE/SLUR BARR GATE
 - 10 4" FT. CHAIN LINK GATE/SLUR BARR GATE
 - 11 4" FT. CHAIN LINK GATE/SLUR BARR GATE
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GENERAL IMPROVEMENT NOTES

- A. UTILITIES SHOWN ARE APPROXIMATE. FIELD VERIFY PRIOR TO CONSTRUCTION.
- B. DIMENSIONS SHOWN ARE APPROXIMATE. FIELD VERIFY PRIOR TO CONSTRUCTION.
- C. CURB WALLS SHALL ACCORD BUILDING UNLESS OTHERWISE NOTED.
- D. CONSTRUCTION LIMITS SHOWN ARE APPROXIMATE. ADJUSTMENTS PERMITTED WITH THE APPROVAL OF THE ARCHITECT.
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1 OVERALL SITE LAYOUT AND GEOMETRICS PLAN
 SCALE: 1" = 20'-0"



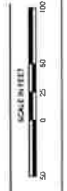
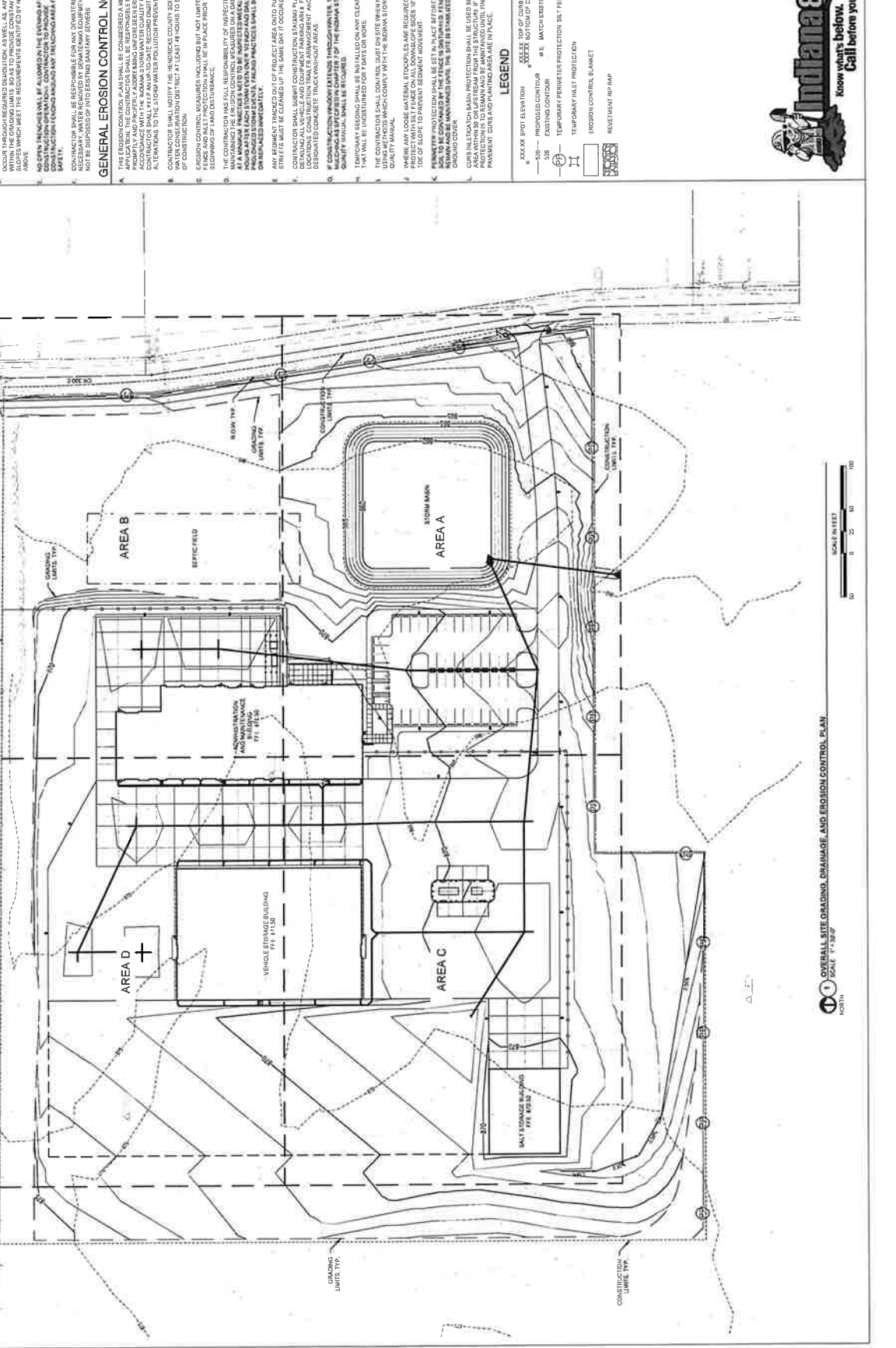
DLZ
 ARCHITECTURE • ENGINEERING • PLANNING
 SURVEYING • CONSTRUCTION SERVICES
 DLZ Indiana, LLC

GENERAL GRADING NOTES

1. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN THE EXISTING EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. ANY REMOVAL OF THESE MEASURES SHALL BE REPLACED WITH EQUIVALENT MEASURES PRIOR TO RESTARTING.
3. PROPOSED FENCED AREAS SHALL BE INSTALLED PRIOR TO GRADING. THE FENCING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ANY REMOVAL OF FENCING SHALL BE REPLACED WITH EQUIVALENT FENCING PRIOR TO RESTARTING.
4. THE CONTRACTOR SHALL MAINTAIN THE EXISTING EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. ANY REMOVAL OF THESE MEASURES SHALL BE REPLACED WITH EQUIVALENT MEASURES PRIOR TO RESTARTING.
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GENERAL EROSION CONTROL NOTES

1. THE EROSION CONTROL PLAN SHALL BE CONSIDERED A MINIMUM APPLICATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN THE EXISTING EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. ANY REMOVAL OF THESE MEASURES SHALL BE REPLACED WITH EQUIVALENT MEASURES PRIOR TO RESTARTING.
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OVERALL SITE GRADING, DRAINAGE, AND EROSION CONTROL PLAN
 SCALE 1" = 30'
 NORTH

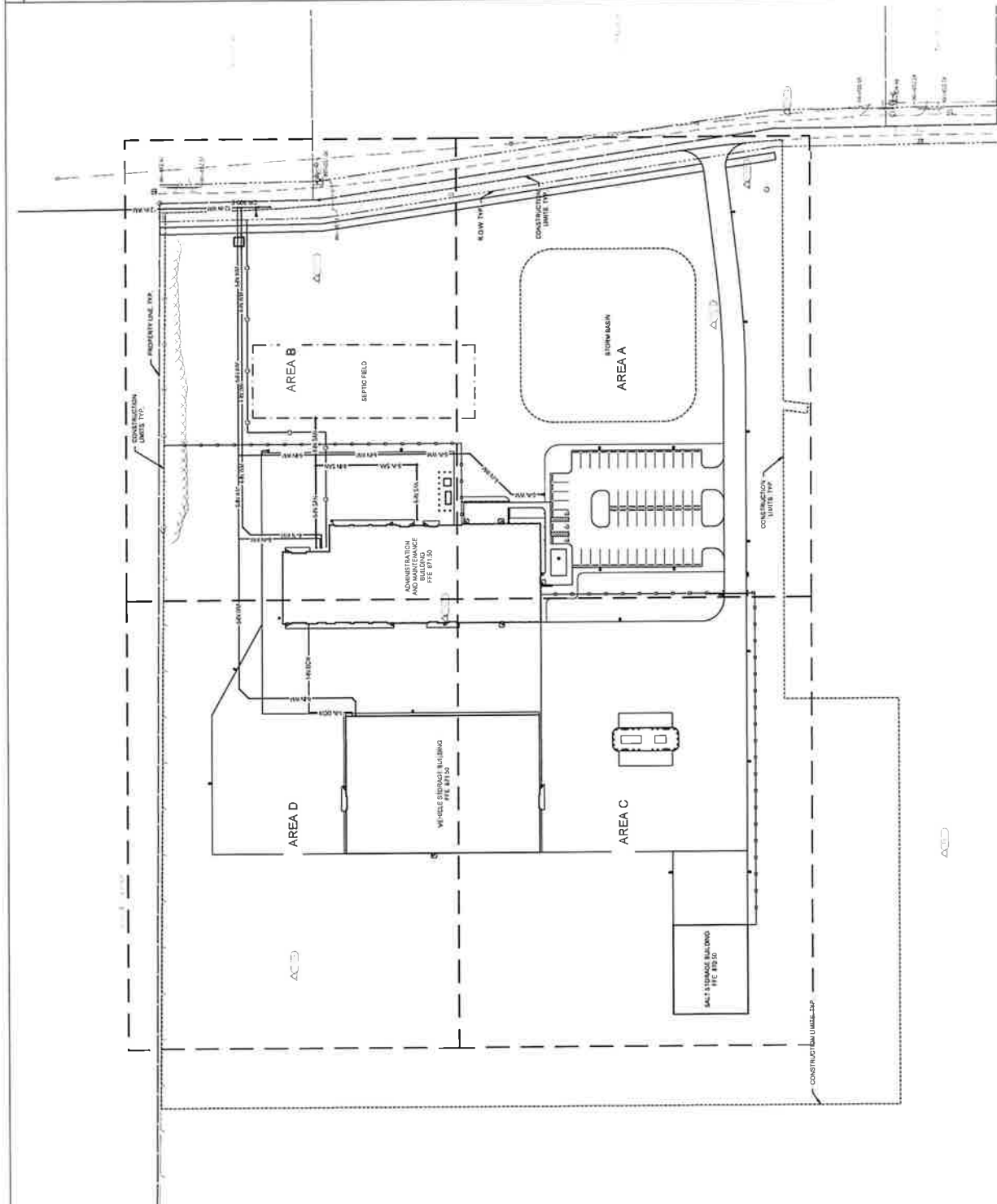


GENERAL UTILITY NOTES

- UTILITIES SHOWN ARE APPROXIMATE. FIELD VERIFY PRIOR TO CONSTRUCTION. VERIFY ALL UTILITIES AND FIELD VERIFY PRIOR TO CONSTRUCTION. VERIFY ALL UTILITIES AND FIELD VERIFY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND VERIFYING ALL PERMITS FOR ALL PORTIONS OF THIS PROJECT PRIOR TO STARTING CONSTRUCTION.
- ALL UTILITIES SHALL BE SHOWN AND LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FIELD VERIFYING ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN PROTECTIVE CONDITION ALL UTILITIES THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FIELD VERIFYING ALL UTILITIES PRIOR TO CONSTRUCTION.
- REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL CONDUIT ROUTING.
- (TYPICAL) MINIMUM DEPTH SHALL BE A MINIMUM OF 3'-0" FOR ALL UTILITIES BELOW FINISH GRADE. SHALL BE SET BY THE TOWN OF HENDRICKS COUNTY.
- UNAVAILBLE DRINKING WATER UTILITIES AND SPECIFICATIONS.
- CONCRETE ENGINEERING SHALL BE 20' FROM THE EXISTING STRUCTURE. SHALL BE SET BY THE TOWN OF HENDRICKS COUNTY.
- ANCHOR TO EACH DUCTILE IRON WATER MAIN SHALL HAVE A MINIMUM OF TWO (2) STRAPS OF THICKER WALL.
- ALL DUCTILE IRON WATER MAIN SHALL BE CLASS 20 DUCTILE IRON WITH A JOINT PRESSURE RATING.
- ALL FIRE MAIN SHALL BE CLASS 15 DUCTILE IRON WATER MAIN WITH A JOINT PRESSURE RATING.
- ALL HYDRANTS AND VALVES SHALL BE AMERICAN FLOW WITH A JOINT PRESSURE RATING. SHALL BE SET BY THE TOWN OF HENDRICKS COUNTY.
- REMARKED ABOVE SHALL HAVE AN ADDITIONAL 2' ABOVE THE EXISTING GRADE. SHALL BE SET BY THE TOWN OF HENDRICKS COUNTY.
- CONTRACTOR SHALL VERIFY ALL UTILITIES (S) SETTING OF ROAD CENTER LINE. THE TYPE SHALL HAVE A MINIMUM PRESSURE RATING OF 20 PSI.

LEGEND

---	PROPOSED WATER MAIN
---	PROPOSED WATER VALVE
---	PROPOSED FIRE HYDRANT
---	PROPOSED SANITARY SEWER
---	PROPOSED SANITARY SEWER TO SEPTIC FIELD
---	PROPOSED SANITARY SEWER TO QUANTITY SEWER
---	PROPOSED MANHOLE



OVERALL SITE UTILITY PLAN
SCALE: 1" = 32'-0"

C4.0

SITE DEVELOPMENT

OVERALL SITE UTILITY PLAN
HENDRICKS COUNTY, INDIANA
HIGHWAY MAINTENANCE FACILITY CAMPUS

2063-1041-50



DLZ Indiana, LLC
ARCHITECTURE - ENGINEERING - PLANNING
SURVEYING - CONSTRUCTION SERVICES

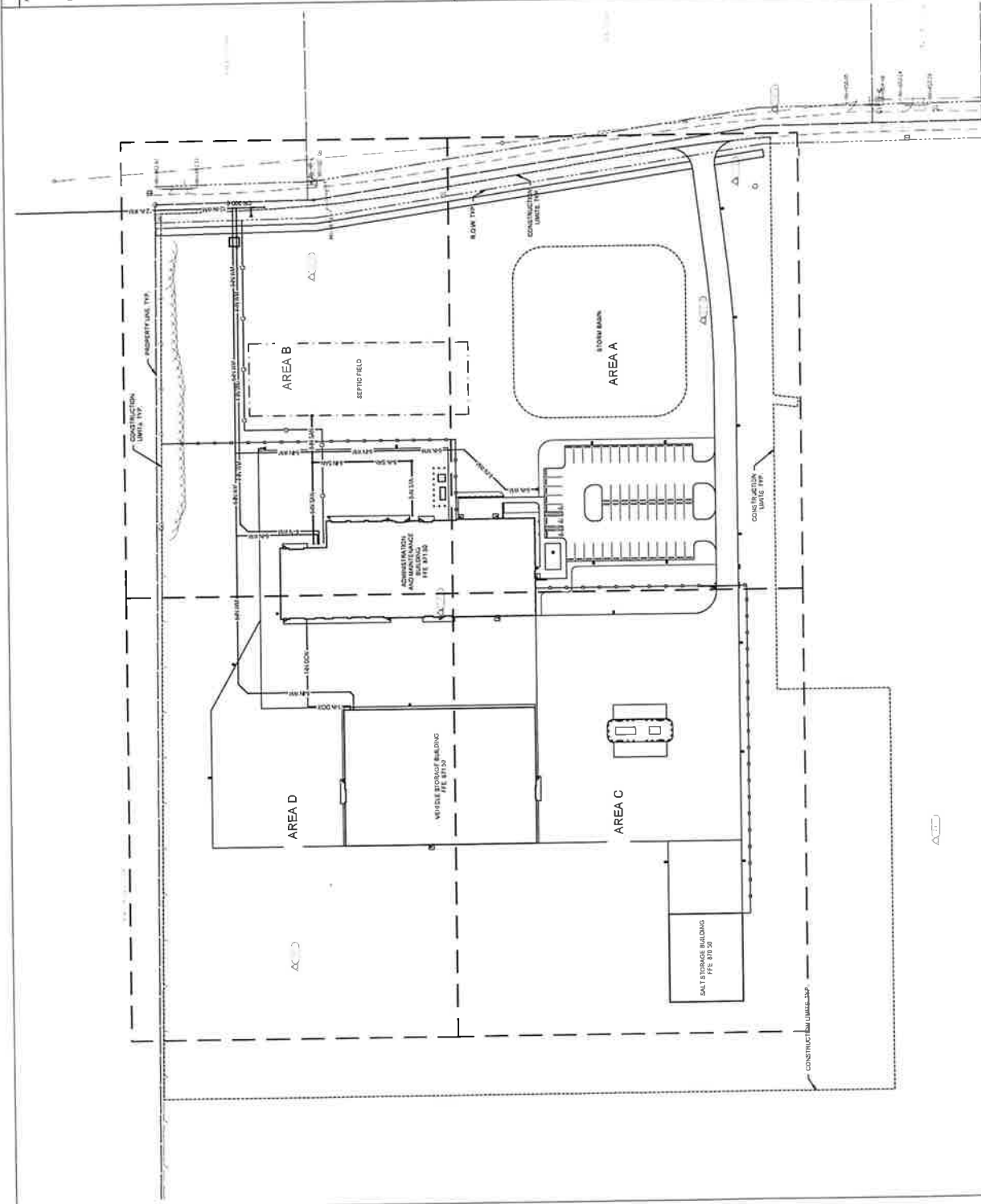
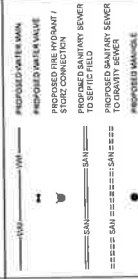
NOT FOR CONSTRUCTION



GENERAL UTILITY NOTES

- A. UTILITIES SHOWN ARE APPROXIMATE FIELD SURVEY POINT TO BE USED FOR CONSTRUCTION. ALL UTILITIES SHOWN ARE TO BE BROUGHT TO SURFACE FOR RESOLUTION DURING CONSTRUCTION LAYOUT.
- B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND VERIFYING ALL PERMITS FOR ALL UTILITIES TO BE BROUGHT TO SURFACE.
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND VERIFYING ALL PERMITS FOR ALL UTILITIES TO BE BROUGHT TO SURFACE.
- D. CONTRACTOR SHALL MAINTAIN AN OPEN WORKING CONDITION ALL UTILITIES ENCOUNTERED IN THE BORER INSTALLATION. REPAIR TO THE UTILITIES SHALL BE MADE TO ORIGINAL CONDITION. TO CORRECT ANY ACTIVE IMPROVEMENTS.
- E. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL CONDUIT ROUTING.
- F. TYPICAL BROWWAY DEPTH SHALL BE A MINIMUM OF 2'-0" BIG.
- G. ALL UTILITIES SHALL BE INSTALLED TO MEET THE TOWN OF DANVILLE DRINKING WATER STANDARDS AND SPECIFICATIONS.
- H. 1" SCH 40 DUCTILE IRON WATER MAIN SHALL BE 12" TO 18" DIA. 4" SCH 40 DUCTILE IRON WATER MAIN SHALL HAVE A MINIMUM OF TWO (2) STAKES OF TRENCH MARK.
- I. ALL DOMESTIC WATER MAIN SHALL BE CLASS 50 DUCTILE IRON WITH A 200 PSI PRESSURE RATING.
- J. ALL FIRE MAIN SHALL BE CLASS 50 DUCTILE IRON WITH A 200 PSI PRESSURE RATING.
- K. ALL HYDRANTS AND VALVES SHALL BE ABOVE GROUND.
- L. ALL HYDRANTS AND VALVES SHALL BE ABOVE GROUND.
- M. RESTRICTED JOINTS SHALL HAVE AN ADDITIONAL 2 JOINTS.
- N. ALL JOINTS SHALL HAVE ONE (1) STAKE OF TRENCH MARK. CONDUIT TRENCH MARK SHALL HAVE A MINIMUM PRESSURE RATING OF 250 PSI.

LEGEND

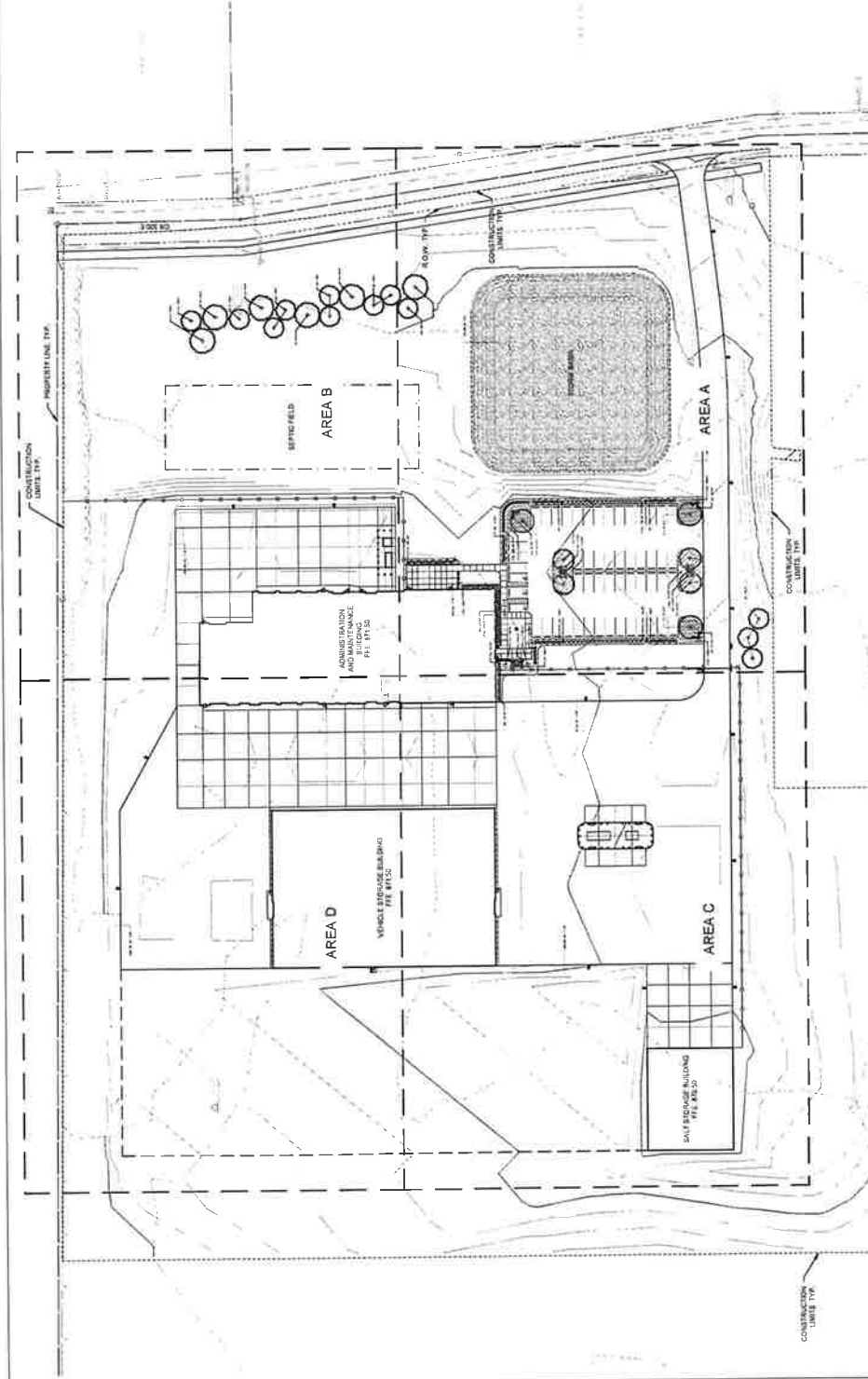


OVERALL SITE UTILITY PLAN
SCALE: 1" = 10' ±



GENERAL PLANTING NOTES

- CONTRACTOR SHALL FIELD LOCATE (STAKE AND MARK) PLANT LOCATIONS FOR REVIEW AND APPROVAL BY THE ARCHITECT. THE RIGHT TO FIELD ADJUST ALL PLANT LOCATIONS AS DEEMED NECESSARY.
- CONTRACTOR SHALL VERIFY ALL PLANTING DEPTHS BY ACCORDANCE WITH SPEC. SECTION 29200.
- CLEAR AND GRUB ALL AREAS DESIGNATED FOR PROPOSED PLANTING AND MAINTENANCE ACTIVITIES PRIOR TO INSTALL PROPOSED LANDSCAPE MAINTENANCE.
- ALL PLANTING DEPTHS TO LANS SHALL BE ERODED WITH BLACK STEEL CODING AS SHOWN ON PLANS.
- REFER TO PLANT SCHEDULE ON SHEET C5.5.



PLANT SCHEDULE	CODE	BOTANICAL / COMMON NAME	TYPE	SIZE	QTY
TREES	11150A	RED BARKED DOGWOOD	11150A	11150A	1
TREES	11150B	DOGWOOD	11150B	11150B	1
TREES	11150C	DOGWOOD	11150C	11150C	1
TREES	11150D	DOGWOOD	11150D	11150D	1
TREES	11150E	DOGWOOD	11150E	11150E	1
TREES	11150F	DOGWOOD	11150F	11150F	1
TREES	11150G	DOGWOOD	11150G	11150G	1
TREES	11150H	DOGWOOD	11150H	11150H	1
TREES	11150I	DOGWOOD	11150I	11150I	1
TREES	11150J	DOGWOOD	11150J	11150J	1
TREES	11150K	DOGWOOD	11150K	11150K	1
TREES	11150L	DOGWOOD	11150L	11150L	1
TREES	11150M	DOGWOOD	11150M	11150M	1
TREES	11150N	DOGWOOD	11150N	11150N	1
TREES	11150O	DOGWOOD	11150O	11150O	1
TREES	11150P	DOGWOOD	11150P	11150P	1
TREES	11150Q	DOGWOOD	11150Q	11150Q	1
TREES	11150R	DOGWOOD	11150R	11150R	1
TREES	11150S	DOGWOOD	11150S	11150S	1
TREES	11150T	DOGWOOD	11150T	11150T	1
TREES	11150U	DOGWOOD	11150U	11150U	1
TREES	11150V	DOGWOOD	11150V	11150V	1
TREES	11150W	DOGWOOD	11150W	11150W	1
TREES	11150X	DOGWOOD	11150X	11150X	1
TREES	11150Y	DOGWOOD	11150Y	11150Y	1
TREES	11150Z	DOGWOOD	11150Z	11150Z	1
SHRUBS	11151A	DOGWOOD	11151A	11151A	1
SHRUBS	11151B	DOGWOOD	11151B	11151B	1
SHRUBS	11151C	DOGWOOD	11151C	11151C	1
SHRUBS	11151D	DOGWOOD	11151D	11151D	1
SHRUBS	11151E	DOGWOOD	11151E	11151E	1
SHRUBS	11151F	DOGWOOD	11151F	11151F	1
SHRUBS	11151G	DOGWOOD	11151G	11151G	1
SHRUBS	11151H	DOGWOOD	11151H	11151H	1
SHRUBS	11151I	DOGWOOD	11151I	11151I	1
SHRUBS	11151J	DOGWOOD	11151J	11151J	1
SHRUBS	11151K	DOGWOOD	11151K	11151K	1
SHRUBS	11151L	DOGWOOD	11151L	11151L	1
SHRUBS	11151M	DOGWOOD	11151M	11151M	1
SHRUBS	11151N	DOGWOOD	11151N	11151N	1
SHRUBS	11151O	DOGWOOD	11151O	11151O	1
SHRUBS	11151P	DOGWOOD	11151P	11151P	1
SHRUBS	11151Q	DOGWOOD	11151Q	11151Q	1
SHRUBS	11151R	DOGWOOD	11151R	11151R	1
SHRUBS	11151S	DOGWOOD	11151S	11151S	1
SHRUBS	11151T	DOGWOOD	11151T	11151T	1
SHRUBS	11151U	DOGWOOD	11151U	11151U	1
SHRUBS	11151V	DOGWOOD	11151V	11151V	1
SHRUBS	11151W	DOGWOOD	11151W	11151W	1
SHRUBS	11151X	DOGWOOD	11151X	11151X	1
SHRUBS	11151Y	DOGWOOD	11151Y	11151Y	1
SHRUBS	11151Z	DOGWOOD	11151Z	11151Z	1
ORNAMENTAL GRASSES	11152A	DOGWOOD	11152A	11152A	1
ORNAMENTAL GRASSES	11152B	DOGWOOD	11152B	11152B	1
ORNAMENTAL GRASSES	11152C	DOGWOOD	11152C	11152C	1
ORNAMENTAL GRASSES	11152D	DOGWOOD	11152D	11152D	1
ORNAMENTAL GRASSES	11152E	DOGWOOD	11152E	11152E	1
ORNAMENTAL GRASSES	11152F	DOGWOOD	11152F	11152F	1
ORNAMENTAL GRASSES	11152G	DOGWOOD	11152G	11152G	1
ORNAMENTAL GRASSES	11152H	DOGWOOD	11152H	11152H	1
ORNAMENTAL GRASSES	11152I	DOGWOOD	11152I	11152I	1
ORNAMENTAL GRASSES	11152J	DOGWOOD	11152J	11152J	1
ORNAMENTAL GRASSES	11152K	DOGWOOD	11152K	11152K	1
ORNAMENTAL GRASSES	11152L	DOGWOOD	11152L	11152L	1
ORNAMENTAL GRASSES	11152M	DOGWOOD	11152M	11152M	1
ORNAMENTAL GRASSES	11152N	DOGWOOD	11152N	11152N	1
ORNAMENTAL GRASSES	11152O	DOGWOOD	11152O	11152O	1
ORNAMENTAL GRASSES	11152P	DOGWOOD	11152P	11152P	1
ORNAMENTAL GRASSES	11152Q	DOGWOOD	11152Q	11152Q	1
ORNAMENTAL GRASSES	11152R	DOGWOOD	11152R	11152R	1
ORNAMENTAL GRASSES	11152S	DOGWOOD	11152S	11152S	1
ORNAMENTAL GRASSES	11152T	DOGWOOD	11152T	11152T	1
ORNAMENTAL GRASSES	11152U	DOGWOOD	11152U	11152U	1
ORNAMENTAL GRASSES	11152V	DOGWOOD	11152V	11152V	1
ORNAMENTAL GRASSES	11152W	DOGWOOD	11152W	11152W	1
ORNAMENTAL GRASSES	11152X	DOGWOOD	11152X	11152X	1
ORNAMENTAL GRASSES	11152Y	DOGWOOD	11152Y	11152Y	1
ORNAMENTAL GRASSES	11152Z	DOGWOOD	11152Z	11152Z	1

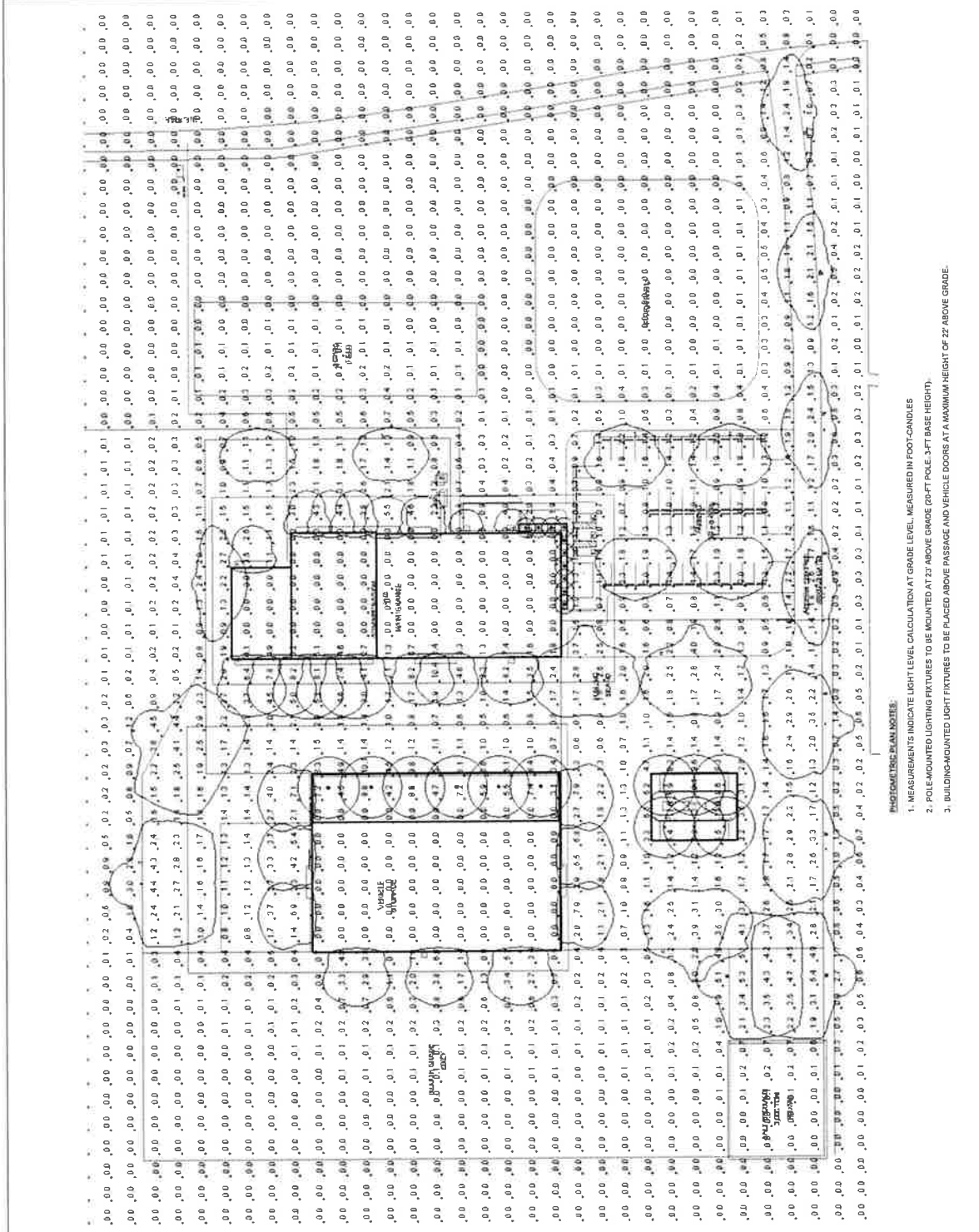
INDIANA81
Know what's below. Call before you dig.



DRAWING NUMBER: E11
SITE: SITE LIGHTING PHOTOMETRIC PLAN
PROJECT: NEW HIGHWAY MAINTENANCE GARAGE FACILITY
LOCATION: HENDRICKS COUNTY, INDIANA
DATE: 11/02/2011
PROJECT NUMBER: 2063-1041-50

DLZ
ARCHITECTURE - ENGINEERING - PLANNING
SURVEYING - CONSTRUCTION SERVICES
DLZ Indiana, LLC

GENERAL ELECTRICAL NOTES
A. REFER TO DRAWINGS FOR ADDITIONAL GENERAL NOTES.
B. ALL DIMENSIONS ARE APPROXIMATE. FIELD VERIFY PRIOR TO CONSTRUCTION. ANY CONFLICTS BETWEEN DRAWINGS SHALL BE RESOLVED BY THE ENGINEER.
C. THE CONTRACTOR SHALL COORDINATE ALL UTILITIES WITH THE ELECTRIC UTILITY PRIOR TO CONSTRUCTION.
D. (TYPICAL) TRENCH DEPTH SHALL BE A MINIMUM OF 24" IF IT IS BELOW FLOOR FINISH.
E. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL ORDINANCES.
F. DRAWINGS INDICATING REFER TO INDIVIDUAL BUILDINGS OR EQUIPMENT SHALL BE SUBJECT TO VERIFICATION BY THE CONTRACTOR FOR ADDITIONAL INFORMATION REGARDING EACH BUILDING.



PHOTOMETRIC PLAN NOTES:
1. MEASUREMENTS INDICATE LIGHT LEVEL CALCULATION AT GRADE LEVEL, MEASURED IN FOOT-CANDLES.
2. POLE-MOUNTED LIGHTING FIXTURES TO BE MOUNTED AT 23' ABOVE GRADE (20'-FT POLE, 3'-FT BASE HEIGHT).
3. BUILDING-MOUNTED LIGHT FIXTURES TO BE PLACED ABOVE PASSAGE AND VEHICLE DOORS AT A MAXIMUM HEIGHT OF 22' ABOVE GRADE.

SCALE: 1" = 40'-0"
SCALE IN FEET: 0 20 40 80

LITHONIA LIGHTING
 10000 W. 110th Street, Suite 100, Overland Park, KS 66213
 913.666.1111
 www.lithonia.com

NOT FOR CONSTRUCTION

REVISION	DATE	BY	DESCRIPTION
1	06/11/2013	DLZ	ISSUED FOR PERMIT
2	06/11/2013	DLZ	ISSUED FOR CONSTRUCTION

LITHONIA LIGHTING
 LUMINA SERIES REGULATIONS

WARRANTY
 LITHONIA LIGHTING warrants that the luminaires are free from defects in materials and workmanship for a period of 5 years from the date of installation. This warranty is limited to the original purchaser and does not cover damage caused by misuse, abuse, or neglect.

INSTALLATION
 LITHONIA LIGHTING luminaires must be installed in accordance with the manufacturer's instructions and applicable electrical codes. The luminaire must be protected from physical damage and must be installed in a location that is accessible for maintenance.

OPERATION
 LITHONIA LIGHTING luminaires must be operated in accordance with the manufacturer's instructions. The luminaire must not be used in a manner that is not intended by the manufacturer.

MAINTENANCE
 LITHONIA LIGHTING luminaires require minimal maintenance. The luminaire must be cleaned regularly to maintain its light output. The luminaire must be replaced if it is damaged or if it is no longer operating properly.

LITHONIA LIGHTING
 10000 W. 110th Street, Suite 100, Overland Park, KS 66213
 913.666.1111
 www.lithonia.com

W BUILDING MOUNT

Specifications

Model	Length (ft)	Height (ft)	Weight (lb)	Mounting
W100	10	1.5	15	Standard
W150	15	1.5	22.5	Standard
W200	20	1.5	30	Standard
W250	25	1.5	37.5	Standard
W300	30	1.5	45	Standard
W350	35	1.5	52.5	Standard
W400	40	1.5	60	Standard
W450	45	1.5	67.5	Standard
W500	50	1.5	75	Standard

WARRANTY

LITHONIA LIGHTING warrants that the luminaires are free from defects in materials and workmanship for a period of 5 years from the date of installation. This warranty is limited to the original purchaser and does not cover damage caused by misuse, abuse, or neglect.

INSTALLATION

LITHONIA LIGHTING luminaires must be installed in accordance with the manufacturer's instructions and applicable electrical codes. The luminaire must be protected from physical damage and must be installed in a location that is accessible for maintenance.

OPERATION

LITHONIA LIGHTING luminaires must be operated in accordance with the manufacturer's instructions. The luminaire must not be used in a manner that is not intended by the manufacturer.

MAINTENANCE

LITHONIA LIGHTING luminaires require minimal maintenance. The luminaire must be cleaned regularly to maintain its light output. The luminaire must be replaced if it is damaged or if it is no longer operating properly.

TWX3 LED Wall Luminaire

Specifications

Model	Length (ft)	Height (ft)	Weight (lb)
TWX3-10	10	1.5	15
TWX3-15	15	1.5	22.5
TWX3-20	20	1.5	30
TWX3-25	25	1.5	37.5
TWX3-30	30	1.5	45
TWX3-35	35	1.5	52.5
TWX3-40	40	1.5	60
TWX3-45	45	1.5	67.5
TWX3-50	50	1.5	75

LITHONIA LIGHTING
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 913.666.1111
 www.lithonia.com

D-Series Size 1 LED Area Luminaire

Specifications

Model	Length (ft)	Height (ft)	Weight (lb)
D100	10	1.5	15
D150	15	1.5	22.5
D200	20	1.5	30
D250	25	1.5	37.5
D300	30	1.5	45
D350	35	1.5	52.5
D400	40	1.5	60
D450	45	1.5	67.5
D500	50	1.5	75

WARRANTY

LITHONIA LIGHTING warrants that the luminaires are free from defects in materials and workmanship for a period of 5 years from the date of installation. This warranty is limited to the original purchaser and does not cover damage caused by misuse, abuse, or neglect.

INSTALLATION

LITHONIA LIGHTING luminaires must be installed in accordance with the manufacturer's instructions and applicable electrical codes. The luminaire must be protected from physical damage and must be installed in a location that is accessible for maintenance.

OPERATION

LITHONIA LIGHTING luminaires must be operated in accordance with the manufacturer's instructions. The luminaire must not be used in a manner that is not intended by the manufacturer.

MAINTENANCE

LITHONIA LIGHTING luminaires require minimal maintenance. The luminaire must be cleaned regularly to maintain its light output. The luminaire must be replaced if it is damaged or if it is no longer operating properly.

D-Series Size 0 LED Area Luminaire

Specifications

Model	Length (ft)	Height (ft)	Weight (lb)
D010	10	1.5	15
D015	15	1.5	22.5
D020	20	1.5	30
D025	25	1.5	37.5
D030	30	1.5	45
D035	35	1.5	52.5
D040	40	1.5	60
D045	45	1.5	67.5
D050	50	1.5	75

LITHONIA LIGHTING
 10000 W. 110th Street, Suite 100, Overland Park, KS 66213
 913.666.1111
 www.lithonia.com

P-Series Size 0 LED Area Luminaire

Specifications

Model	Length (ft)	Height (ft)	Weight (lb)
P010	10	1.5	15
P015	15	1.5	22.5
P020	20	1.5	30
P025	25	1.5	37.5
P030	30	1.5	45
P035	35	1.5	52.5
P040	40	1.5	60
P045	45	1.5	67.5
P050	50	1.5	75

WARRANTY

LITHONIA LIGHTING warrants that the luminaires are free from defects in materials and workmanship for a period of 5 years from the date of installation. This warranty is limited to the original purchaser and does not cover damage caused by misuse, abuse, or neglect.

INSTALLATION

LITHONIA LIGHTING luminaires must be installed in accordance with the manufacturer's instructions and applicable electrical codes. The luminaire must be protected from physical damage and must be installed in a location that is accessible for maintenance.

OPERATION

LITHONIA LIGHTING luminaires must be operated in accordance with the manufacturer's instructions. The luminaire must not be used in a manner that is not intended by the manufacturer.

MAINTENANCE

LITHONIA LIGHTING luminaires require minimal maintenance. The luminaire must be cleaned regularly to maintain its light output. The luminaire must be replaced if it is damaged or if it is no longer operating properly.

P-Series Size 1 LED Area Luminaire

Specifications

Model	Length (ft)	Height (ft)	Weight (lb)
P100	10	1.5	15
P150	15	1.5	22.5
P200	20	1.5	30
P250	25	1.5	37.5
P300	30	1.5	45
P350	35	1.5	52.5
P400	40	1.5	60
P450	45	1.5	67.5
P500	50	1.5	75





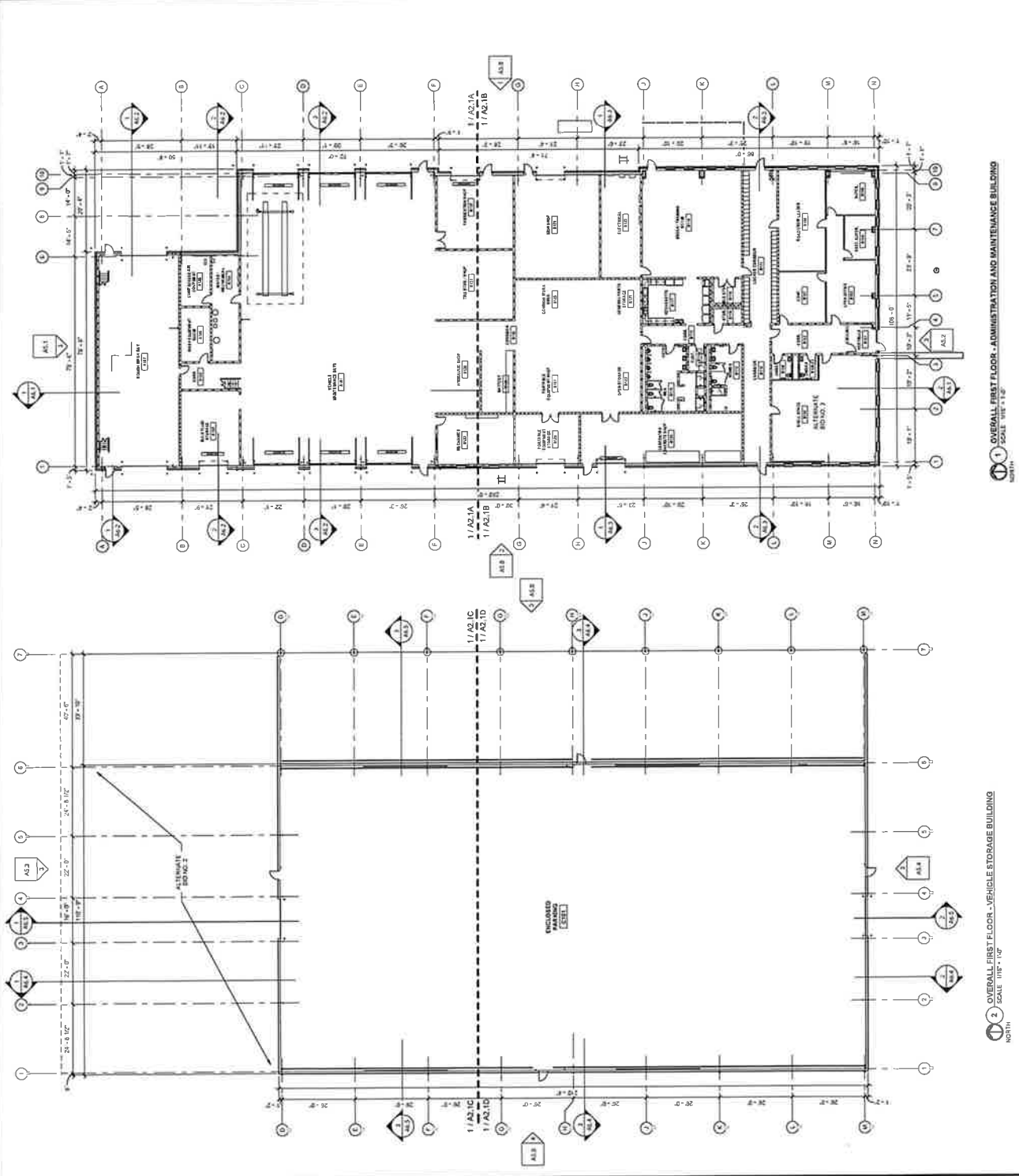


NO.	REVISION	DATE

DLZ
ARCHITECTURE • CONSTRUCTION • PLANNING
SURVEYING • CONSTRUCTION SERVICES
DLZ Indiana, LLC

NOT FOR
CONSTRUCTION

GENERAL NOTES:
A. REFER TO C11 FOR ADDITIONAL GENERAL NOTES AND INFORMATION.
B. ALL FINISHES TO BE AS SHOWN UNLESS OTHERWISE NOTED.
C. DECORATIVE FACE CLAS SHALL HAVE SHALLOOED CORNER UNLESS NOTED OTHERWISE.



1 OVERALL FIRST FLOOR - ADMINISTRATION AND MAINTENANCE BUILDING
SCALE: 1/8" = 1'-0"

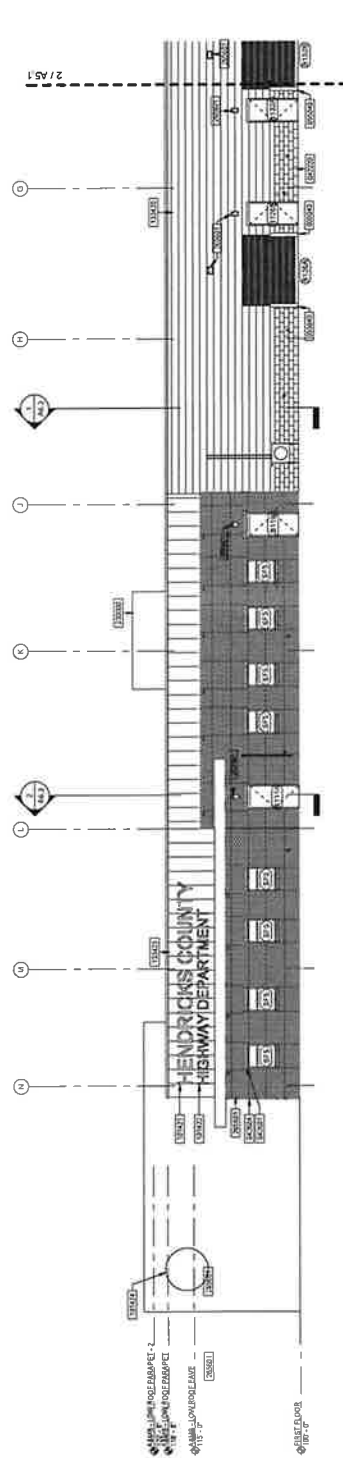
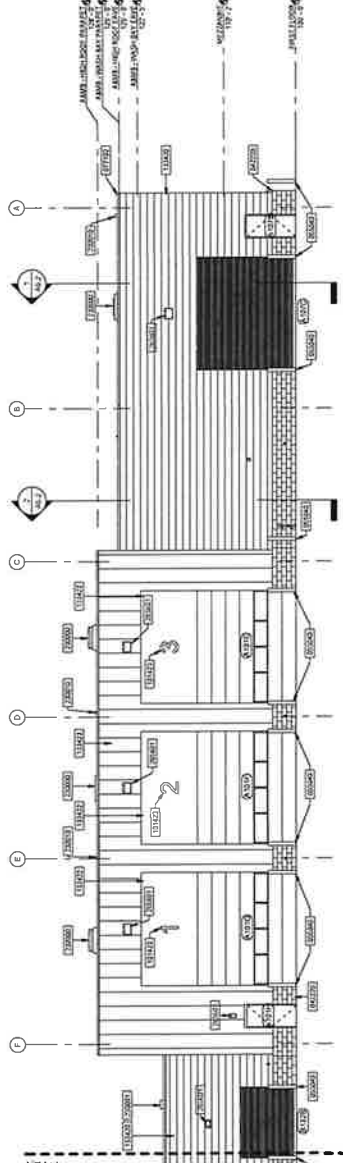
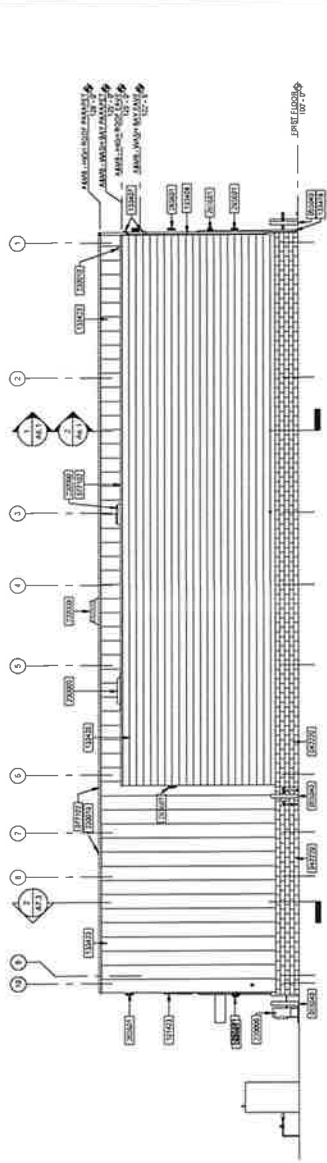
2 OVERALL FIRST FLOOR - VEHICLE STORAGE BUILDING
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

- GENERAL NOTES:**
- 1. REFER TO ALL GENERAL NOTES AND INFORMATION.
 - 2. INSTALL CONTROL JOINTS (CJ) IN CURB AND EXPANSION JOINTS INDICATED IN PLAN IN ACCORDANCE WITH INDUSTRY STANDARDS.

KEYNOTES

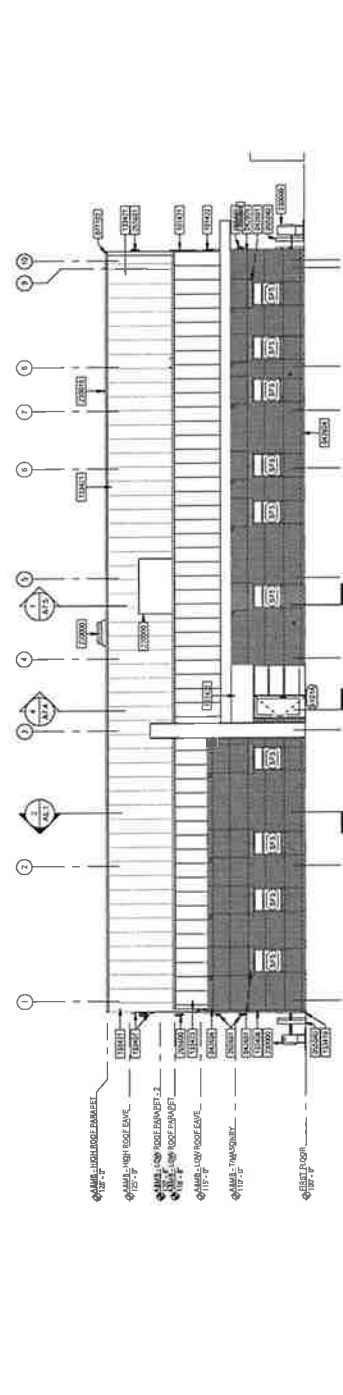
- 00200 SECONDARY CONCRETE WINDOW CASIS
- 04201 MASONRY BRICKWORKER - TYPE 1 BENEATH COURSE
- 04208 MASONRY BRICKWORKER - TYPE 1 BENEATH COURSE
- 05000 METAL ISLANDS
- 07102 METAL COPING
- 10104 INVERTED TYPICAL LETTER STORAGE TYPE 1
- 10102 INVERTED TYPICAL LETTER STORAGE TYPE 2
- 10104 INVERTED TYPICAL LETTER STORAGE TYPE 3
- 10104 INVERTED TYPICAL LETTER STORAGE TYPE 4
- 10407 GUTTER BY METAL BUILDING SYSTEM MANUF.
- 13008 DOWNPOUT BY METAL BUILDING SYSTEM MANUF.
- 13019 DOWNPOUT BOOT BY METAL BUILDING SYSTEM MANUF.
- 13140 INSULATED METAL PANEL BY METAL BUILDING SYSTEM MANUF. TYPE 1
- 13402 INSULATED METAL PANEL BY METAL BUILDING SYSTEM MANUF. TYPE 1
- 13403 INSULATED METAL PANEL BY METAL BUILDING SYSTEM MANUF. TYPE 1
- 20000 MECHANICAL EQUIPMENT
- 20001 MECHANICAL EQUIPMENT
- 20002 EQUIPMENT PANEL
- 20003 EQUIPMENT PANEL
- 20004 EQUIPMENT PANEL
- 20005 EQUIPMENT PANEL
- 20006 EQUIPMENT PANEL
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- 20100 EQUIPMENT PANEL



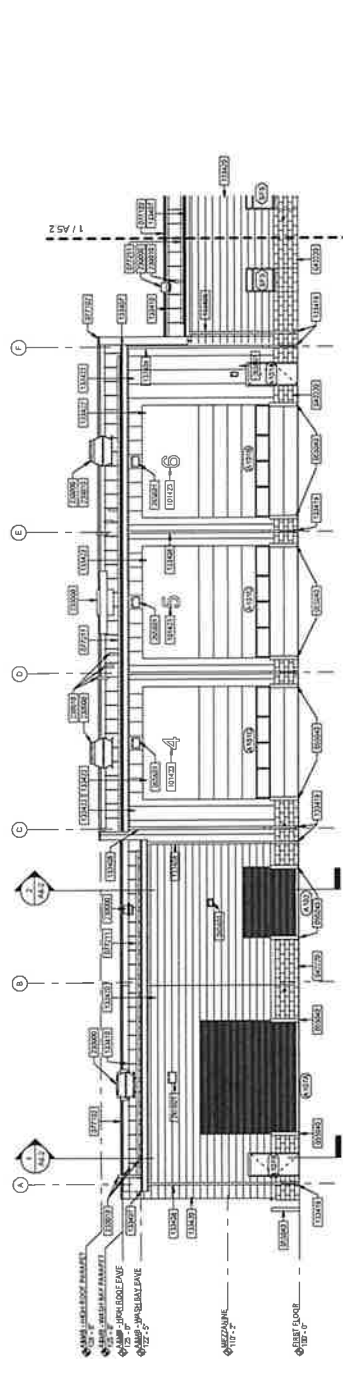
NOT FOR CONSTRUCTION

GENERAL NOTES:
 A. REFER TO ALL FOR ADDITIONAL GENERAL NOTES AND PROVISIONS.
 B. ALL MATERIALS AND FINISHES TO BE SHOWN AS APPROVED BY THE ARCHITECT.
 C. ALL MASONRY WALL SYSTEMS AS SHOWN, IF NOT SPECIFIED, TO BE INSTALLED IN ACCORDANCE WITH INDUSTRY STANDARDS.

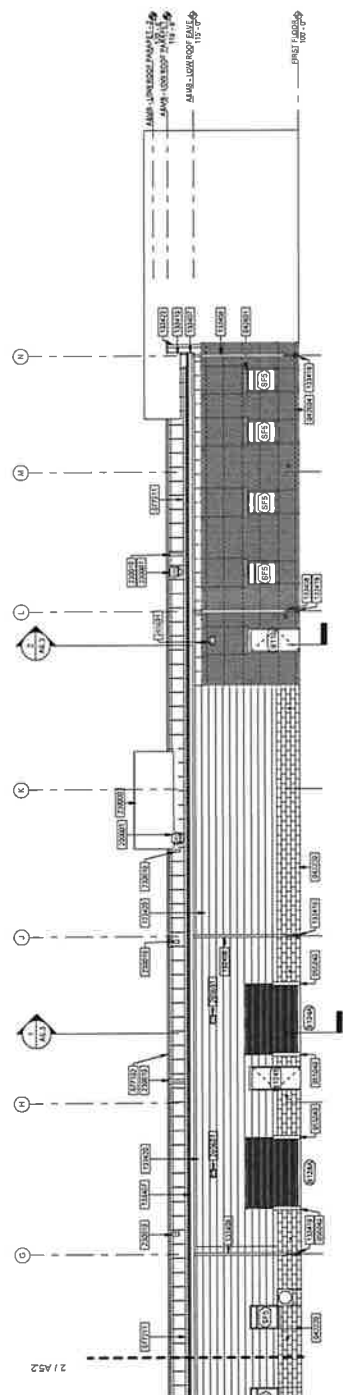
- KEYNOTES**
- 13002 RECONSTRUCT CONCRETE WINDUP UNIT
 - 13001 MASONRY BRICK/VENEER - TYPE 1, EXTERIOR COURSE
 - 13004 MASONRY BRICK/VENEER - TYPE 1, SPOUNDER COURSE
 - 89003 METAL WALLBOARD
 - 87702 METAL CLADDING
 - 87701 METAL TYPE 1, UNPAINTED/STAIN GUARD
 - 11421 DIMENSIONAL LETTER SIGNAGE - TYPE 1
 - 11422 DIMENSIONAL LETTER SIGNAGE - TYPE 2
 - 11423 DIMENSIONAL LETTER SIGNAGE - TYPE 3
 - 13407 GUTTER BY METAL BUILDING SYSTEM MANUF.
 - 13408 DOWNSPOUT BY METAL BUILDING SYSTEM MANUF.
 - 13410 CORRUGATED METAL ROOF PANEL BY METAL BUILDING SYSTEM MANUF.
 - 13409 INSULATED METAL PANEL BY METAL BUILDING SYSTEM MANUF. TYPE 1
 - 13406 INSULATED METAL PANEL BY METAL BUILDING SYSTEM MANUF. TYPE 2
 - 13405 INSULATED METAL PANEL BY METAL BUILDING SYSTEM MANUF. TYPE 3
 - 13404 INSULATED METAL PANEL BY METAL BUILDING SYSTEM MANUF. TYPE 4
 - 23000 MECHANICAL EQUIPMENT
 - 23001 EXHAUST FAN
 - 23002 EQUIPMENT FAUSE
 - 26009 EXTERIOR LIGHTING - LIGHTING POLES AND STANDARDS
 - 26008 EXTERIOR LED LIGHT



4 SOUTH EXTERIOR ELEVATION - MAIN
 SCALE: 1/8" = 1'-0"



2 WEST EXTERIOR ELEVATION - AREA A
 SCALE: 1/8" = 1'-0"



1 WEST EXTERIOR ELEVATION - AREA B
 SCALE: 1/8" = 1'-0"

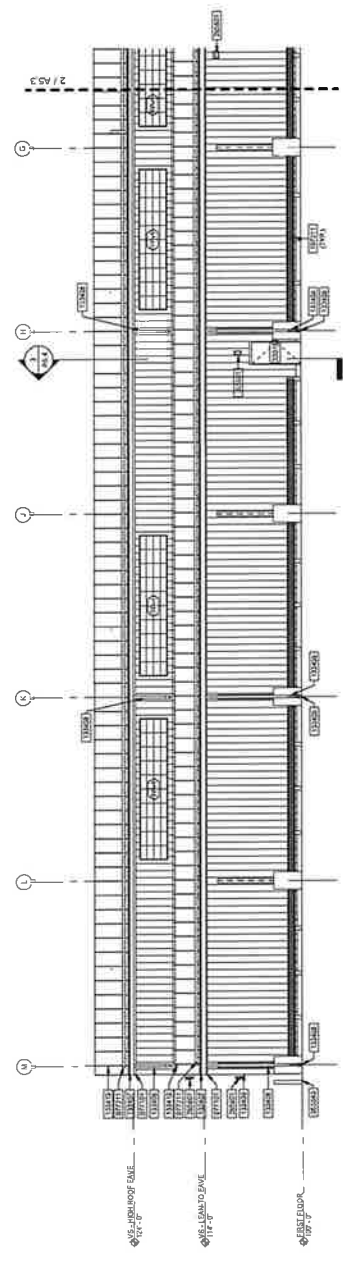
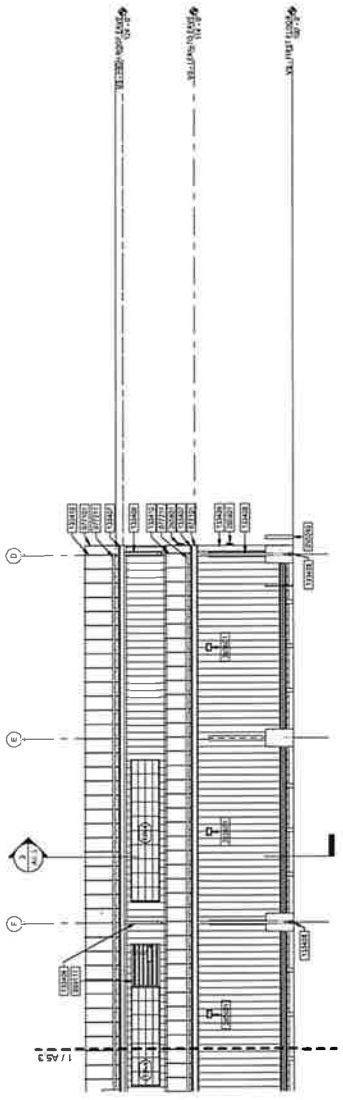
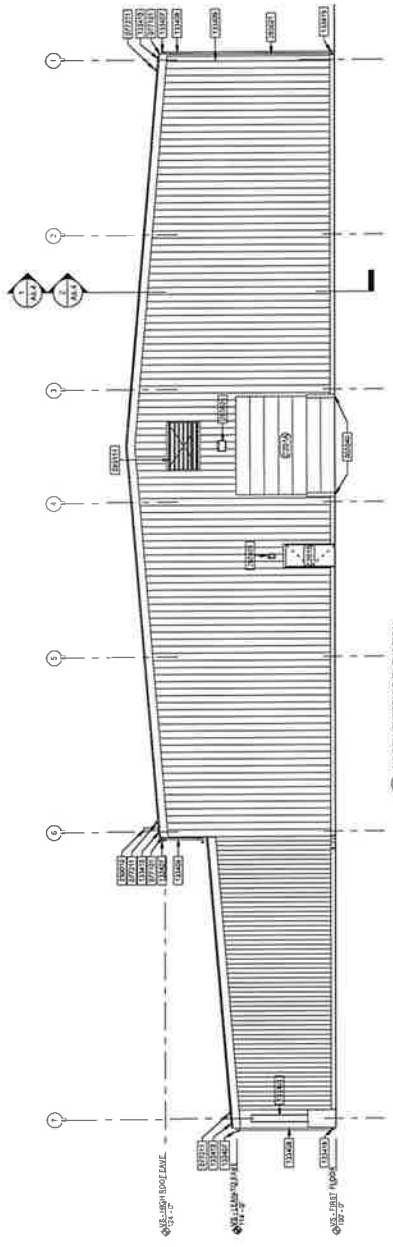
DATE	DESCRIPTION

NOT FOR CONSTRUCTION



GENERAL NOTES:
A. REFER TO G-1 FOR ADDITIONAL GENERAL NOTES AND INFORMATION.
B. METAL PANELS SHALL BE INSTALLED OVER A 1/2" THICK INSULATED CONCRETE WALL SYSTEM AS SHOWN IF NOT SPECIFIED OTHERWISE.
C. METAL PANELS SHALL BE INSTALLED IN ACCORDANCE WITH INDUSTRY PRACTICES.

- KEYNOTES**
- 00000 METAL BOLDS
 - 01120 PREFINISHED METAL FLASHING
 - 01210 METAL FLASHING
 - 01220 METAL FLASHING
 - 01230 METAL FLASHING
 - 01240 METAL FLASHING
 - 01250 METAL FLASHING
 - 01260 METAL FLASHING
 - 01270 METAL FLASHING
 - 01280 METAL FLASHING
 - 01290 METAL FLASHING
 - 01300 METAL FLASHING
 - 01310 METAL FLASHING
 - 01320 METAL FLASHING
 - 01330 METAL FLASHING
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 - 01500 METAL FLASHING
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 - 01570 METAL FLASHING
 - 01580 METAL FLASHING
 - 01590 METAL FLASHING
 - 01600 METAL FLASHING
 - 01610 METAL FLASHING
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 - 01900 METAL FLASHING
 - 01910 METAL FLASHING
 - 01920 METAL FLASHING
 - 01930 METAL FLASHING
 - 01940 METAL FLASHING
 - 01950 METAL FLASHING
 - 01960 METAL FLASHING
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 - 01980 METAL FLASHING
 - 01990 METAL FLASHING



NO.	REVISION	DATE
1	ISSUED FOR PERMIT	11/20/24

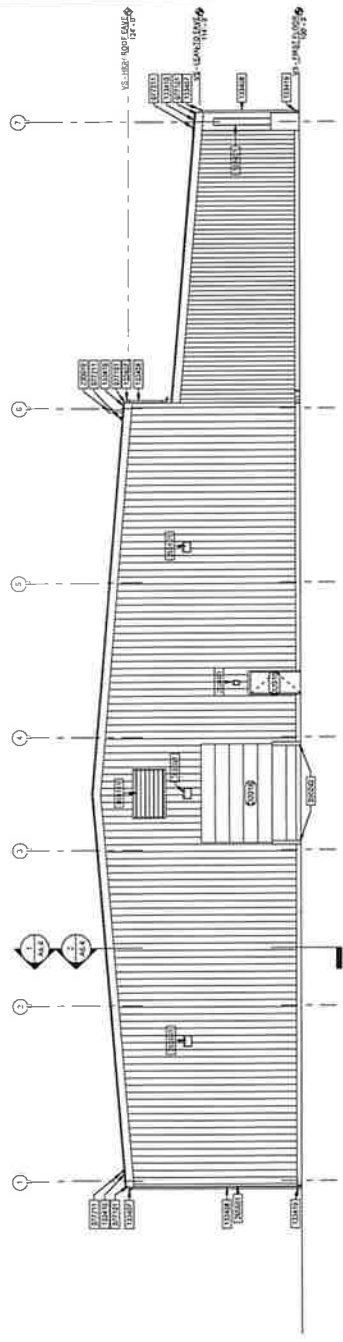
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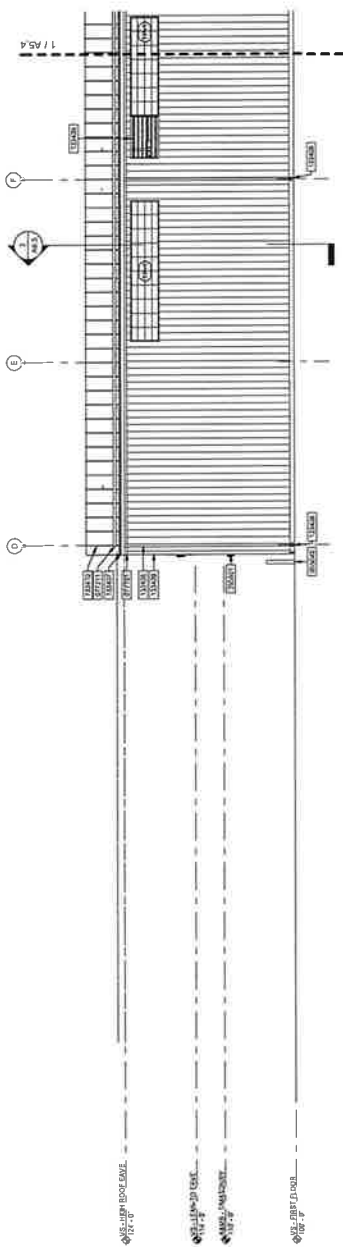
GENERAL NOTES:
 A. REFER TO ALL GENERAL NOTES AND INFORMATION.
 B. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE HENDRICKS COUNTY WALL SYSTEM AS SHOWN, IF NOT SPECIFIED, SHALL BE INSTALLED IN ACCORDANCE WITH INDUSTRY STANDARDS.

KEYNOTES

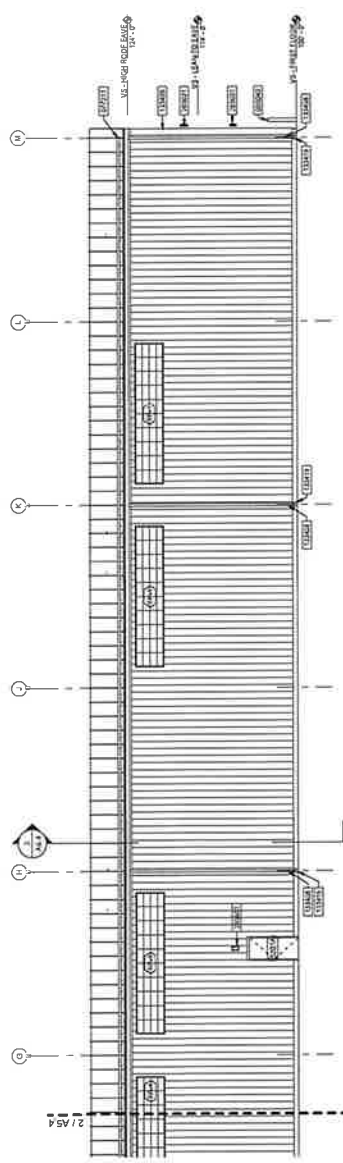
- 20000 METAL BELLOWS
- 27741 PRE-FORMED METAL PANEL
- 27211 ALUMINUM SEMI-RIGID BROWBOARD
- 28111 GROUND REFER TO GROUND ELEVATION
- 13307 FORMED METAL ROOF SYSTEM MANUFACTURED BY METAL BUILDING SYSTEMS
- 13348 DOWNPOUT BY METAL BUILDING SYSTEMS MANUFACTURED BY METAL BUILDING SYSTEMS
- 13309 FORMED METAL WALL PANEL BY METAL BUILDING SYSTEMS
- 13410 FORMED METAL ROOF PANEL BY METAL BUILDING SYSTEMS
- 13411 DOWNPOUT ROOF BY METAL BUILDING SYSTEMS
- 23002 EQUIPMENT FLOOR
- 26001 EXTERIOR LIGHT FIXTURE



3 SOUTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION - AREA 5
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION - AREA 6
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

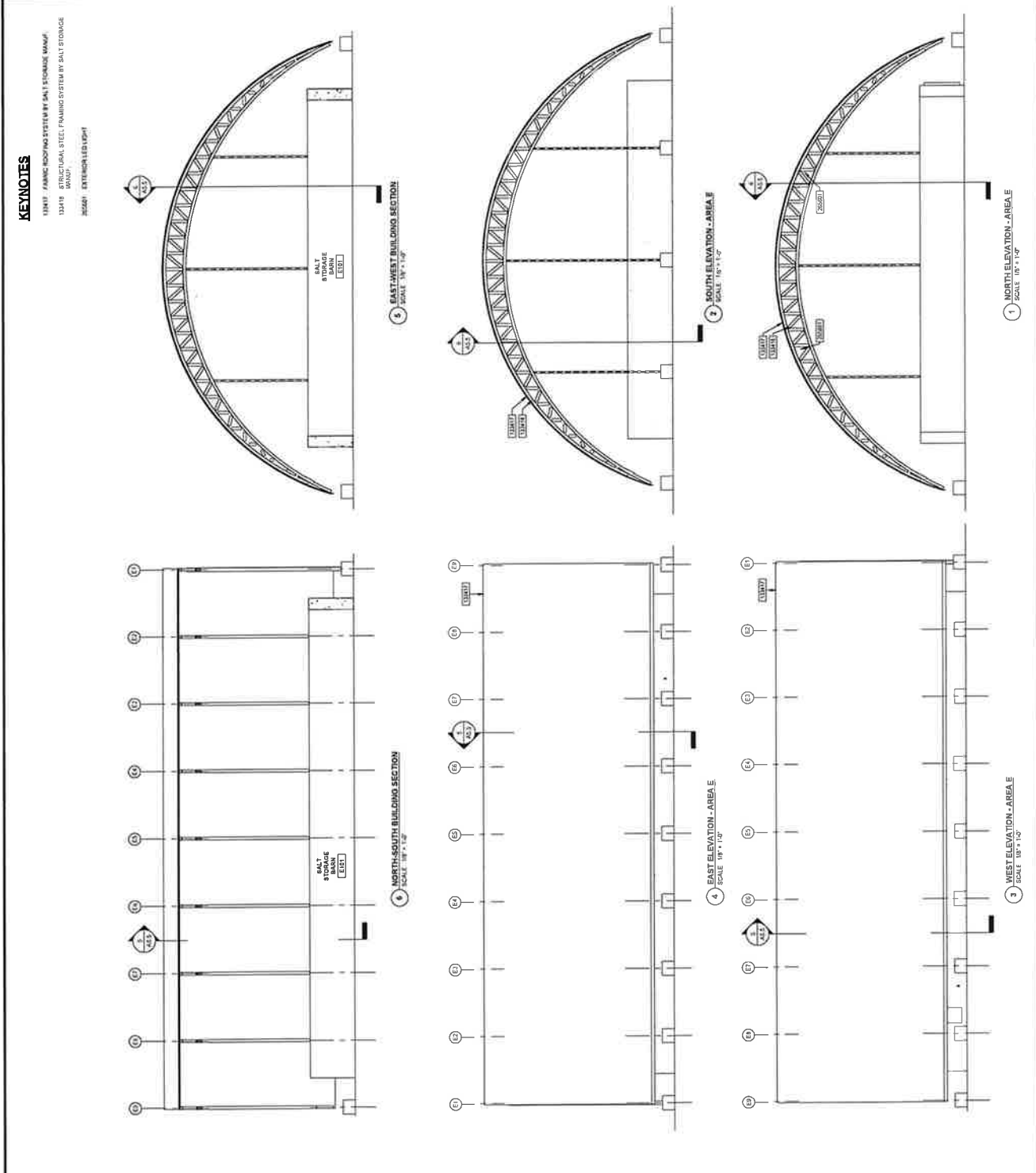
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 DLZ Indiana, LLC

GENERAL NOTES:

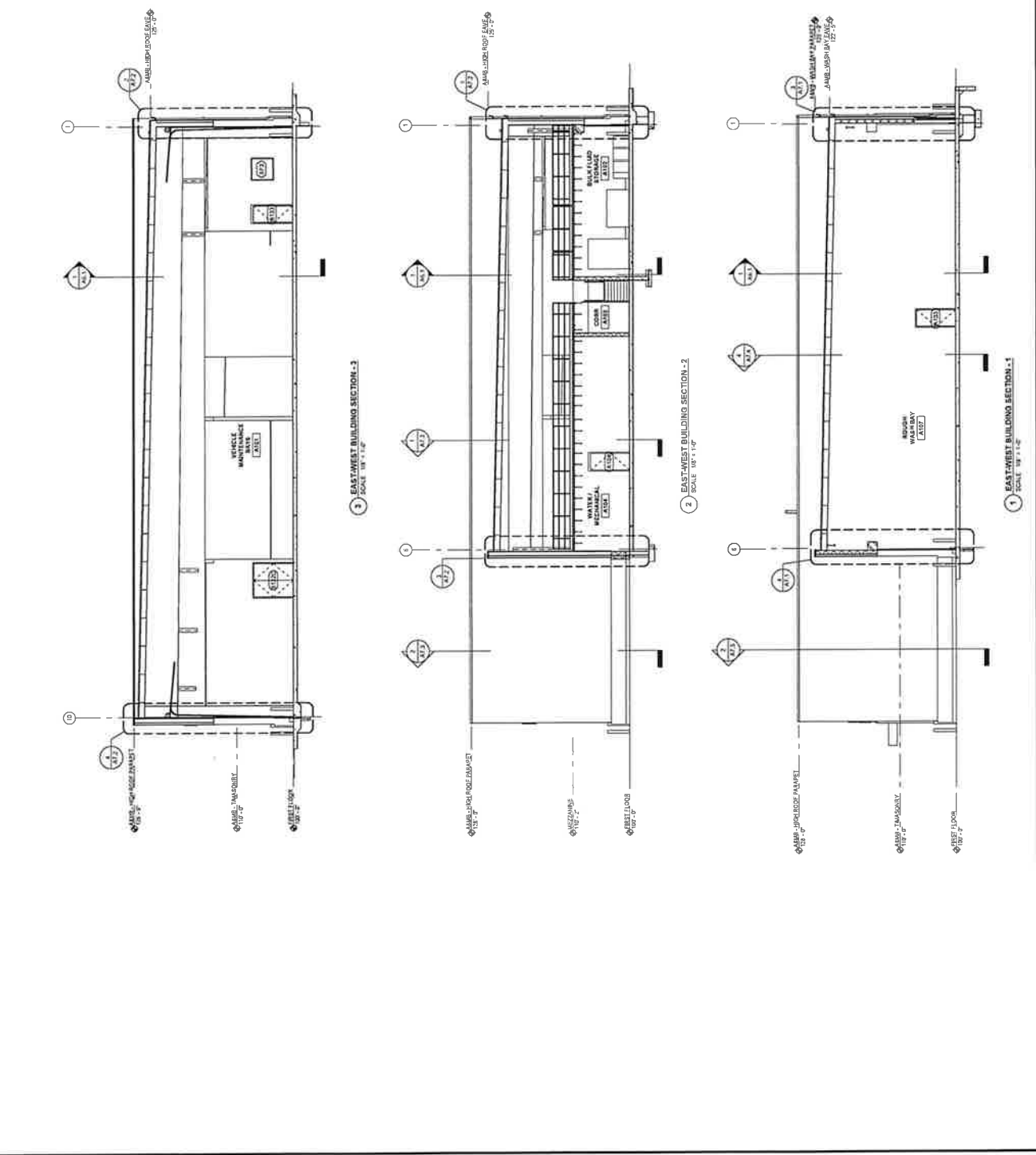
- REFER TO ALL OTHER GENERAL NOTES AND SPECIFICATIONS FOR THIS PROJECT.
- SEE ALL NOTES FOR THE EXTERIOR ELEVATIONS AND BUILDING SECTIONS.
- THESE SPECIFICATIONS ARE BASED ON THE FOLLOWING:
 - 1. FABRIC TYPE: 4518 (24" W x 48" H)
 - 2. FABRIC TYPE: 4518 (24" W x 48" H)
 - 3. FABRIC TYPE: 4518 (24" W x 48" H)
 - 4. FABRIC TYPE: 4518 (24" W x 48" H)
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 - 99. FABRIC TYPE: 4518 (24" W x 48" H)
 - 100. FABRIC TYPE: 4518 (24" W x 48" H)

APPROXIMATE BUILDING CAPACITY:

- PANELS TO BE USED AS BACK WALL IN lieu of 2" L.
- INCREASE BUILDING BY ONE ADDITIONAL 12' BAY BUILDING LENGTH INSTEAD OF 12'.
- APPROX 1.1M TONS OF SALT STORAGE CAPACITY.



ARCHITECTURE A6.2		DRAWING NUMBER DANVILLE	
HENDRICKS COUNTY, INDIANA HIGHWAY MAINTENANCE FACILITY CAMPUS			
ADMINISTRATION AND MAINTENANCE BUILDING EAST-WEST BUILDING SECTIONS - 1			
PROJECT NUMBER 2063-1041-50		PROJECT NAME HIGHWAY MAINTENANCE FACILITY CAMPUS	
DATE NOVEMBER 1, 2024		ARCHITECT D.L.Z. INDIANA, LLC	
DRAWN BY J.M.		CHECKED BY J.M.	
PROJECT START 11/01/2024		PROJECT END 11/01/2024	
REVISION DATE		1 11/01/2024	



GENERAL NOTES:

- REFER TO G1 FOR ADDITIONAL GENERAL NOTES AND INFORMATION.
- ALL EXPOSED EDGES OF FORM INCLUDING EDGES OF CONCRETE SHALL BE FINISHED WITH ENGRAINED TOXES UNLESS NOTED OTHERWISE.

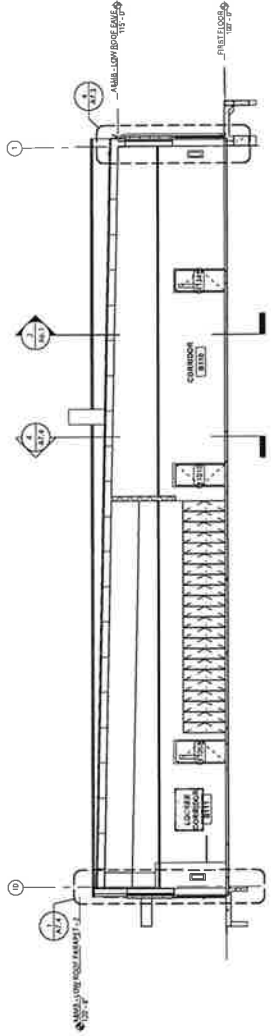
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SUBMITTING - CONSTRUCTION SERVICES
DLZ Indiana, LLC

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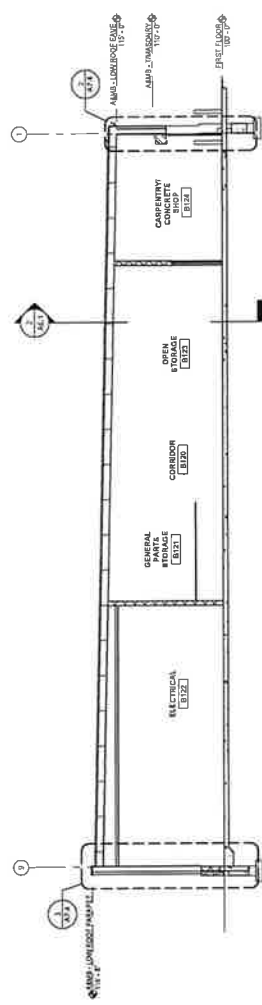
NO.	REVISION	DATE

NOT FOR
 CONSTRUCTION

GENERAL NOTES:
 A. REFER TO (1) FOR ADDITIONAL GENERAL NOTES AND INFORMATION.
 B. ALL INTERIORS SHALL BE FINISHED WITH 1/2" GYP BOARD UNLESS NOTED OTHERWISE.
 C. ALL INTERIORS SHALL HAVE 8'x8'x8' CORNER COLUMNS UNLESS NOTED OTHERWISE.
 D. ALL INTERIORS SHALL HAVE 8'x8'x8' CORNER COLUMNS UNLESS NOTED OTHERWISE.



2 EAST-WEST BUILDING SECTION - 2
 SCALE: 1/8" = 1'-0"

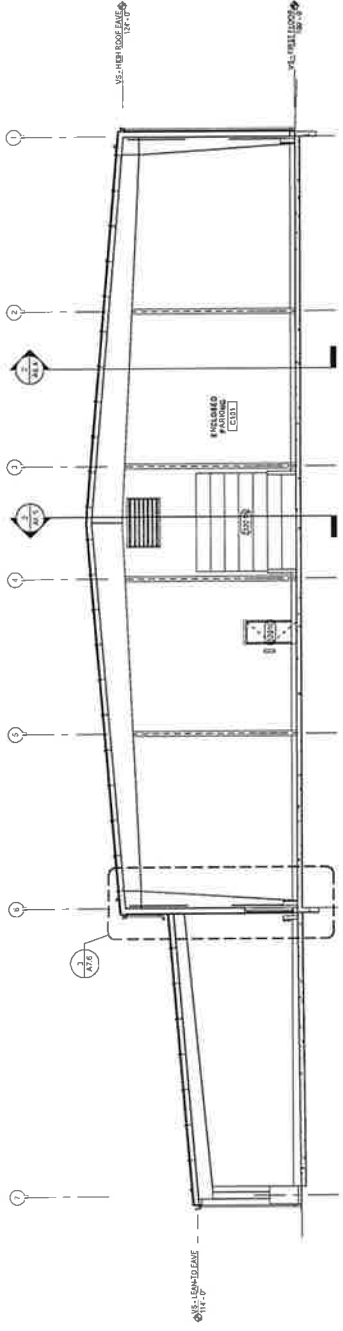


1 EAST-WEST BUILDING SECTION - 1
 SCALE: 1/8" = 1'-0"

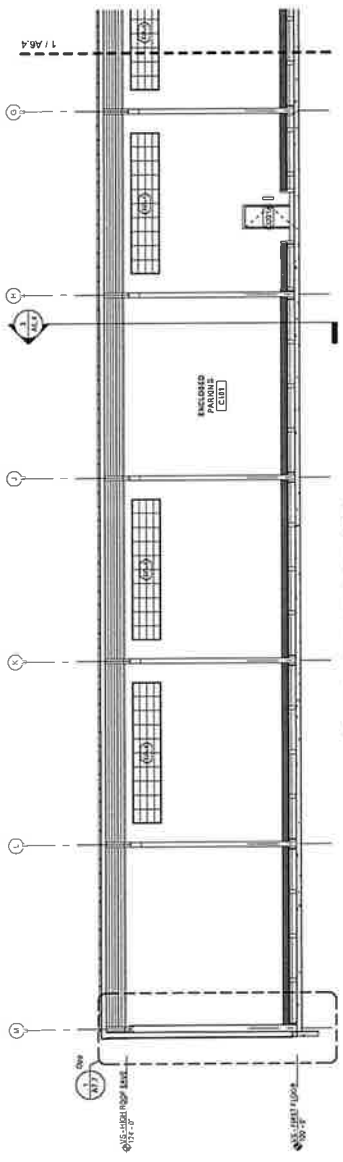


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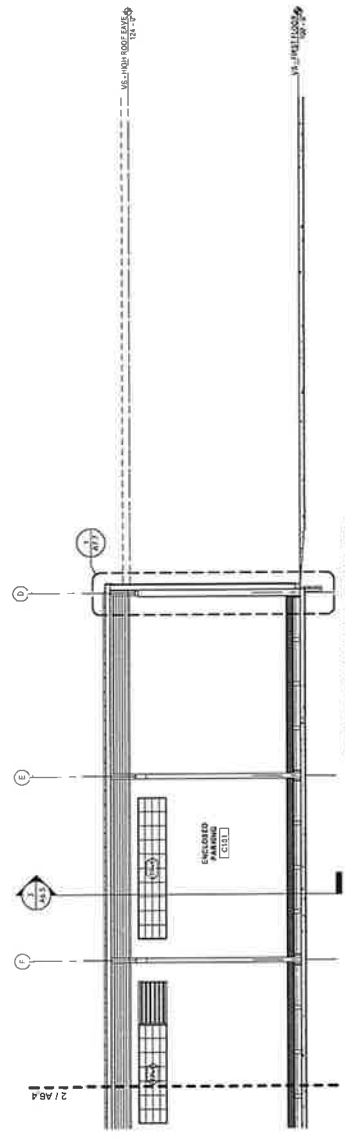
GENERAL NOTES:
 1. REFER TO ALL ARCHITECTURAL GENERAL NOTES AND
 INFORMATION.
 2. FINISHES, SCHEDULES, AND OTHERS SHALL BE AS SHOWN ON DRAWINGS UNLESS OTHERWISE NOTED.
 3. OCCUPANT'S FLOOR LOADS SHALL HAVE ALLOWED EDGES
 UNLESS NOTED OTHERWISE.



1 EAST-WEST BUILDING SECTION - 1
 SCALE: 1/8" = 1'-0"



2 NORTH-SOUTH BUILDING SECTION - AREA D
 SCALE: 1/8" = 1'-0"



3 NORTH-SOUTH BUILDING SECTION - AREA C
 SCALE: 1/8" = 1'-0"



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NOT FOR CONSTRUCTION

GENERAL NOTES:
 1. REFER TO CLT FOR ADDITIONAL GENERAL NOTES AND INFORMATION.
 2. ALL DIMENSIONS OF WALL, WINDOW, DOORS, ETC. DECORATIVE FACE DIMS. SHALL HAVE BALANCED EDGES UNLESS NOTED OTHERWISE.

