

TOWN OF DANVILLE

Danville Board of Zoning Appeals
January 22, 2025
6:00 PM

AGENDA

I. Call Meeting to Order

- Pledge of Allegiance
- Establish Quorum
- Approve Minutes
- Elect Officers
 - President
 - Vice President
 - Secretary
- Swear In Participants

II. New Business:

- A. Public Hearing: A development standards variance to allow an on-site commercial septic system (UDO Section 2.10 C., IL Utility Standards) in the Industrial Light (IL) zoning district on property located at 1100 South County Road 300 East**
(Stephen Kromkowski, DLZ & John Ayers, on behalf of Hendricks County Board of Commissioners)
- B. Public Hearing: A development standards variance to allow alternative varying building materials (UDO Section 4.03.D.4.a.iv., Permitted Building Materials for Street Facade) in the Industrial Light (IL) zoning district on property located at 1100 South County Road 300 East**
(Stephen Kromkowski, DLZ & John Ayers, on behalf of Hendricks County Board of Commissioners)
- C. Public Hearing: A development standards variance to eliminate specific trim requirements (UDO Section 4.03.D.4.d., Trim and Historic Details) in the Industrial Light (IL) zoning district on property located at 1100 South County Road 300 East**
(Stephen Kromkowski, DLZ & John Ayers, on behalf of Hendricks County Board of Commissioners)
- D. Public Hearing: A development standard variance to allow a roof eave with no overhang (UDO Section 4.03.D.5.d., Roof Eaves) in the Industrial Light (IL) zoning district on property located at 1100 South County Road 300 East**
(Stephen Kromkowski, DLZ & John Ayers, on behalf of Hendricks County Board of Commissioners)

III. Other Business: None

IV. Report of Officers and Committees

V. Adjourn

Next Meeting:
February 19, 2025

DANVILLE BOARD OF ZONING APPEALS
Meeting Minutes
December 18th, 2024
6:00 PM

Members Present: Kevin Tussey, Tracie Shearer, Jill Howard, Randy Waltz, Tiffany Dalton
Members Absent: None
Staff Present: Lesa Ternet, Brittany Mays
Legal: Kayla-Moody Grant
Guests: Ben Comer, David Alexander, Scott Perkins, Luke Wilson

A quorum was established, and the meeting was called to order by K. Tussey. The minutes from July 17th, 2024, were approved. R. Waltz made a motion to approve. J. Howard seconded the motion. Motion carried 4-0.

T. Shearer arrived at the meeting at 6:05 P.M.

Swear in Participants: K. Tussey swore in B. Comer, D. Alexander, S. Perkins, and L. Wilson.

New Business:

- A. Public Hearing: A development standard variance to not provide a sidewalk within the public right of way (UDO Section 4.03.C.4.a) in the Industrial Light (IL) zoning district on property located at 200 Colin Court**
(Scott Perkins, Blackline Studio)

L. Ternet asked if S. Perkins could present all variances related to the property at once. K. Tussey agreed. S. Perkins stated Bio Response is proposing a 12,000 square foot new building on their existing site. He stated they were requesting 6 variances for this project. S. Perkins stated there were no other public sidewalks in the development. He stated given the use of the building there was no pedestrian traffic to the building, as the staff would arrive by vehicle, park in the lots, and come into the building by the provided sidewalk from the existing building and the paved parking lot. He continued to state they are attempting to have the new building match the existing building in materials, such as color, scale, and character. S. Perkins stated they are requesting 7% transparency in the building façade, which were windows in the front façade. He stated they were also requesting for the placement of the loading dock to be in front of the building given the configuration of the lot. S. Perkins stated the last variance they were requesting was for the location of the dumpster to also be in front of the proposed building. K. Tussey opened the meeting to the

public. No public comment. The meeting was closed to the public. J. Howard made a motion to approve. T. Dalton seconded the motion. Motion carried 5-0.

Roll Call Vote:

R. Waltz – Aye
T. Shearer – Aye
K. Tussey – Aye
J. Howard – Aye
T. Dalton - Aye

B. Public Hearing: A development standard variance to not provide a sidewalk within the public right of way and the primary structure (UDO Section 4.03.C.4.b) in the Industrial Light (IL) zoning district on property located at 200 Colin Court
(Scott Perkins, Blackline Studio)

S. Perkins presented all Items related to his project during Item A. K. Tussey opened the meeting to the public. No public comment. The meeting was closed to the public. J. Howard made a motion to approve. R. Waltz seconded the motion. Motion carried 5-0.

Roll Call Vote:

R. Waltz – Aye
T. Shearer – Aye
K. Tussey – Aye
J. Howard – Aye
T. Dalton - Aye

C. Public Hearing: A development standards variance of the requirements for façade variations, exterior building materials and roof design (UDO Section 4.03.D) in the Industrial Light (IL) zoning district on property located at 200 Colin Court
(Scott Perkins, Blackline Studio)

S. Perkins presented all Items related to his project during Item A. K. Tussey opened the meeting to the public. No public comment. The meeting was closed to the public. T. Sherer made a motion to approve. J. Howard seconded the motion. Motion carried 5-0.

Roll Call Vote:

R. Waltz – Aye
T. Shearer – Aye

K. Tussey – Aye
J. Howard – Aye
T. Dalton - Aye

D. Public hearing: A development standard variance of the requirements for building façade transparency (UDO Section 4.03.D.3) in the Industrial Light (IL) zoning district on property located at 200 Colin Court
(Scott Perkins, Blackline Studio)

S. Perkins presented all Items related to his project during Item A. K. Tussey opened the meeting to the public. No public comment. The meeting was closed to the public. J. Howard made a motion to approve. R. Waltz seconded the motion. Motion carried 5-0.

Roll Call Vote:

R. Waltz – Aye
T. Shearer – Aye
K. Tussey – Aye
J. Howard – Aye
T. Dalton - Aye

E. Public Hearing: A development standard variance of the requirement for the loading dock, loading berth, and overhead door for vehicle access (UDO Section 4.07.C.4.d) in the Industrial Light (IL) zoning district on property located at 200 Colin Court
(Scott Perkins, Blackline Studio)

S. Perkins presented all Items related to his project during Item A. K. Tussey opened the meeting to the public. No public comment. The meeting was closed to the public. T. Sherer made a motion to approve. T. Dalton seconded the motion. Motion carried 5-0.

Roll Call Vote:

R. Waltz – Aye
T. Shearer – Aye
K. Tussey – Aye
J. Howard – Aye
T. Dalton - Aye

F. Public Hearing: A development standard variance of the requirement for the dumpster location (UDO Section 4.11.C.3) in the Industrial Light (IL) zoning district on property located at 200 Colin Court
(Scott Perkins, Blackline Studio)

S. Perkins presented all Items related to his project during Item A. K. Tussey opened the meeting to the public. No public comment. The meeting was closed to the public. J. Howard made a motion to approve. T. Dalton seconded the motion. Motion carried 5-0.

Roll Call Vote:

R. Waltz – Aye
T. Shearer – Aye
K. Tussey – Aye
J. Howard – Aye
T. Dalton - Aye

**G. Public Hearing: A development standard variance of the requirement for sign area of a permanent sign (UDO Table 4.9) in General Business (GB) zoning district on property located at 1627 East Main Street
(Ben Comer, Comer Law)**

B. Comer presented the project. He stated the far West 4,000 sq feet of the building had been vacant for quite a while, and the petitioner would like to open a restaurant in that space. He stated they are requesting to be able to put a 112 sq foot wall sign on the West side of the building. B. Comer stated there were 3 tenants in the building. There was a CrossFit business that had a 50 sq foot sign, and that was the only signage on the property currently. There was also an engineering company that does not have signage. K. Tussey opened the meeting to the public. No public comment. The meeting was closed to the public. J. Howard made a motion to approve. T. Dalton seconded the motion. Motion carried 5-0.

Roll Call Vote:

R. Waltz – Aye
T. Shearer – Aye
K. Tussey – Aye
J. Howard – Aye
T. Dalton - Aye

**H. Public Hearing: A development standard variance of the requirement for permitted sign types (UDO Table 4.10) in the General Business (GB) zoning district on property located at 1627 East Main Street
(Ben Comer, Comer Law)**

B. Comer presented all Items related to his project during Item G. K. Tussey opened the meeting to the public. No public comment. The meeting was closed to the public. T. Sherer made a motion to approve. R. Waltz seconded the motion. Motion carried 5-0.

Roll Call Vote:

- R. Waltz – Aye
- T. Shearer – Aye
- K. Tussey – Aye
- J. Howard – Aye
- T. Dalton - Aye

Other Business: None

Report of Officers and Committees: None

With there being no further business before the board, R. Waltz made a motion to adjourn J. Howard seconded.

The meeting was adjourned at 6:28 P.M.

Kevin Tussey - President

Randy Waltz – Vice President

Meeting Briefing

January 22, 2025

Stephen Kromkowski, DLZ & John Ayers, on behalf of Hendricks County Board of Commissioners: A development standard variance to allow an on-site commercial septic system

This request is to allow an on-site commercial septic system in an area where municipal wastewater is not available. Included in your packet are the plans, findings of fact and case summary with staff's recommendation. This is a public hearing and will require a vote.

Stephen Kromkowski, DLZ & John Ayers, on behalf of Hendricks County Board of Commissioners: A development standard variance to allow alternative varying building materials

This request is to allow a combination of metal and stone exterior building materials. Included in your packet are the plans, findings of fact and case summary with staff's recommendation. This is a public hearing and will require a vote.

Stephen Kromkowski, DLZ & John Ayers, on behalf of Hendricks County Board of Commissioners: A development standard variance to eliminate specific trim requirements

After the submittal of the variance petition, it was determined the request is not applicable to this project as it is not within the Corridor Protection Overlay District. This request must be withdrawn by the petitioner.

Stephen Kromkowski, DLZ & John Ayers, on behalf of Hendricks County Board of Commissioners: A development standard variance to allow a roof eave with no overhang

This request is to allow a roof eave that does not extend 12 inches from the building wall. Included in your packet are the plans, findings of fact and case summary with staff's recommendation. This is a public hearing and will require a vote.

***NOTE: I have attached one set of plans since each variance request is for the same property.**

CASE SUMMARY

DEVELOPMENT STANDARD VARIANCE

Case: 2024- 2219
John Ayers on behalf of Hendricks County Board of Commissioners
Stephen Kromkowski, DLZ

Request: Seeking a variance of the requirement for municipal wastewater (UDO, Section 2.10.C)

Location: 1100 South County Road 300 East

Acreage: 50 acres

Zoning: Industrial Light (IL)

Staff Summary:

The petitioner is seeking a variance from the requirement to connect to municipal wastewater as outlined in the Unified Development Ordinance (UDO). The UDO mandates connection to municipal water and wastewater systems for waste collection, treatment, disposal, and potable water supply. However, municipal wastewater services are not available in this area from either the Town of Danville or the West Central Conservancy District. As a result, the petitioner plans to use an on-site commercial septic system.

The property will be served by the Town of Danville for municipal water. On December 30, 2024, the petitioner annexed the property into the Town to facilitate the connection to public water, which is necessary for the sprinkler system required by state regulations. The petitioner has expressed a willingness to connect to municipal wastewater if it becomes available in the future.

After the certificate of mailing, staff did not receive any inquiries regarding this request.

Given the lack of access to municipal wastewater and the petitioner's commitment to connect if such services become available, staff has no objection to permitting the use of an on-site commercial septic system at this time.

BZA options include the following actions for each request:

- Approve the variance request
- Deny the variance request
- Approve the variance request with conditions or modifications



Danville BZA

49 North Wayne Street | Danville, IN 46122
317-745-4180 | www.danvilleindiana.org

Date of Hearing: 1-22-25
Board of Zoning Appeals Action: _____

App. No.: 2024-2219
Fee:
Received By: LT

APPLICATION FOR APPROVAL (Check all that apply)

- Appeal Special Exception Use Variance Development Standard Variance

DEC 20 2024

* Please fill out the form in its entirety

Applicant (s) DLZ Indiana, LLC

Address (s) 2211 E Jefferson Blvd, South Bend, IN 46615

Phone (s) (574) 236-4400 Email (s) skromkowski@dlz.com

Owners (s) Hendricks County Board of Commissioners

Address (s) 355 S Washington St. #100 Danville, IN 46122

Phone (s) (317) 745-9236 Email (s) c/o jayers@co.hendricks.in.us

Owners' Representative (Subdivider, if any) and /or Registered Engineer or Land Surveyor: John Ayers

Address (s) 355 S Washington St. #G20 Danville, IN 46122

Phone (s) (317) 745-9236 Email (s) jayers@co.hendricks.in.us

Address of Subject Property: 1100 South County Road 300 East Danville, IN 46122

Area (in acres): 50 acres Number of Lots: 1

Parcel ID#: 32-11-13200-005.000-002 Current Zoning District: Industrial- Light
02-3-13-51w-200-005

Requested Action From The Danville BZA: Variance for requirements within Section 2.10

STATE OF INDIANA)

) SS:
HENDRICKS COUNTY)

The undersigned certifies that the above information is true and correct to the best of his (her) knowledge.

[Signature]
Signature of Owner/Applicant (s)

County Engineer
Title of Applicant

Section 2.10. Project will contain an on-site septic system.

FINDINGS OF FACT

DEVELOPMENT STANDARD VARIANCE

Address: 1100 South County Road 300 East Danville, IN 46122

DEC 20 2024

1. The approval will not be injurious to the public health, safety, morals and general welfare of the community because:

The approval will not be injurious to the public health, safety, morals and general welfare of the community. The development will contain an on-site septic mount-type sewer system serve the sanitary needs of the facility.

2. The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner because:

It is anticipated that a mound-type septic system will be developed on the property to serve as the sanitary sewer system. System will be in accordance with Hendricks County requirements and Indiana State Department of Health regulations.

3. The strict application of the terms of the zoning ordinance will constitute an unnecessary hardship if applied to the property for which the variance is sought because:

The development area along the S. County Road 300 E. does not contain Town of Danville public sewer system and infrastructure. The development area is located east and south of the airport land parcel and south of the existing rail lines. The Town of Danville does not have future plans to extend sanitary sewer to the development area. The ability to extend sanitary sewer approximately .70 miles from the closest existing sewer lines along Rockville Road, would result in unnecessary hardship.

**BOARD OF ZONING APPEALS
DANVILLE, INDIANA**

**ACTION ON PETITION FOR A VARIANCE
FROM DEVELOPMENT STANDARDS**

MOTION

I move that we **approve / deny** the variance sought by Stephen Kromkowski, DLZ & John Ayers, on behalf of Hendricks County Board of Commissioners, petitioner in BZA petition 2024-2219 to allow an on-site commercial septic system (UDO Section 2.10.C) in the IL zoning district. This petition has **satisfied / not satisfied** the requirements for variances under state law for the following reasons:

1. The approval **will / will not** be injurious to the public health, safety, morals, and general welfare of the community
 - a) **for the reason(s) stated in the staff report;**
 - b) **for the reason(s) stated in Petitioner's proposed findings of fact; and/or**
 - c) **because:** _____

2. The use and value of the area adjacent to the property included in the variance **will / will not** be affected in a substantially adverse manner
 - a) **for the reason(s) stated in the staff report;**
 - b) **for the reason(s) stated in Petitioner's proposed findings of fact; and/or**
 - c) **because:** _____

3. The strict application of the terms of the Zoning Ordinance **will / will not** result in practical difficulties in the use of the property
 - a) **for the reason(s) stated in the staff report;**
 - b) **for the reason(s) stated in Petitioner's proposed findings of fact; and/or**
 - c) **because:** _____

[note #1: An adverse finding on any one of the above requires Board denial of the variance.]

[note #2: None of the words in bold italics should be used if the motion is to approve a variance.]

And, I move that this approval be made subject to the following conditions:

[note #3: If the majority votes against a motion to approve a variance, a subsequent motion should be made for findings of fact to reflect that the Petitioner did not establish the three requirements of state law to have been met. This motion should indicate which requirement(s) were not met or cite reasons stated in the staff report, if the staff recommendation was against approval.]

DECISION

(After a second is made to the motion and a vote is taken, the presiding officer makes the following announcement): “It is therefore the decision of this body that this variance petition is **approved / denied** (and if conditions have been imposed)...**subject to the conditions made a part the adopted motion.**”

CASE SUMMARY

DEVELOPMENT STANDARD VARIANCE

- Case:** 2024- 2220
John Ayers on behalf of Hendricks County Board of Commissioners
Stephen Kromkowski, DLZ
- Request:** Seeking a variance of the requirement for permitted building materials for street facade (UDO, Section 4.03.D.4.a.iv.)
- Location:** 1100 South County Road 300 East
- Acreage:** 50 acres
- Zoning:** Industrial Light (IL)

Staff Summary:

The petitioner is requesting a variance from the permitted building materials requirement to allow the use of a combination of metal panels and masonry. The Unified Development Ordinance (UDO) mandates that 80% of each street-facing façade, excluding doors and windows, must be constructed using materials such as brick, stone, fiber cement board, wood siding, composite lap siding, or architectural concrete. Additionally, no more than 20% of the façade may consist of metal, which is the primary material proposed for these buildings.

The design incorporates a variety of materials to create an aesthetically appealing appearance and to avoid the look of an industrial warehouse. This request pertains to the new Hendricks County Highway Maintenance Garage Facility.

Following the certificate of mailing, staff received no inquiries regarding this request.

The site is located in a relatively rural area designated by the Town for potential light industrial development. Considering the diverse use of materials and the significant setback of the buildings from the public right-of-way, staff has no objection to approving this variance request.

BZA options include the following actions for each request:

- Approve the variance request
- Deny the variance request
- Approve the variance request with conditions or modifications



Danville BZA

49 North Wayne Street | Danville, IN 46122
317-745-4180 | www.danvilleindiana.org

Date of Hearing: 1-22-25
Board of Zoning Appeals Action: _____

App. No.: 2024-2220
Fee: —
Received By: LT

APPLICATION FOR APPROVAL (Check all that apply)

- Appeal Special Exception Use Variance Development Standard Variance

DEC 20 2024

* Please fill out the form in its entirety

Applicant (s) DLZ Indiana, LLC

Address (s) 2211 E Jefferson Blvd, South Bend, IN 46615

Phone (s) (574) 236-4400 Email (s) skromkowski@dlz.com

Owners (s) Hendricks County Board of Commissioners

Address (s) 355 S Washington St. #100 Danville, IN 46122

Phone (s) (317) 745-9236 Email (s) c/o jayers@co.hendricks.in.us

Owners' Representative (Subdivider, if any) and for Registered Engineer or Land Surveyor: John Ayers

Address (s) 355 S Washington St. #G20 Danville, IN 46122

Phone (s) (317) 745-9236 Email (s) jayers@co.hendricks.in.us

Address of Subject Property: 1100 South County Road 300 East Danville, IN 46122

Area (in acres): 50 acres Number of Lots: 1


Parcel ID#: 32-11-13200-005.000-002 Current Zoning District: Industrial- Light
02-3-13-51w-200-005

Requested Action From The Danville BZA: Variance for requirements within Section 4.03, item 4a, iv,
Permitted Building Material for Street Facades.

STATE OF INDIANA)

) SS:
HENDRICKS COUNTY)

The undersigned certifies that the above information is true and correct to the best of his (her) knowledge.



Signature of Owner/Applicant (s)

County Engineer

Title of Applicant

FINDINGS OF FACT

DEC 20 2024

DEVELOPMENT STANDARD VARIANCE

Address: 1100 South County Road 300 East Danville, IN 46122

1. The approval will not be injurious to the public health, safety, morals and general welfare of the community because:

The approval will not be injurious to the public health, safety, morals and general welfare of the community. The proposed project reflects a variety of materials including metal panels and masonry to meet the needs of the facility.

2. The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner because:

Given the Industrial-Light district and building use and function, the use of the selected material is appropriate and will not adversely impact the overall character of the area or potential for future development. Building is set back from the right of way by approximately 330'-0" and portions of the building are obstructed from view by secured fencing. Public entry to building is clearly defined and provides a recognizable point of entry which complies with BZA standards, including the use of masonry.

3. The strict application of the terms of the zoning ordinance will constitute an unnecessary hardship if applied to the property for which the variance is sought because:

The majority of the metal panel system will be visually shielded along the east side and E300 with fencing as well as a berm. The strict application of these terms would require the design team to revisit the scope of work for the project, and may not meet the needs of the parties involved using the facility, resulting in unnecessary hardship. The portions of the building within the fenced area utilizes a variety of metal panels to provide visual interest and avoid a non-distinct industrial warehouse image. The Public entry area is masonry and complies with the required standards

**BOARD OF ZONING APPEALS
DANVILLE, INDIANA**

**ACTION ON PETITION FOR A VARIANCE
FROM DEVELOPMENT STANDARDS**

MOTION

I move that we **approve / deny** the variance sought by Stephen Kromkowski, DLZ & John Ayers, on behalf of Hendricks County Board of Commissioners, petitioner in BZA petition 2024-2220 to allow alternative varying building materials (UDO Section 4.03.D.4.iv.) in the IL zoning district. This petition has **satisfied / not satisfied** the requirements for variances under state law for the following reasons:

1. The approval **will / will not** be injurious to the public health, safety, morals, and general welfare of the community
 - a) **for the reason(s) stated in the staff report;**
 - b) **for the reason(s) stated in Petitioner's proposed findings of fact; and/or**
 - c) **because:** _____

2. The use and value of the area adjacent to the property included in the variance **will / will not** be affected in a substantially adverse manner
 - a) **for the reason(s) stated in the staff report;**
 - b) **for the reason(s) stated in Petitioner's proposed findings of fact; and/or**
 - c) **because:** _____

3. The strict application of the terms of the Zoning Ordinance **will / will not** result in practical difficulties in the use of the property
 - a) **for the reason(s) stated in the staff report;**
 - b) **for the reason(s) stated in Petitioner's proposed findings of fact; and/or**
 - c) **because:** _____

[note #1: An adverse finding on any one of the above requires Board denial of the variance.]

[note #2: None of the words in bold italics should be used if the motion is to approve a variance.]

And, I move that this approval be made subject to the following conditions:

[note #3: If the majority votes against a motion to approve a variance, a subsequent motion should be made for findings of fact to reflect that the Petitioner did not establish the three requirements of state law to have been met. This motion should indicate which requirement(s) were not met or cite reasons stated in the staff report, if the staff recommendation was against approval.]

DECISION

(After a second is made to the motion and a vote is taken, the presiding officer makes the following announcement): “It is therefore the decision of this body that this variance petition is **approved / denied** (and if conditions have been imposed)...**subject to the conditions made a part the adopted motion.**”

CASE SUMMARY

DEVELOPMENT STANDARD VARIANCE

Case: 2024- 2221
John Ayers on behalf of Hendricks County Board of Commissioners
Stephen Kromkowski, DLZ

Request: Seeking a variance of the requirement for trim and historic details (UDO, Section 4.03.D.4.d)

Location: 1100 South County Road 300 East

Acreage: 50 acres

Zoning: Industrial Light (IL)

Staff Summary:

The petitioner is requesting a variance related to the use of trim and historic details. The Unified Development Ordinance (UDO) requires trim to delineate rooflines, porches, windows, and doors on all elevations for properties within the Corridor Protection Overlay District. However, this property is not located within the Overlay District, making this variance unnecessary.

As a result, the petitioner must withdraw this request from consideration.

BZA options include the following actions for each request:

-No action required

CASE SUMMARY

DEVELOPMENT STANDARD VARIANCE

Case: 2024- 2222
John Ayers on behalf of Hendricks County Board of Commissioners
Stephen Kromkowski, DLZ

Request: Seeking a variance of the requirement roof eaves (UDO, Section 4.03.D.5.d)

Location: 1100 South County Road 300 East

Acreage: 50 acres

Zoning: Industrial Light (IL)

Staff Summary:

The petitioner is seeking a variance from the requirement for roof eaves to project from the building wall a minimum of 12 inches. The building will include parapet walls or gutters and downspouts and meet manufacturers' standards for a pre-engineered building.

After the certificate of mailing, staff did not receive any inquiries regarding this request.

Given the type and aesthetics of the proposed buildings, staff does not objection to this request.

BZA options include the following actions for each request:

- Approve the variance request
- Deny the variance request
- Approve the variance request with conditions or modifications



Danville BZA

49 North Wayne Street | Danville, IN 46122
317-745-4180 | www.danvilleindiana.org

Date of Hearing: 1-22-24
Board of Zoning Appeals Action: _____

App. No.: 2024-2222
Fee: _____
Received By: LT

APPLICATION FOR APPROVAL (Check all that apply)

- Appeal Special Exception Use Variance Development Standard Variance

DEC 20 2024

* Please fill out the form in its entirety

Applicant (s) DLZ Indiana, LLC

Address (s) 2211 E Jefferson Blvd, South Bend, IN 46615

Phone (s) (574) 236-4400 Email (s) skromkowski@dlz.com

Owners (s) Hendricks County Board of Commissioners

Address (s) 355 S Washington St. #100 Danville, IN 46122

Phone (s) (317) 745-9236 Email (s) c/o jayers@co.hendricks.in.us

Owners' Representative (Subdivider, if any) and /or Registered Engineer or Land Surveyor: John Ayers

Address (s) 355 S Washington St. #G20 Danville, IN 46122

Phone (s) (317) 745-9236 Email (s) jayers@co.hendricks.in.us

Address of Subject Property: 1100 South County Road 300 East Danville, IN 46122

Area (in acres): 50 acres Number of Lots: 1

Parcel ID#: 32-11-13200-005.000-002 Current Zoning District: Industrial- Light
02-3-13-51w-200-005

Requested Action From The Danville BZA: Variance for requirements within Section 4.03, item 5d
Roof Eaves

STATE OF INDIANA)

) SS:
HENDRICKS COUNTY)

The undersigned certifies that the above information is true and correct to the best of his (her) knowledge.

Signature of Owner/Applicant (s)

Cary Engineer
Title of Applicant

FINDINGS OF FACT

DEC 20 2024

DEVELOPMENT STANDARD VARIANCE

Address: 1100 South County Road 300 East Danville, IN 46122

1. The approval will not be injurious to the public health, safety, morals and general welfare of the community because:

The approval will not be injurious to the public health, safety, morals and general welfare of the community. A 12" overhang is not applicable to this building type and the current proposed overhang will meet the needs of the facility.

2. The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner because:

It is anticipated that the edge conditions will include parapet walls or gutters and downspouts, and will be manufacturer's standards for a pre-engineered building. Building aesthetic will align with the building use. The building location is located with an Light Industrial zone; material and configuration align with anticipated buildings within this zone.

3. The strict application of the terms of the zoning ordinance will constitute an unnecessary hardship if applied to the property for which the variance is sought because:

The building overhang requirement is not applicable to this type of industrial building and the strict application of these terms would require all parties to revisit their scope of work for the project and involved use of the building, resulting in unnecessary hardship.

**BOARD OF ZONING APPEALS
DANVILLE, INDIANA**

**ACTION ON PETITION FOR A VARIANCE
FROM DEVELOPMENT STANDARDS**

MOTION

I move that we **approve / deny** the variance sought by Stephen Kromkowski, DLZ & John Ayers, on behalf of Hendricks County Board of Commissioners, petitioner in BZA petition 2024-2222 to allow roof eaves with no overhang (UDO Section 4.03.D.5.d.) in the IL zoning district. This petition has **satisfied / not satisfied** the requirements for variances under state law for the following reasons:

1. The approval **will / will not** be injurious to the public health, safety, morals, and general welfare of the community
 - a) **for the reason(s) stated in the staff report;**
 - b) **for the reason(s) stated in Petitioner’s proposed findings of fact; and/or**
 - c) **because:** _____

2. The use and value of the area adjacent to the property included in the variance **will / will not** be affected in a substantially adverse manner
 - a) **for the reason(s) stated in the staff report;**
 - b) **for the reason(s) stated in Petitioner’s proposed findings of fact; and/or**
 - c) **because:** _____

3. The strict application of the terms of the Zoning Ordinance **will / will not** result in practical difficulties in the use of the property
 - a) **for the reason(s) stated in the staff report;**
 - b) **for the reason(s) stated in Petitioner’s proposed findings of fact; and/or**
 - c) **because:** _____

[note #1: An adverse finding on any one of the above requires Board denial of the variance.]

[note #2: None of the words in bold italics should be used if the motion is to approve a variance.]

And, I move that this approval be made subject to the following conditions:

[note #3: If the majority votes against a motion to approve a variance, a subsequent motion should be made for findings of fact to reflect that the Petitioner did not establish the three requirements of state law to have been met. This motion should indicate which requirement(s) were not met or cite reasons stated in the staff report, if the staff recommendation was against approval.]

DECISION

(After a second is made to the motion and a vote is taken, the presiding officer makes the following announcement): “It is therefore the decision of this body that this variance petition is **approved / denied** (and if conditions have been imposed)...**subject to the conditions made a part the adopted motion.**”



Overview



Legend

-  Roads
-  Parcels
-  Danville Corporate Boundary

Parcel ID	32-11-13-200-005.000-003	Alternate ID	17-3-13-51W-200-005	Owner Address	HENDRICKS COUNTY BOARD OF COMMISSIONERS 355 S WASHINGTON ST Danville, IN 46122
Sec/Twp/Rng	0013-0015-1W	Class	EXEMPT PROPERTY OWNED BY A COUNTY		
Property Address		Acreage	50.0		
District	Town Of Danville				
Brief Tax Description	Pt Ne 1/4 13-15-1w 50.0AC Conservancy 2.33-3-2 25/26 ANNEX FROM 002-313512-200005 <i>(Note: Not to be used on legal documents)</i>				

Date created: 1/17/2025
Last Data Uploaded: 1/17/2025 4:07:23 AM

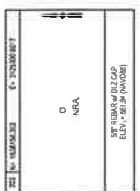
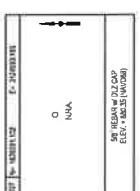
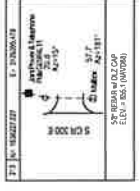
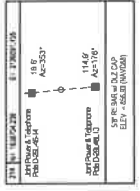
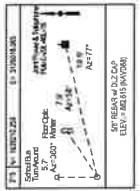
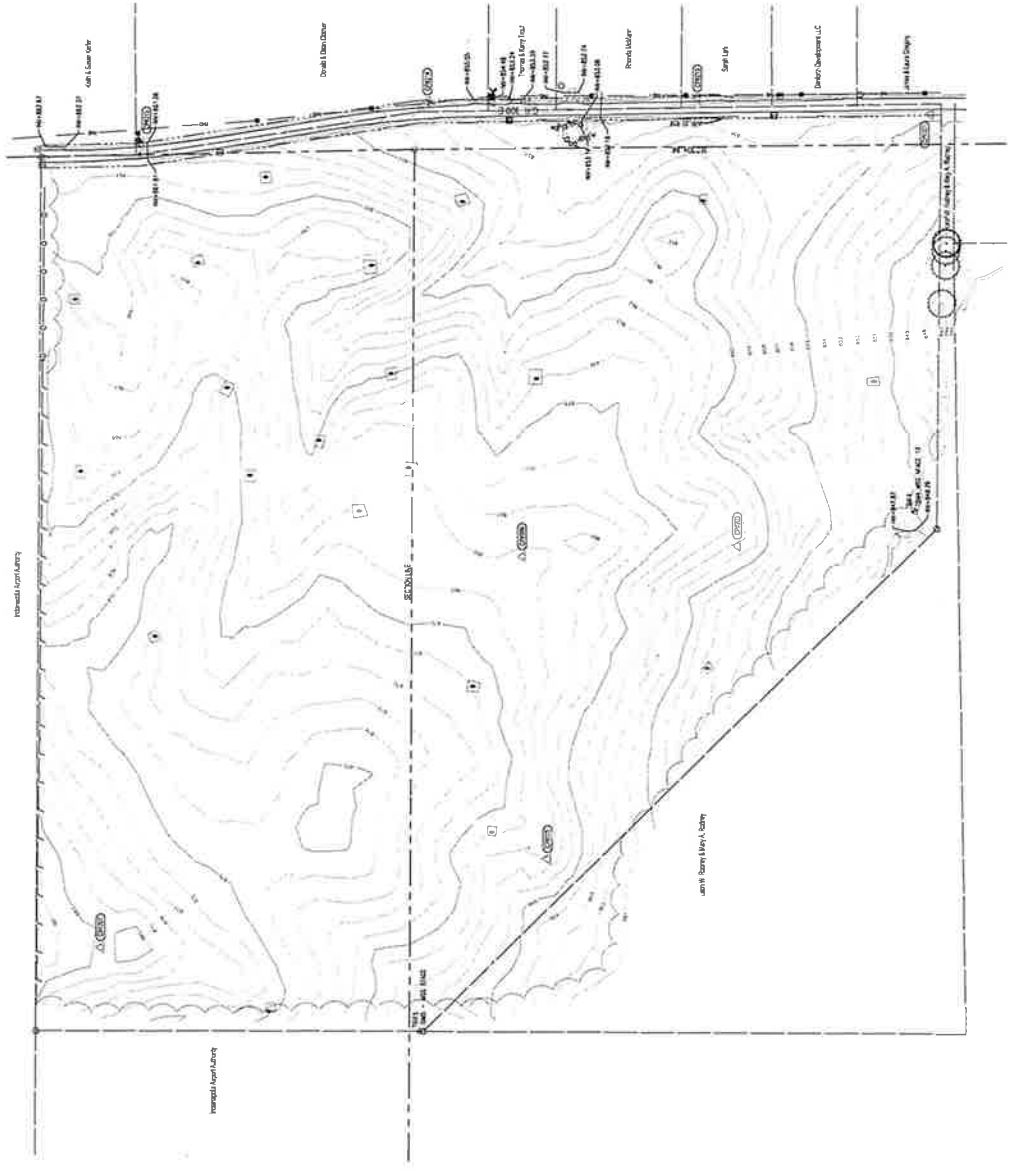
NOT FOR CONSTRUCTION



Project Location:
 Hendricks County, Indiana
 The project location is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A. The project location is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A. The project location is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.

- 1. The site is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.
- 2. The site is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.
- 3. The site is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.
- 4. The site is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.
- 5. The site is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.
- 6. The site is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.
- 7. The site is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.
- 8. The site is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.
- 9. The site is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.
- 10. The site is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.

- 1. The site is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.
- 2. The site is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.
- 3. The site is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.
- 4. The site is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.
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- 9. The site is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.
- 10. The site is shown on the map of Hendricks County, Indiana, attached hereto as Exhibit A.

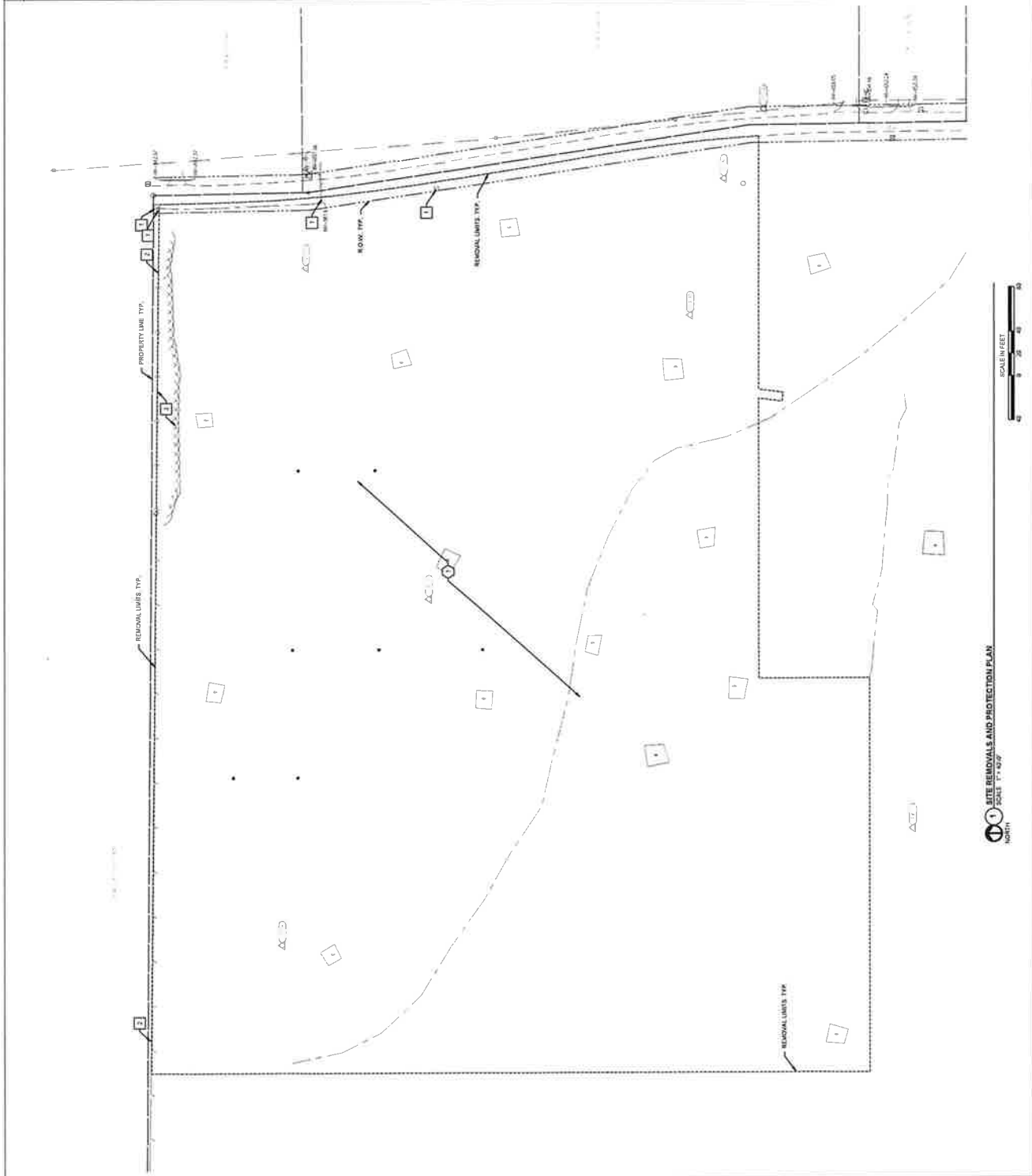


PROJECT NUMBER	2063-1041-50
DATE	08/28/2018
DESIGNED BY	DLZ
CHECKED BY	DLZ
DATE	
SCALE	

NOT FOR CONSTRUCTION



DLZ ENGINEERING, ARCHITECTURE & PLANNING
 SURVEYING - CONSTRUCTION SERVICES
 DLZ ENGINEERING, ARCHITECTURE & PLANNING, LLC



GENERAL NOTES

- EXISTING SITE IMPROVEMENTS SHOWN HEREIN HAVE BEEN IDENTIFIED FOR GENERAL INFORMATION ONLY. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN AND NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN AND ACCOUNT FOR ALL EXISTING UTILITIES IN THEIR RESPECTIVE AREAS.
- UTILITIES SHOWN ARE APPROXIMATE. FIELD VERIFY LOCATIONS OF ALL UTILITIES SHOWN AND NOT SHOWN ON THIS PLAN TO CORRECTNESS OF REMOVAL ACTIVITIES.
- REMOVAL LIMITS SHOWN ARE APPROXIMATE. ADJUSTMENTS TO THE LIMITS INDICATED TO REMOVAL ACTIVITIES MAY BE NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN AND ACCOUNT FOR ALL EXISTING UTILITIES IN THEIR RESPECTIVE AREAS.
- REMOVE TOPSOIL IN THE EXISTING WITHIN REMOVAL LIMITS AS NOTED ON DRAWING. IF HWY IS NOT SPATIALLY SHOWN, REMOVE TOPSOIL TO THE DEPTH INDICATED ON DRAWING. EXISTING PAVEMENT TO REMAIN SHALL BE REPAIRED OR REPLACED IN ACCORDANCE WITH SPECIFICATION SECTION 1000 SITE CLEARING.
- REMOVE PAVEMENT AT REMOVAL LIMIT WHERE REQUIRED. PROTECT EXISTING PAVEMENT TO REMAIN.
- REMOVE EXISTING UTILITIES TO REMAIN. PROTECT EXISTING UTILITIES TO REMAIN.
- REMOVE EXISTING TREES TO REMAIN. PROTECT EXISTING TREES TO REMAIN.

REMOVAL KEY


- STRIP EXISTING VEGETATION AND TOPSOIL TO DEPTH INDICATED IN ACCORDANCE WITH SPECIFICATIONS

PROTECTION KEY

- PROTECT EXISTING UTILITIES TO REMAIN
- PROTECT EXISTING FENCE TO REMAIN
- PROTECT EXISTING TREES TO REMAIN

LEGEND

- STRIP EXISTING TURF AND TOPSOIL
- REMOVAL LIMITS
- TEMPORARY PERIMETER PROTECTION (BUT FENCE)



Know what's below.
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GENERAL IMPROVEMENT NOTES

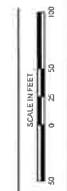
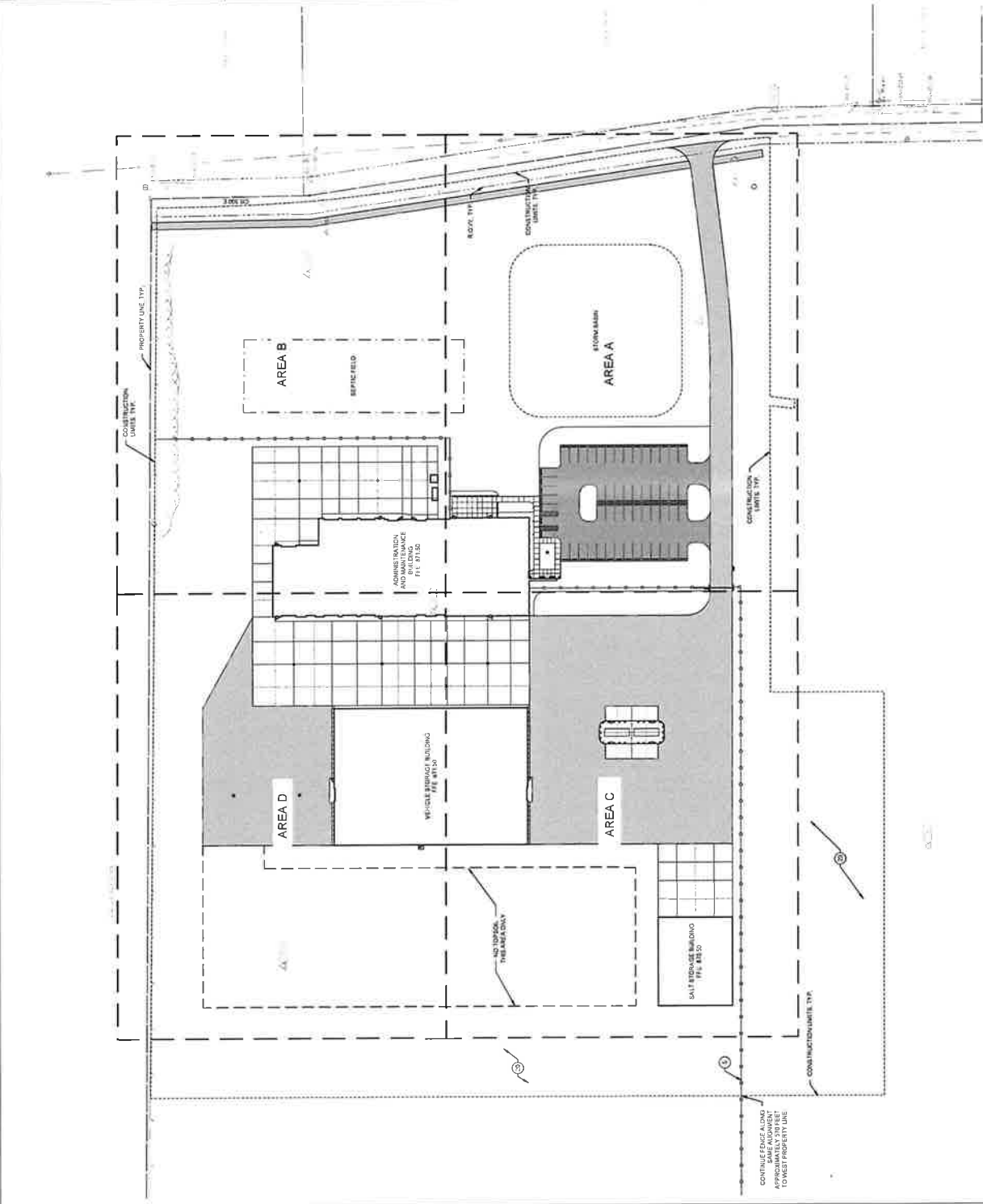
- A. UTILITIES SHOWN ARE APPROXIMATE. FIELD VERIFY PRIOR TO CONSTRUCTION.
- B. DIMENSIONS AND COORDINATES ARE TAKEN FROM THE FACE OF CURBS, WALLS AND/OR BUILDINGS UNLESS OTHERWISE NOTED.
- C. CONSTRUCTION LIMITS SHOWN ARE APPROXIMATE. ADJUSTMENTS TO THE LIMITS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE CONSTRUCTION LIMITS FOR ARCHITECT APPROVAL PRIOR TO THE START OF CONSTRUCTION.
- D. ALL AREAS WITHIN THIS LIMIT SHALL BE COVERED BY THE CONTRACTOR'S JOBSITE. SHALL BE COVERED BY THE CONTRACTOR'S JOBSITE. SHALL BE COVERED BY THE CONTRACTOR'S JOBSITE.
- E. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL MEASURES AND SIGNALING THROUGHOUT THE CONSTRUCTION PERIOD. ALL NECESSARY TRAFFIC CONTROL MEASURES, SIGNALING AND TRAFFIC CONTROL SHALL BE APPROVED BY THE APPROPRIATE AGENCIES AND AGENCY APPROVAL SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- F. CONCRETE JOINTS SHALL BE IDENTIFIED ON THE GENERAL IMPROVEMENT PLAN. ALL EXPANSION JOINTS SHALL BE IDENTIFIED ON THE GENERAL IMPROVEMENT PLAN. ALL EXPANSION JOINTS SHALL BE IDENTIFIED ON THE GENERAL IMPROVEMENT PLAN.

SITE IMPROVEMENT KEY

1. CONCRETE PAVEMENT - VEHICULAR
2. CONCRETE PAVEMENT - PEDESTRIAN
3. ASPHALT PAVEMENT - HEAVY DUTY
4. ASPHALT PAVEMENT - LIGHT DUTY
5. 8" BIT CHALK FENCE
6. 4" BIT CHALK FENCE
7. 8" BIT CHALK GATE OPERATOR
8. DATE CONTROL BOLLARD/FORING
9. PARKING MARKING - "X" WHITE
10. PARKING MARKING - "P" WHITE
11. ACCESSIBLE PARKING SIGN
12. ADA ACCESSIBLE PARKING SIGN
13. POPE BOLLARD
14. TRASH RECEPTACLE
15. PLANTER
16. STEEL LANDSCAPE LEDGING
17. MATCHED PLANTING BED
18. LAWN AREA - SEE OTHER SHEET SECTION 220000
19. FUEL TANK
20. FUEL DISPENSER
21. ARCHITECTURAL SCREEN FENCE
22. SMOOTH CONCRETE CURB
23. CONCRETE FINISH BLOCK
24. PAD MOUNTED GENERATOR - REFER TO STRUCTURAL
25. PAD MOUNTED TRANSFORMER - REFER TO STRUCTURAL
26. CONCRETE DOOR STOP/STAIRWELL - REFER TO STRUCTURAL

LEGEND

- ASPHALT PAVEMENT - HEAVY DUTY
- ASPHALT PAVEMENT - LIGHT DUTY
- CONCRETE PAVEMENT - VEHICULAR
- CONCRETE PAVEMENT - PEDESTRIAN



1. OVERALL SITE LAYOUT AND GEOMETRICS PLAN
SCALE: 1" = 50'-0"

NO.	REVISION	DATE	BY	CHKD.
1	ISSUE FOR PERMIT	10/20/20	DLZ	DLZ
2	REVISED PER COMMENTS	11/10/20	DLZ	DLZ
3	REVISED PER COMMENTS	11/10/20	DLZ	DLZ
4	REVISED PER COMMENTS	11/10/20	DLZ	DLZ
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6	REVISED PER COMMENTS	11/10/20	DLZ	DLZ
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49	REVISED PER COMMENTS	11/10/20	DLZ	DLZ
50	REVISED PER COMMENTS	11/10/20	DLZ	DLZ

NOT FOR CONSTRUCTION

DLZ
ARCHITECTURE - ENGINEERING - PLANNING
SURVEYING - CONSTRUCTION SERVICES
DLZ PHOENIX, LLC

GENERAL IMPROVEMENT NOTES

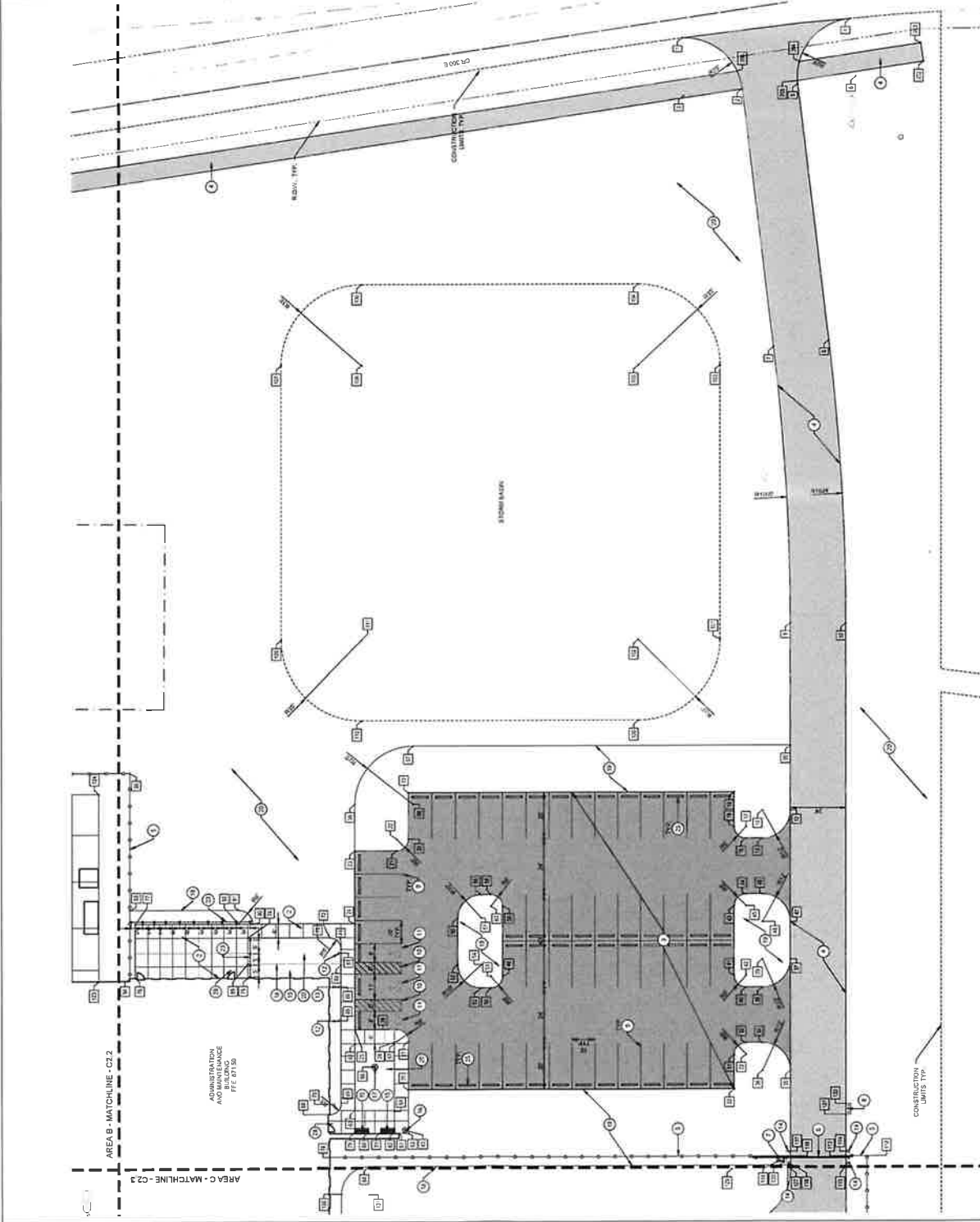
- QUANTITIES SHOWN ARE APPROXIMATE. FIELD VERIFY PRIOR TO CONSTRUCTION.
- DIMENSIONS AND COORDINATES ARE TAKEN FROM THE FACE OF CURBS, WALLS AND/OR BUILDINGS UNLESS OTHERWISE NOTED.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INDIANA CONSTRUCTION CODE AND ALL APPLICABLE ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AGENCIES PRIOR TO THE START OF CONSTRUCTION.
- ALL ASPHALT SHALL BE 1 1/2" MINIMUM THICKNESS UNLESS OTHERWISE SPECIFIED BY CONTRACT. SHALL BE ACCEPTED PER THE SPECIFICATION SECTION 309 FOR PAVEMENT/ASPHALT.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL AND CONSTRUCTION ZONE SETBACKS PER THE APPROPRIATE JURISDICTIONS REGARDING PUBLIC WORK.
- CONCRETE SHOWN TO IDENTIFY ASSIGNMENT, EXPANSION JOINTS & CONSTRUCTION JOINTS FOR ARCHITECTS APPROVAL PRIOR TO CONSTRUCTION.

- SITE IMPROVEMENT KEY**
- CONCRETE PAVEMENT - VEHICULAR
 - CONCRETE SIDEWALK - PEDESTALIAN
 - ASPHALT PAVEMENT - HEAVY DUTY
 - ASPHALT PAVEMENT - LIGHT DUTY
 - WET-DOWN SURFACE
 - WHITE-ON-CON IMPROVEMENTS (SEE GATE)
 - GATE CONTROL BOLLARD FOOTING
 - PAVEMENT MARKINGS - 4" WHITE
 - PAVEMENT MARKINGS - 4" BLUE
 - ACCESSIBLE PARKING SPACES
 - ACCESSIBLE PARKING BOOTH
 - WALL ACCESSIBLE PARKING BOOTH
 - PIPE BOLLARD
 - BIANCHI
 - TRASH RECEPTACLE
 - FLAORITE
 - STEEL LANDSCAPE LIGHTING
 - MULCHED PLANTING BED
 - LAWN AREA - SEED PER SPEC SECTION 32030
 - FUEL TANK
 - FUEL DISPENSER
 - ARCHITECTURAL SCREEN FENCE
 - STANDARD CONCRETE CURB
 - CONCRETE PARADOX BLOCK
 - PAVEMENT TRANSITION - REFER TO STRUCTURAL
 - CONCRETE DOOR STOP/STAIR - REFER TO STRUCTURAL
 - IMPROVEMENT COORDINATE. SEE SCHEDULE ON SHEET C2.5

LEGEND

- ASPHALT PAVEMENT - HEAVY DUTY
- ASPHALT PAVEMENT - LIGHT DUTY
- CONCRETE PAVED CURB - VEHICULAR
- CONCRETE PAVEMENT - PEDESTALIAN

Indiana811
Know what's below.
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SITE LAYOUT AND GEOMETRICS PLAN - AREA A
SCALE: 1" = 20'-0"
NORTH

NOT FOR CONSTRUCTION

GENERAL IMPROVEMENT NOTES

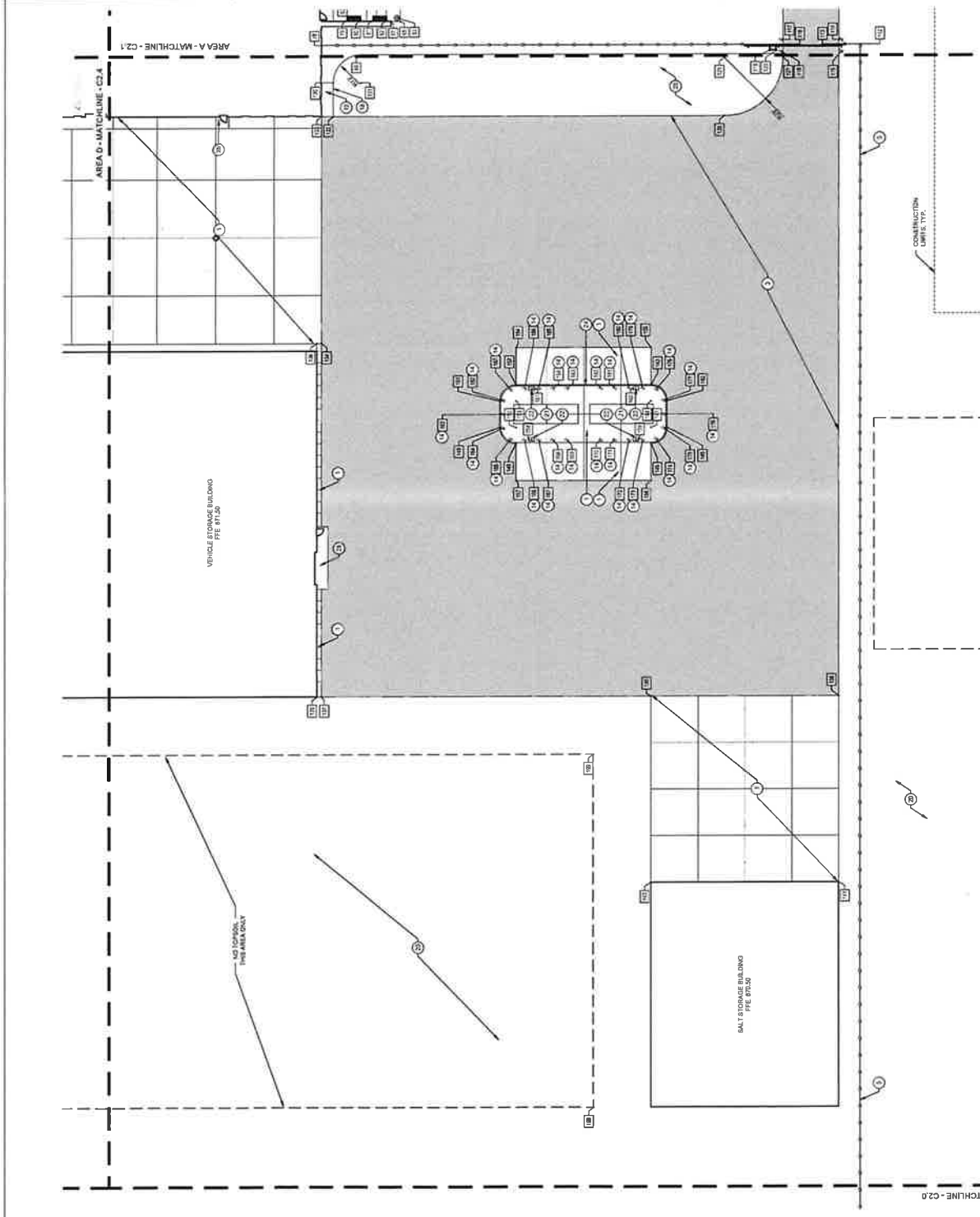
- QUANTITIES SHOWN ARE APPROXIMATE. RE-EVALUATE NEAR EVERY PILE TO DETERMINE ACTUAL QUANTITIES.
- DIMENSIONS AND COORDINATES ARE TAKEN FROM THE FACE OF CURBS, WALLS AND/OR BUILDINGS UNLESS OTHERWISE NOTED.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND ALL APPLICABLE PERMITS. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES AND STANDARDS. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES AND STANDARDS. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES AND STANDARDS.
- ALL AREAS DISTURBED NOT PAVED OR OTHERWISE SPECIFIED SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. SEE SPECIFICATION SECTION 30900 FOR FURTHER INFORMATION.
- ALL UTILITIES TO BE MAINTAINED OR RELOCATED SHALL BE IDENTIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED AT ALL TIMES. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED AT ALL TIMES.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND ALL APPLICABLE PERMITS. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES AND STANDARDS. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES AND STANDARDS.

- SITE IMPROVEMENT KEY**
- CONCRETE PAVEMENT - REGULAR
 - CONCRETE PAVEMENT - PEDESTAL
 - ASPHALT PAVEMENT - HEAVY DUTY
 - ASPHALT PAVEMENT - LIGHT DUTY
 - 4" HT. CHAIN LINK FENCE
 - 6" HT. CHAIN LINK CANTILEVER SLUG GATE
 - SLUG GATE OPERATOR
 - DATE SPECIFIC BOLLARD LIGHTING
 - PAVEMENT MARKING - 4" WIDE
 - PAVEMENT MARKING - 6" WIDE
 - PAVEMENT MARKING - 8" WIDE
 - ACCESSIBLE PARKING SIGN
 - WVA ACCESSIBLE PARKING SIGN
 - PPE ROLL-UP
 - BENCH
 - RAMP/STEP SPACE
 - FLUORESCENT LIGHTING
 - STEEL LAMINATE EDGING
 - WASHED PAINTING
 - DATA AREA - SEED PER SPEC. SECTION 27000
 - FUEL TANK
 - FUEL DISPENSER
 - ARCHITECTURAL SCREEN FENCE
 - STAINLESS STEEL CONCRETE CURB
 - CONCRETE FINISHING BLOCK
 - PAVEMENT TO BE MAINTAINED - REFER TO STRUCTURAL
 - PAVEMENT TO BE MAINTAINED - REFER TO STRUCTURAL
 - CONCRETE CURB TO BE MAINTAINED - REFER TO STRUCTURAL
 - IMPROVEMENT COORDINATE. SEE SCHEDULE ON SHEET C2.8

LEGEND

- ASPHALT PAVEMENT - HEAVY DUTY
- ASPHALT PAVEMENT - LIGHT DUTY
- CONCRETE PAVEMENT - REGULAR
- CONCRETE PAVEMENT - PEDESTAL

KEY MAP



MATCHLINE - C2.4
MATCHLINE - C2.8
SCALE IN FEET
0 10 20 40
11/20/2018
1 SITE LAYOUT AND GEOMETRICS PLAN - AREA C
NO. 001

NOT FOR
CONSTRUCTION



LEGEND

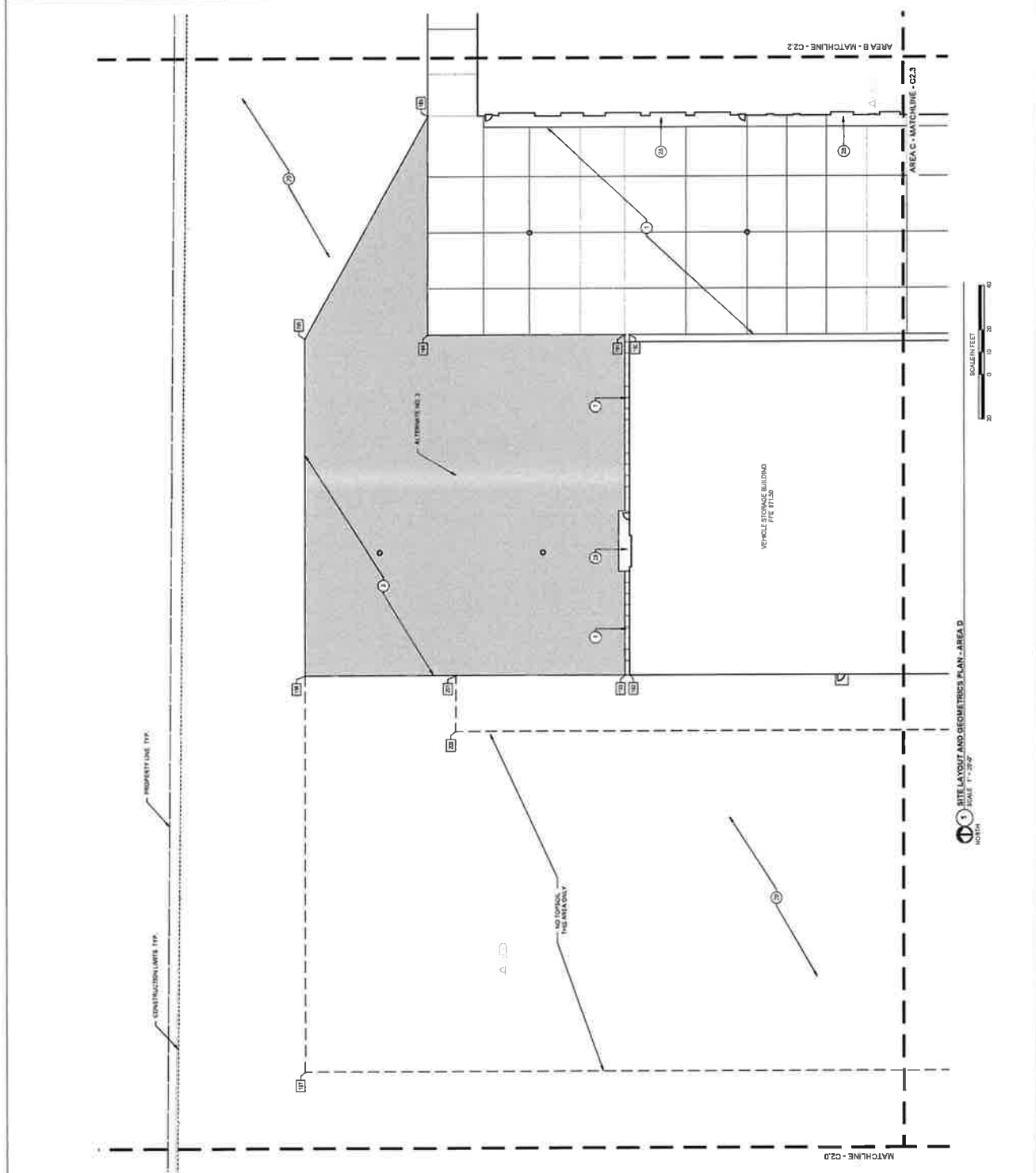
- 1 ASPHALT PAVEMENT - HEAVY DUTY
- 2 ASPHALT PAVEMENT - LIGHT DUTY
- 3 CONCRETE PAVEMENT - VEHICULAR
- 4 CONCRETE PAVEMENT - PEDESTRIAN

SITE IMPROVEMENT KEY

- 1 CONCRETE PAVEMENT - PEDESTRIAN
- 2 CONCRETE PAVEMENT - VEHICULAR
- 3 ASPHALT PAVEMENT - HEAVY DUTY
- 4 ASPHALT PAVEMENT - LIGHT DUTY
- 5 8" R/C CHANNEL FENCE
- 6 4" R/C CHANNEL ON ONE SIDE LIKE BLUE GATE
- 7 BLUE GATE OPERATOR
- 8 GATE CONTROLLED BY FOOTING
- 9 PAVEMENT MARKINGS - F WHITE
- 10 PAVEMENT MARKING HATCH - F 8" O.C. 1/2" BLUE
- 11 ACCESSIBLE PARKING SIGN
- 12 ACCESSIBLE PARKING SIGN
- 13 4" X 4" BOLLARDS
- 14 4" X 4" BOLLARDS
- 15 4" X 4" BOLLARDS
- 16 4" X 4" BOLLARDS
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- 99 4" X 4" BOLLARDS
- 100 4" X 4" BOLLARDS

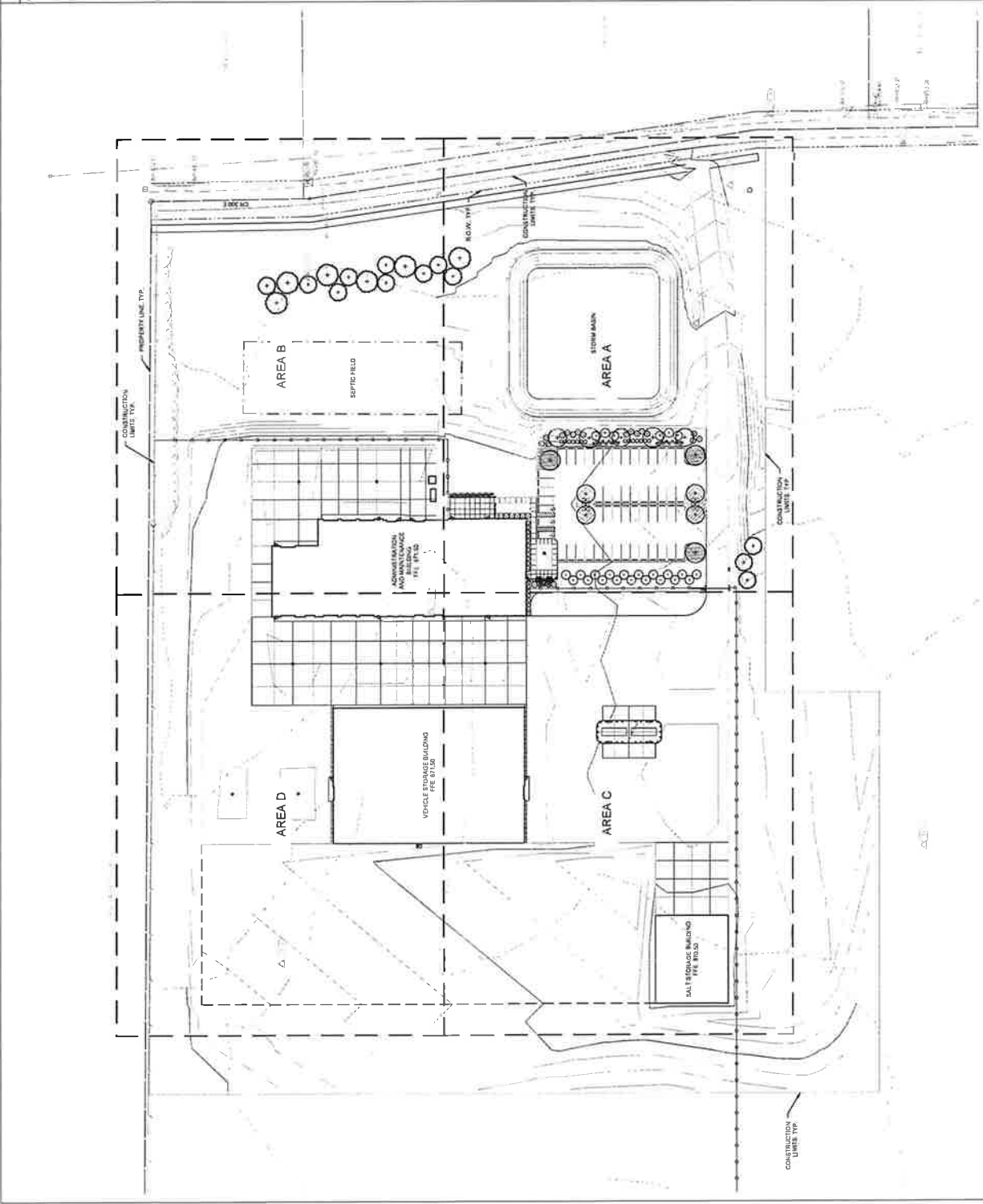
GENERAL IMPROVEMENT NOTES

- A. ALL DIMENSIONS ARE APPROXIMATE. FIELD VERIFY FROM TO CURBS, WALLS, AND/OR BUILDINGS UNLESS OTHERWISE NOTED.
- B. DIMENSIONS AND COORDINATES ARE TAKEN FROM THE FACE OF CURBS, WALLS, AND/OR BUILDINGS UNLESS OTHERWISE NOTED.
- C. TO THE LIMITS INDICATED, THE CONSTRUCTION ACTIVITY MAY BE CONSIDERED TO BE A MINOR DISTURBANCE TO THE EXISTING ENVIRONMENT. FIELD VERIFY ANY UNUSUAL CONDITIONS TO THE CONTRACTOR PRIOR TO CONSTRUCTION.
- D. ALL AREAS DISTURBED ARE TO BE RESTORED TO ORIGINAL OR BETTER CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL AND CONSTRUCTION JOINTS FOR ARCHITECTS APPROVAL. REFER TO CONSTRUCTION.
- E. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL AND CONSTRUCTION JOINTS FOR ARCHITECTS APPROVAL. REFER TO CONSTRUCTION.
- F. CONCRETE FINISHING SHALL BE TO IDENTIFY DESIGN INTENT. APPROPRIATE ADJUSTMENTS REGARDING PUBLIC FLOW, WORK EXPANSION, CONTROL, AND CONSTRUCTION JOINTS FOR ARCHITECTS APPROVAL. REFER TO CONSTRUCTION.





- GENERAL PLANTING NOTES**
- CONTRACTOR SHALL FIELD LOCATE ESTATE AND MARK PLANT LOCATIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO THE RIGHT TO FIELD ADJUST ALL PLANT LOCATIONS AS DEEMED NECESSARY.
 - CONTRACTOR SHALL FIELD LOCATE AND MARK PLANT LOCATIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO THE RIGHT TO FIELD ADJUST ALL PLANT LOCATIONS AS DEEMED NECESSARY.
 - CLEAR AND GRUB ALL AREAS DESIGNATED FOR PROPOSED PLANTING IMPROVEMENTS AS NECESSARY TO INSTALL PROPOSED LANDSCAPE PLANTINGS. ALL PLANTINGS SHALL BE ACCORDANCE WITH SPEC. SECTION 32020.
 - CLEAR AND GRUB ALL AREAS DESIGNATED FOR PROPOSED PLANTING IMPROVEMENTS AS NECESSARY TO INSTALL PROPOSED LANDSCAPE PLANTINGS. ALL PLANTINGS SHALL BE ACCORDANCE WITH SPEC. SECTION 32020.
 - BLACK STEEL EDGING AS SHOWN ON PLANS.
 - REFER TO PLANT SCHEDULE ON SHEET 05.



OVERALL SITE PLANTING PLAN
SCALE: 1" = 30'-0"

SITE DEVELOPMENT
C5.1
 DRAWING NUMBER

DANVILLE
 HENDRICKS COUNTY, INDIANA
 NEW HIGHWAY MAINTENANCE GARAGE FACILITY
 SITE PLANTING PLAN - AREA A

INDIANA
 PROJECT NUMBER
 2063-1041-50

NO.	REVISION	DATE
1	THE REVISIONS	12/20/20
2	REVISIONS	

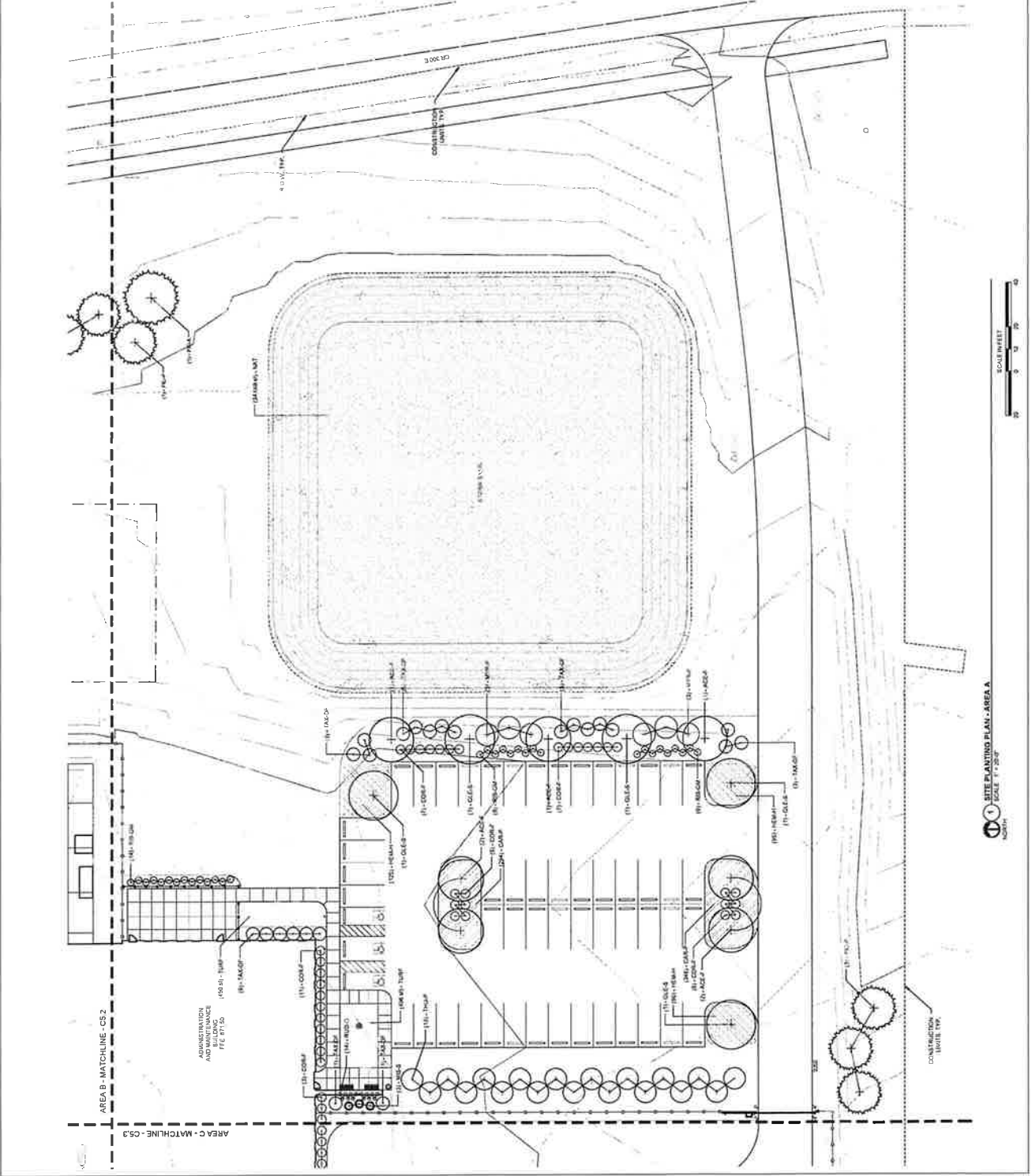
DLZ
 ARCHITECTURE - ENGINEERING - PLANNING
 SURVEYING - CONSTRUCTION SERVICES
 DLZ Indiana, LLC

NOT FOR CONSTRUCTION

- GENERAL PLANTING NOTES**
- CONTRACTOR SHALL FIELD LOCATE (GRADE AND MARK) PLANT LOCATIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. PLANTING SHALL BE INSTALLED TO THE RIGHT TO FIELD ADJUST ALL PLANT LOCATIONS AS DEEMED NECESSARY.
 - CONTRACTOR SHALL FIELD ADJUST PLANTING LOCATIONS BY CONSTRUCTION TO MATCH THE PLANTING SCHEDULES IN ACCORDANCE WITH SPEC. SECTION 22220.
 - CLEAR AND GRUB ALL AREAS DEEMED FOR PROPOSED PLANTING AND REPAIR AS NECESSARY TO INSTALL PLANTING.
 - ALL PLANTING SHALL BE INSTALLED TO THE RIGHT TO FIELD ADJUST ALL PLANT LOCATIONS AS DEEMED NECESSARY.
 - REFER TO PLANT SCHEDULES ON SHEET C05.

Indiana 811
 Know what's below.
 Call before you dig.

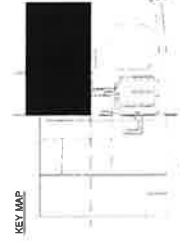
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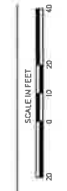
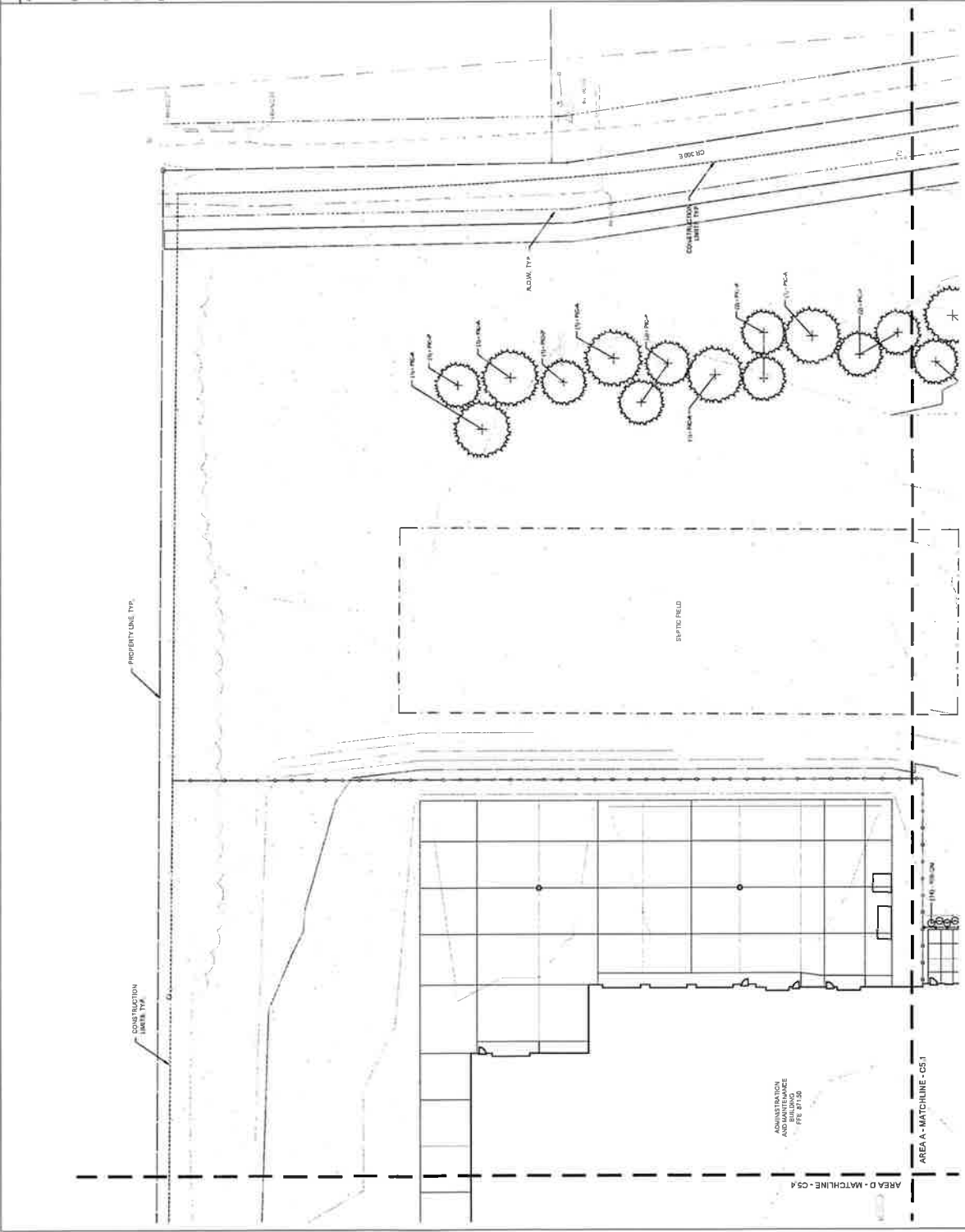
SITE PLANTING PLAN - AREA A
 SCALE 1" = 20'
 NORTH

NO.	REVISION	DATE
1	PROJECT IN PROGRESS	
2	FOR REVIEW	
3	FOR REVIEW	
4	FOR REVIEW	
5	FOR REVIEW	
6	FOR REVIEW	
7	FOR REVIEW	
8	FOR REVIEW	
9	FOR REVIEW	
10	FOR REVIEW	

NOT FOR CONSTRUCTION



- GENERAL PLANTING NOTES**
- A. CONTRACTOR SHALL FIELD LOCATE GRAVE AND MARK PLANT LOCATIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO ADJUST ALL PLANT LOCATIONS AS DEEMED NECESSARY.
 - B. CONTRACTOR SHALL USE ALL AREAS DESIGNATED BY THE LANDSCAPE ARCHITECT AND SHALL MAINTAIN ACCORDANCE WITH SPEC. SECTION 30200.
 - C. CLEAR AND GRUB ALL AREAS DESIGNATED FOR PROPOSED PLANTING PROVIDING AS NECESSARY TO INSTALL PLANTING.
 - D. ALL PLANTING SHALL BE AS SHOWN ON THIS PLAN. ALL PLANTING SHALL BE EDGED WITH BLACK STEEL EDGING AS SHOWN ON PLANS.
 - E. REFER TO PLANT SCHEDULE ON SHEET C03.



SCALE: 1" = 20'
 NORTH

ADMINISTRATION
 AND MAINTENANCE
 FEE 271.50

AREA A - MATCHLINE - C5.1

AREA D - MATCHLINE - C5.4

PROPERTY ONE TYP.

CONSTRUCTION
 LIMIT TYP.

SEPTIC FIELD

CONSTRUCTION
 LIMIT TYP.

CON 206 B

ADJW TYP.

KEY MAP

C5.3
SITE DEVELOPMENT

HENDRICKS COUNTY GARAGE FACILITY
NEW HIGHWAY MAINTENANCE GARAGE FACILITY
SITE PLANTING PLAN - AREA C

2063-1041-50

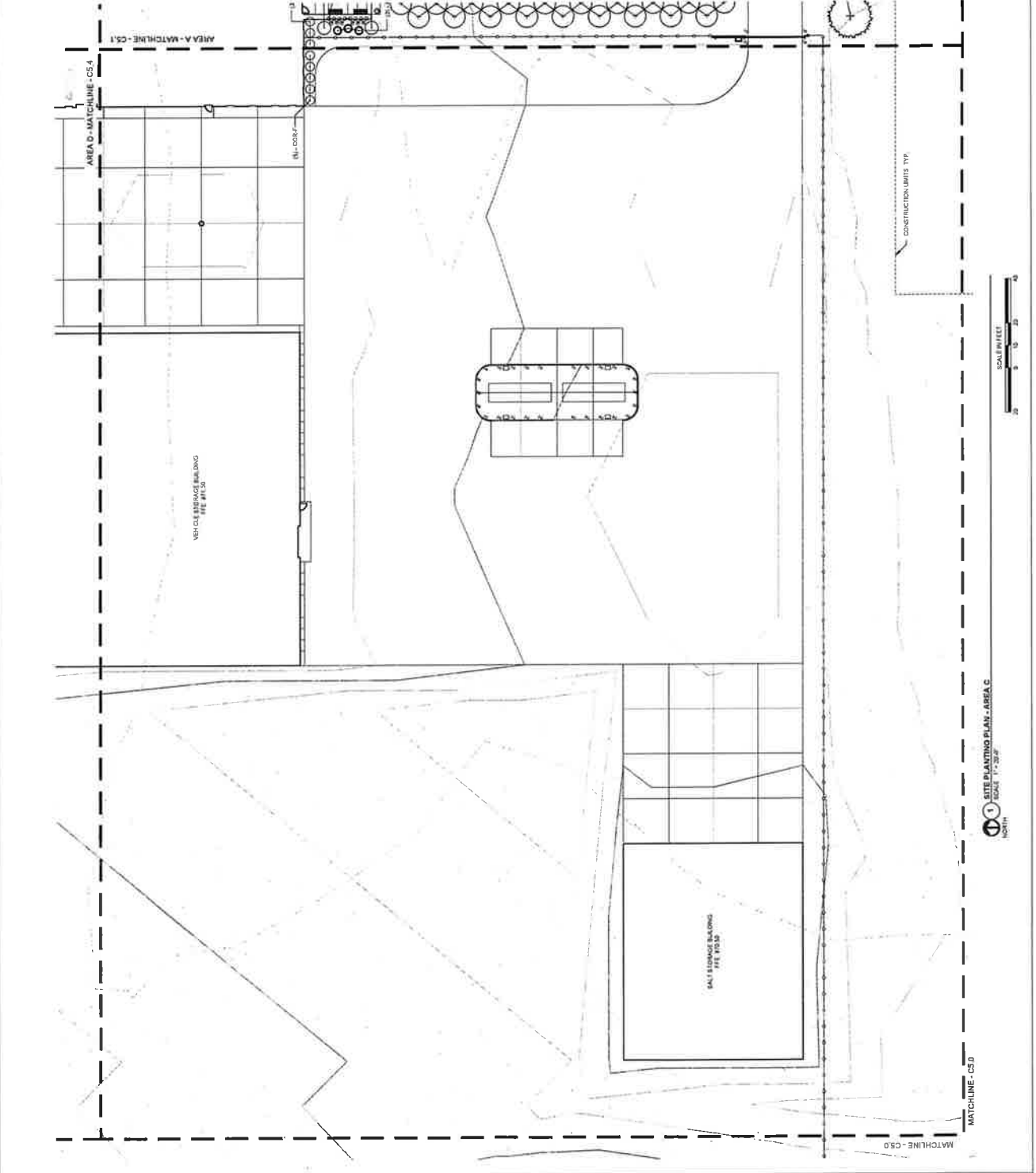
NOT FOR
CONSTRUCTION



DLZ
ARCHITECTURE - ENGINEERING - PLANNING
SUBSIDIARY - CONSTRUCTION SERVICES
DLZ Indiana, LLC



- GENERAL PLANTING NOTES**
- CONTRACTOR SHALL FIELD LOCATE (STAKE AND MARK) PLANT LOCATIONS AND VERIFY WITH THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT LOCATIONS AS DEEMED NECESSARY.
 - CONTRACTOR SHALL VERIFY ALL AREAS DESIGNATED BY CONSTRUCTION ACTIVITIES NOT SHOWN ON PLANS BY ACCORDANCE WITH SPEC. SECTION 32000.
 - CLEAR AND GRUB ALL AREAS DESIGNATED FOR PROPOSED PROPOSED LAWN AND/OR PLANTINGS.
 - ALL PLANTING BEING ADJACENT TO LAWN SHALL BE EGGED WITH BLACK STEEL EGGING AS SHOWN ON PLANS.
 - REFER TO PLANT SCHEDULE ON SHEET C5.3.



SITE DEVELOPMENT
C5.4

HENDRICKS COUNTY, INDIANA
 NEW HIGHWAY MAINTENANCE GARAGE FACILITY

SITE PLANTING PLAN - AREA D

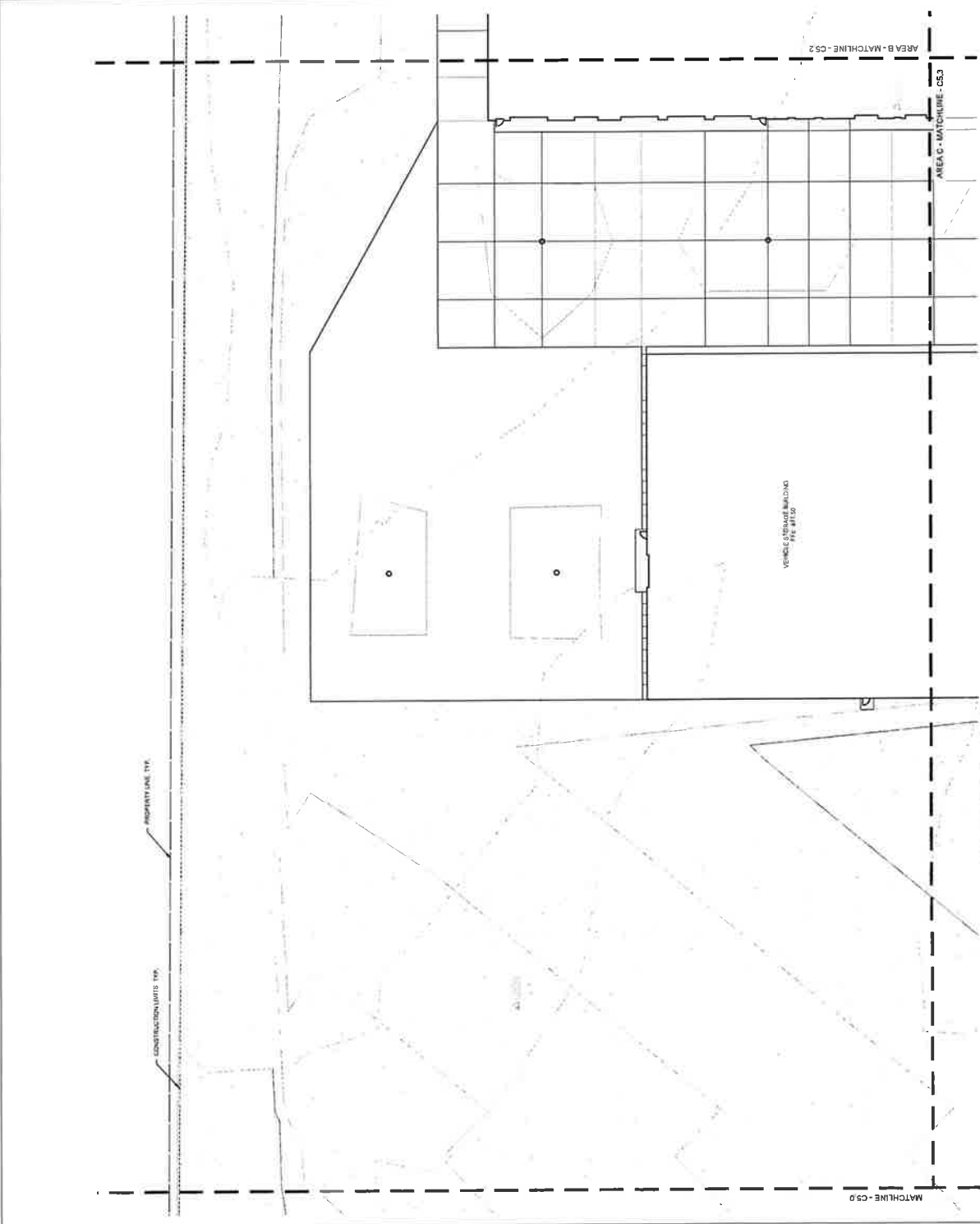
2063-1041-50

DATE	DESCRIPTION

NOT FOR CONSTRUCTION



- GENERAL PLANTING NOTES**
- CONTRACTOR SHALL FIELD LOCATE EXISTING AND MARK PLANT LOCATION FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO ADJUST ALL PLANT LOCATIONS AS DEEMED NECESSARY.
 - CONTRACTOR SHALL VERIFY ALL AREAS ARE CLEAR BY CONSTRUCTION ACTIVITIES AND SHOW ON PLANS IN ACCORDANCE WITH SPEC. SECTION 29000.
 - CLEAR AND GRUB ALL AREAS DESIGNATED FOR PROPOSED PLANTING AND ANY OTHER AREAS NECESSARY TO INSTALL PROPOSED PLANT MATERIALS.
 - ALL PLANTING SPEC. ADHERENT TO PLANS SHALL BE EXCISED WITH BLACK STEEL EDGING AS SHOWN ON PLANS.
 - REFER TO PLANT SCHEDULE ON SHEET C5.3



1 SITE PLANTING PLAN - AREA D
 SCALE: 1" = 30'-0"
 NORTH

SITE DEVELOPMENT
C5.5
 DRAWING NUMBER

PLANT SCHEDULE

HENDRICKS COUNTY, INDIANA
 NEW HIGHWAY MAINTENANCE GARAGE FACILITY

2063-1041-50

PROJECT NUMBER
 CONTRACT NUMBER
 SHEET NUMBER
 SHEET TOTAL
 PROJECT NAME
 CLIENT
 DATE

**NOT FOR
 CONSTRUCTION**



PLANT SCHEDULE	CODE	BOTANICAL / COMMON NAME	TYPE	SIZE	QTY
TREES	B.11	PORTULACA	B.11	1/4"	1
	B.12	SPERMATOPHYTES	B.12	1/2"	1
	B.13	ANGIOSPERMS	B.13	1/4"	1
SHRUBS	S.11	WINTERGREEN	S.11	1/2"	1
	S.12	SPERMATOPHYTES	S.12	1/2"	1
	S.13	ANGIOSPERMS	S.13	1/4"	1
PERENNIALS	P.11	WINTERGREEN	P.11	1/2"	1
	P.12	SPERMATOPHYTES	P.12	1/2"	1
	P.13	ANGIOSPERMS	P.13	1/4"	1
ANNUALS	A.11	WINTERGREEN	A.11	1/2"	1
	A.12	SPERMATOPHYTES	A.12	1/2"	1
	A.13	ANGIOSPERMS	A.13	1/4"	1
NOTES:					
1.	FOR A COMPLETE LIST OF PLANT SPECIFICATIONS AND NOTES, SEE THE PROJECT MANUAL.				
2.	ALL PLANTS TO BE SUPPLIED BY THE CONTRACTOR AND INSTALLED BY THE CONTRACTOR.				
3.	ALL PLANTS TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.				
4.	ALL PLANTS TO BE WATERED FREQUENTLY THROUGHOUT THE LIFE OF THE PROJECT.				
5.	ALL PLANTS TO BE MULCHED WITH 2 INCHES OF MULCH.				
6.	ALL PLANTS TO BE PROTECTED FROM DAMAGE BY VEHICLES AND EQUIPMENT.				
7.	ALL PLANTS TO BE PROTECTED FROM DAMAGE BY WEATHER.				
8.	ALL PLANTS TO BE PROTECTED FROM DAMAGE BY PESTS AND DISEASE.				
9.	ALL PLANTS TO BE PROTECTED FROM DAMAGE BY AIR POLLUTION.				
10.	ALL PLANTS TO BE PROTECTED FROM DAMAGE BY SALINITY.				
11.	ALL PLANTS TO BE PROTECTED FROM DAMAGE BY SOIL ACIDITY.				
12.	ALL PLANTS TO BE PROTECTED FROM DAMAGE BY SOIL ALKALINITY.				
13.	ALL PLANTS TO BE PROTECTED FROM DAMAGE BY SOIL DRAINAGE.				
14.	ALL PLANTS TO BE PROTECTED FROM DAMAGE BY SOIL TEMPERATURE.				
15.	ALL PLANTS TO BE PROTECTED FROM DAMAGE BY SOIL MOISTURE.				
16.	ALL PLANTS TO BE PROTECTED FROM DAMAGE BY SOIL NUTRIENTS.				
17.	ALL PLANTS TO BE PROTECTED FROM DAMAGE BY SOIL PH.				
18.	ALL PLANTS TO BE PROTECTED FROM DAMAGE BY SOIL SALINITY.				
19.	ALL PLANTS TO BE PROTECTED FROM DAMAGE BY SOIL TOXICITY.				
20.	ALL PLANTS TO BE PROTECTED FROM DAMAGE BY SOIL VARIABILITY.				

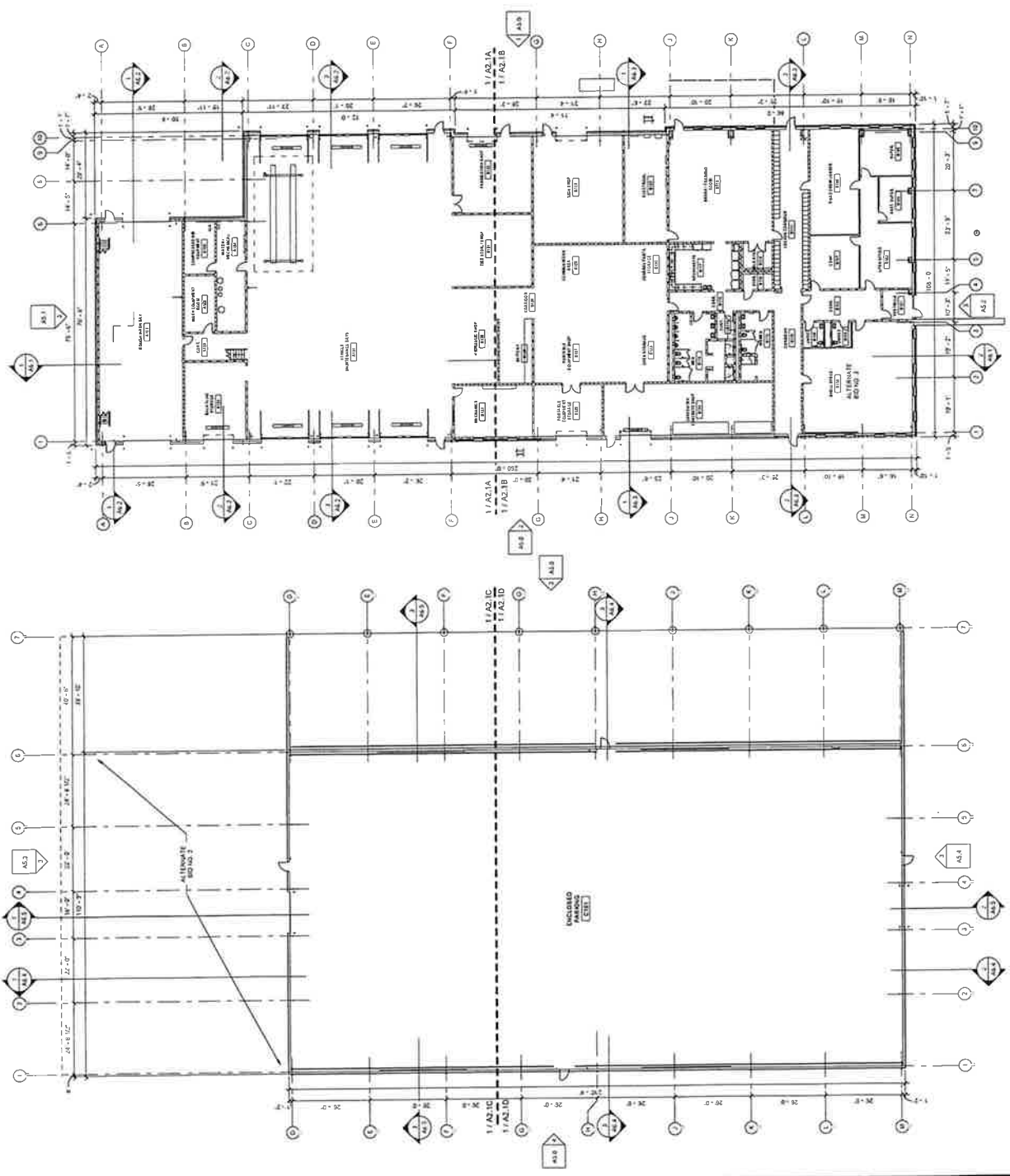
1. PLANT SCHEDULE
 SCALE 1" = 1'-0"

NO.	REVISION	DATE
1	PROJECTS SET	1/16/2023
2	REVISED SET	1/16/2023



NOT FOR CONSTRUCTION

GENERAL NOTES:
 A. REFER TO G11 FOR ADDITIONAL GENERAL NOTES AND INFORMATION.
 B. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS NOTED OTHERWISE.
 C. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO THE FACE OF THE MEMBER UNLESS NOTED OTHERWISE.



1 OVERALL FIRST FLOOR - ADMINISTRATION AND MAINTENANCE BUILDING
SCALE: 1/8" = 1'-0"

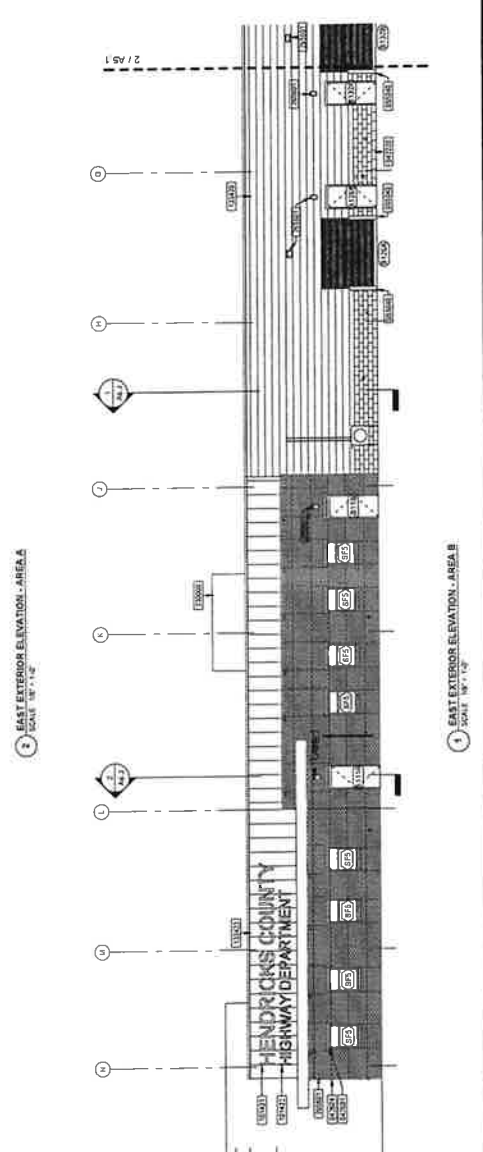
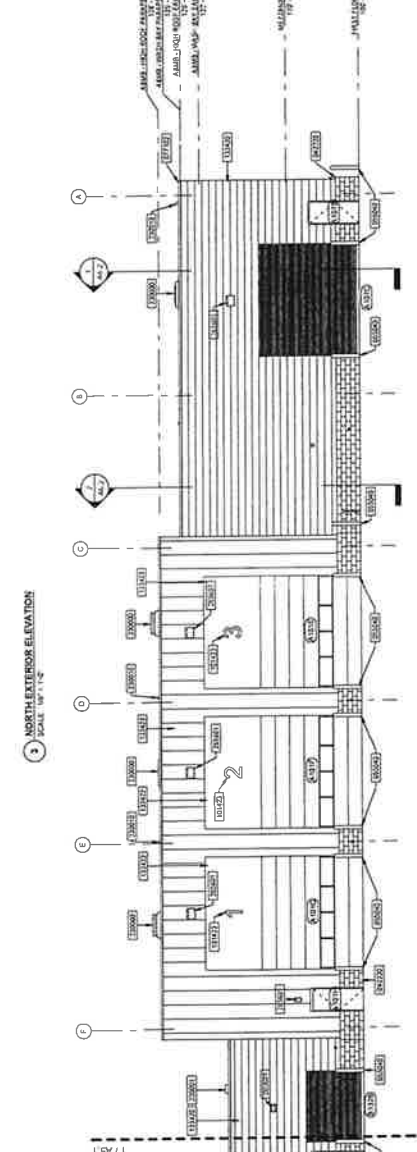
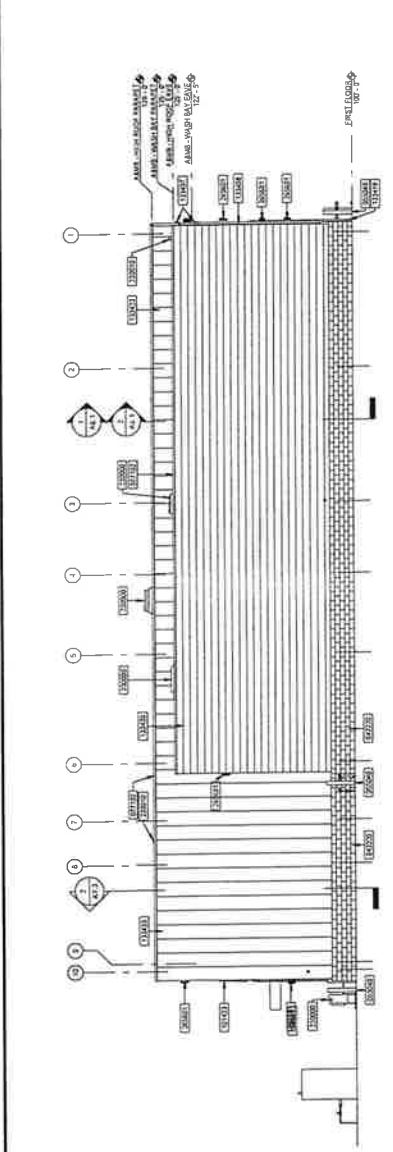
2 OVERALL FIRST FLOOR - VEHICLE STORAGE BUILDING
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

- GENERAL NOTES:**
- REFER TO ALL ADDITIONAL GENERAL NOTES AND INFORMATION.
 - INSTALL CONTROL JOINTS (CJ) IN CRU AND EXPANSION JOINTS (EJ) AS SHOWN. ALL CONTROL JOINTS AND EXPANSION JOINTS TO BE INSTALLED IN ACCORDANCE WITH INDUSTRY STANDARDS.

KEYNOTES

- 81220 20x20x4 CONCRETE MASONRY UNITS
- 81221 4x8x16 BRICK VENEER - TYPE 1 SINGLE COURSE
- 81222 4x8x16 BRICK VENEER - TYPE 1 SOLID COURSE
- 05040 METAL ISOLANDS
- 07160 METAL COPING
- 91941 DIMENSIONAL LETTER BRONZE TYPE 1
- 91942 DIMENSIONAL LETTER BRONZE TYPE 3
- 91943 DIMENSIONAL LETTER BRONZE TYPE 4
- 91944 DIMENSIONAL LETTER BRONZE TYPE 5
- 12307 CUTTER BY METAL BUILDING SYSTEM MANUF.
- 12308 DOWNSPOUT BY METAL BUILDING SYSTEM MANUF.
- 12310 DOWNSPOUT BOOF BY METAL BUILDING SYSTEM MANUF.
- 13340 INSULATED METAL PANEL BY METAL BUILDING SYSTEM MANUF. TYPE 1
- 13422 INSULATED METAL PANEL BY METAL BUILDING SYSTEM MANUF. TYPE 2
- 13423 INSULATED METAL PANEL BY METAL BUILDING SYSTEM MANUF. TYPE 3
- 20000 MECHANICAL EQUIPMENT
- 20001 EXTERIOR LED LIGHT
- 20002 EXTERIOR LED LIGHT
- 20003 EXTERIOR LED LIGHT
- 20004 EXTERIOR LED LIGHT
- 20005 EXTERIOR LED LIGHT
- 20006 EXTERIOR LED LIGHT
- 20007 EXTERIOR LED LIGHT
- 20008 EXTERIOR LED LIGHT
- 20009 EXTERIOR LED LIGHT
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- 20099 EXTERIOR LED LIGHT
- 20100 EXTERIOR LED LIGHT



A5.2

DRAWING NUMBER

HENDRICKS COUNTY, INDIANA
HIGHWAY MAINTENANCE FACILITY CAMPUS
WEST EXTERIOR ELEVATIONS

ADMINISTRATION AND MAINTENANCE BUILDING SOUTH AND

PROJECT NUMBER
2063-1041-50

DATE	1/15/2024
REVISION	
NO.	
DESCRIPTION	
BY	
CHECKED	
DATE	

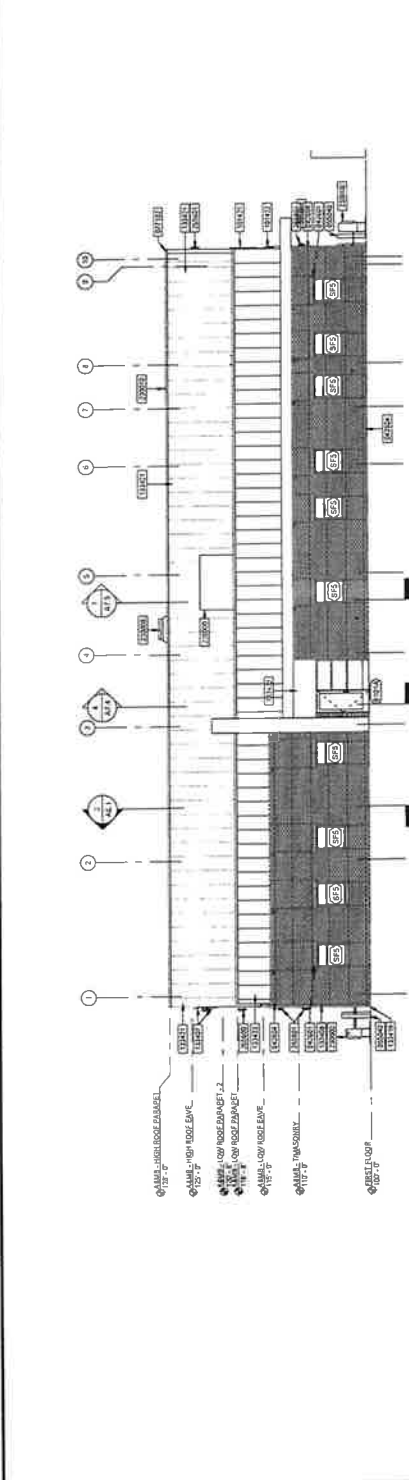
DLZ
ARCHITECTURE - ENGINEERING - PLANNING
SURVEYING - CONSTRUCTION - PLANNING
DLZ Indiana, LLC

GENERAL NOTES:

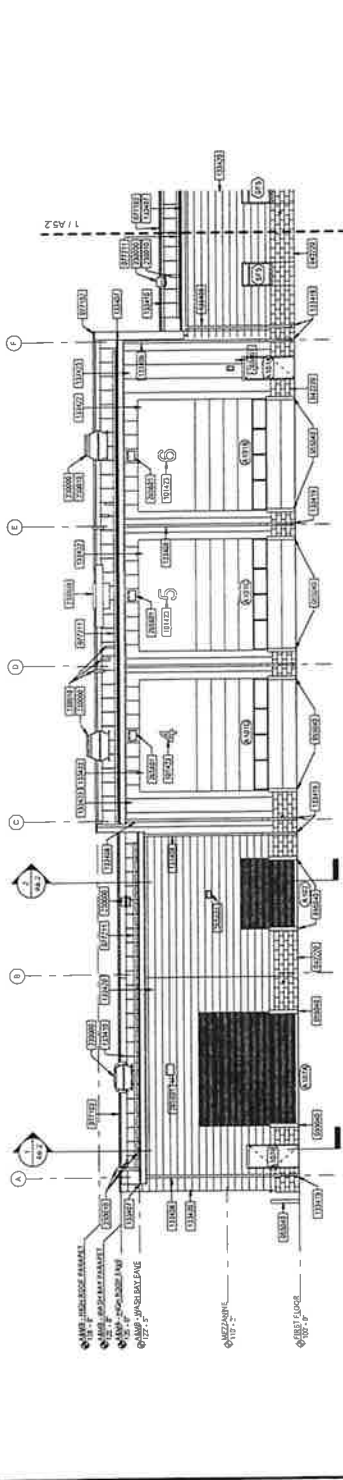
- REFER TO ALL OTHER GENERAL NOTES AND INFORMATION.
- ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE INDIANA MANUFACTURING SYSTEMS AS SHOWN IF NOT SPECIFIED.
- ALL MATERIALS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS.

KEYNOTES

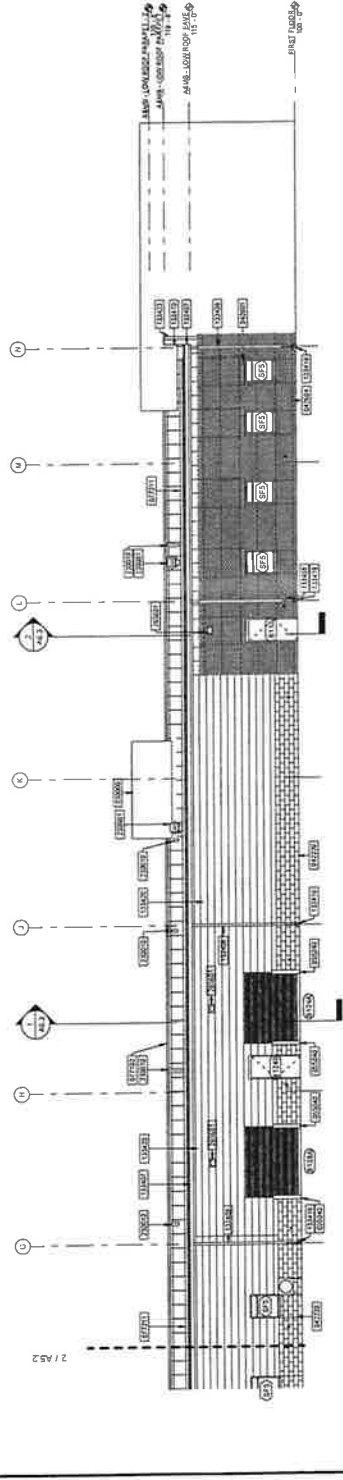
- 10000 - DECORATIVE CONCRETE VANDERBILT UNIT.
- 10001 - MASONRY RECAVITEER - TYPE 1 STEELER COURSE
- 10002 - MASONRY RECAVITEER - TYPE 1 SOLIDER COURSE
- 10003 - METAL BOLTERS
- 10004 - METAL COMPO
- 10005 - MULTI-TYPE SEAM-WARRANTED SNOW-GUARD
- 10006 - DIMENSIONAL LETTER SIGNAGE - TYPE 1
- 10007 - DIMENSIONAL LETTER SIGNAGE - TYPE 2
- 10008 - DIMENSIONAL LETTER SIGNAGE - TYPE 3
- 10009 - GUTTER BY METAL BUILDING SYSTEM MANUF.
- 10010 - DOWNPOUT BY METAL BUILDING SYSTEM MANUF.
- 10011 - 2" X 2" METAL STUDS
- 10012 - DOWNPOUT ROOF BY METAL BUILDING SYSTEM MANUF.
- 10013 - INSULATED METAL PANEL BY METAL BUILDING SYSTEM MANUF. TYPE 1
- 10014 - INSULATED METAL PANEL BY METAL BUILDING SYSTEM MANUF. TYPE 2
- 10015 - INSULATED METAL PANEL BY METAL BUILDING SYSTEM MANUF. TYPE 3
- 10016 - INSULATED METAL PANEL BY METAL BUILDING SYSTEM MANUF. TYPE 4
- 10017 - MECHANICAL EQUIPMENT
- 10018 - EXHAUST FAN
- 10019 - LIGHT FIXTURE
- 10020 - EXTERIOR LIGHTING FIXTURES AND SIGNAGE
- 10021 - EXTERIOR LIGHTING FIXTURES AND SIGNAGE



3 SOUTH EXTERIOR ELEVATION - MAIN
SCALE: 1/8" = 1'-0"



2 WEST EXTERIOR ELEVATION - AREA A
SCALE: 1/8" = 1'-0"



1 WEST EXTERIOR ELEVATION - AREA B
SCALE: 1/8" = 1'-0"



GENERAL NOTES:

1. REFER TO 01 FOR ADDITIONAL GENERAL NOTES AND INFORMATION
2. THE DESIGN OF ALL SYSTEMS SHALL BE IN ACCORDANCE WITH INDIA (2017) BUILDING REGULATIONS, AS APPLICABLE.
3. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH INDIA STANDARDS.

KEYNOTES

- 05200 METAL COLLAR
- 07110 PREFINISHED METAL PANELS
- 07210 METAL TYPE SEAMOUNTED DOOR/CLAD
- 08110 (CQMS) REFER TO GENERAL SCHEDULE
- 10210 VERTICAL GUARDRAILS
- 13210 STRUCTURAL STEEL FRAMING BY METAL BUILDING SYSTEM MANUF
- 13207 GUTTER BY METAL BUILDING SYSTEM MANUF
- 13209 DOWNSPOUT BY METAL BUILDING SYSTEM MANUF
- 13280 FORMED METAL WALL PANEL, BY METAL BUILDING SYSTEM MANUF
- 13310 FORMED METAL ROOF PANEL, BY METAL BUILDING SYSTEM MANUF
- 13319 DOWNPOUT FOOT BY METAL BUILDING SYSTEM MANUF
- 20200 EQUIPMENT FLOOR
- 24001 EXTERIOR LIGHTING

NOT FOR CONSTRUCTION

NO.	REVISION	DATE
1	PROJECT SET	11/02/2024
2	ISSUE FOR PERMIT	01/15/2025
3	ISSUE FOR CONSTRUCTION	
4		

INDIANA

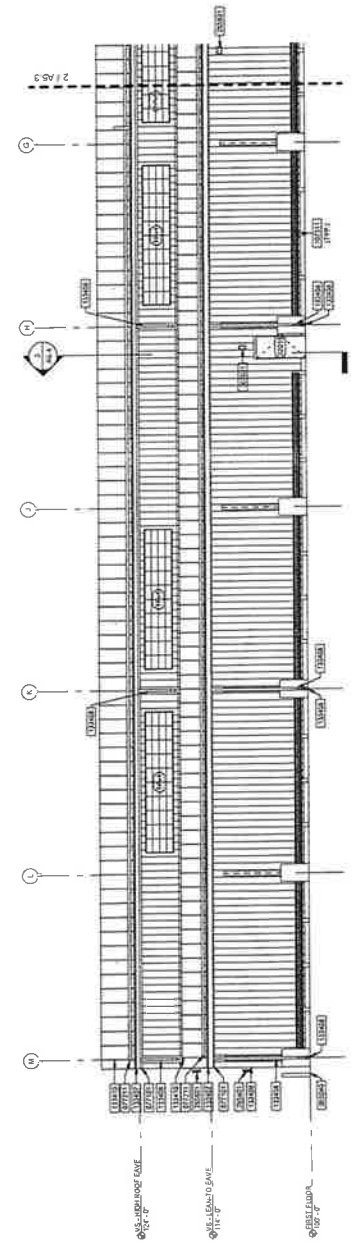
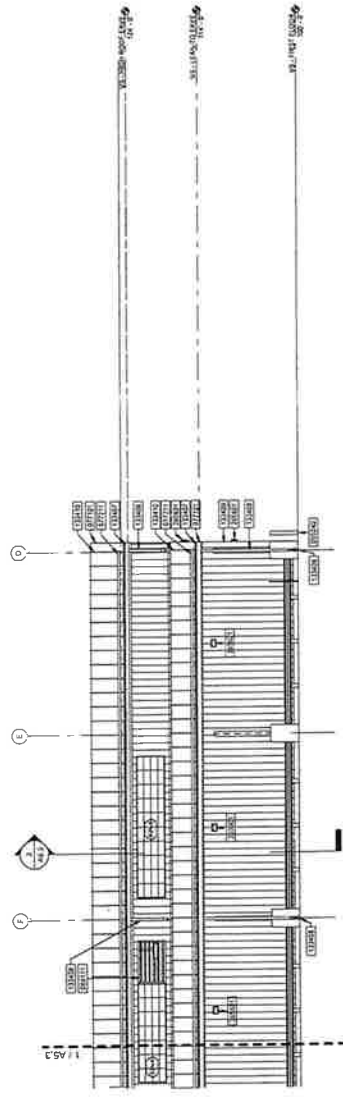
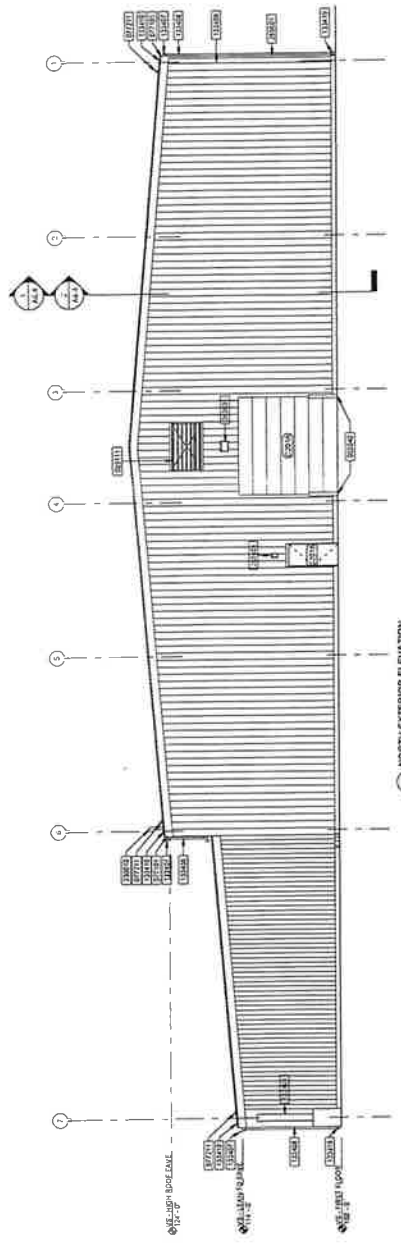
PROJECT NUMBER: 2063-1041-50

PROJECT LOCATION: HENDRICKS COUNTY, INDIANA
VEHICLE STORAGE BUILDING NORTH AND EAST EXTERIOR ELEVATIONS

ARCHITECTURE

A5.3

DRAWING NUMBER: HENDRICKS COUNTY, INDIANA
HIGHWAY MAINTENANCE FACILITY CAMPUS



DRAWING NUMBER
A5.4
 ARCHITECTURE

HENDRICKS COUNTY, INDIANA
 HIGHWAY MAINTENANCE FACILITY CAMPUS
 VEHICLE STORAGE BUILDING SOUTH AND WEST EXTERIOR
 ELEVATIONS

PROJECT NUMBER
 2063-1041-50

DATE	DESCRIPTION
11/02/2023	ISSUED FOR PERMITS
11/02/2023	ISSUED FOR PERMITS
11/02/2023	ISSUED FOR PERMITS
11/02/2023	ISSUED FOR PERMITS
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11/02/2023	ISSUED FOR PERMITS

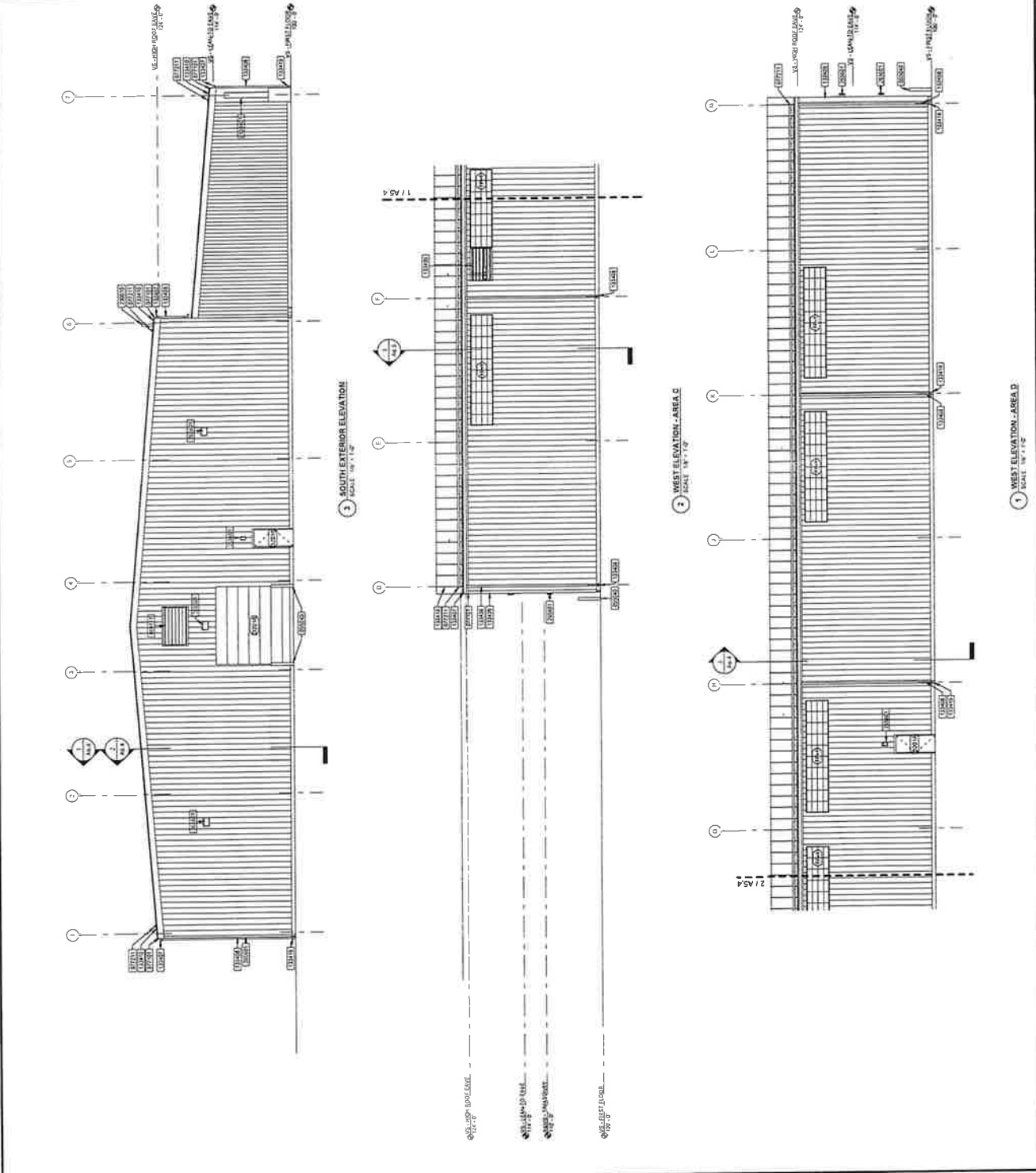
NOT FOR CONSTRUCTION



DLZ
 ARCHITECTURE - ENGINEERING - PLANNING
 SURVEYING - CONSTRUCTION SERVICES
 DLZ Indiana, LLC

GENERAL NOTES:
 A. REFER TO OT 1 FOR ADDITIONAL GENERAL NOTES AND INFORMATION.
 B. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 C. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 D. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

- KEYNOTES:**
- 05000 METAL BOLLSARDS
 - 07101 PREFINISHED METAL FASCIA
 - 07211 GALVALUME SEAMOUNTED RAINWATER
 - 08111 LOWER RIBS REFER TO MANUFACTURER SCHEDULE
 - 12401 STRUCTURAL STEEL FRAMING BY METAL BUILDING SYSTEM
 - 12402 DOWNPOUT BY METAL BUILDING SYSTEM MANUF.
 - 12409 FORMED METAL WALL PANEL BY METAL BUILDING SYSTEM MANUF.
 - 13210 FORMED METAL ROOF PANEL BY METAL BUILDING SYSTEM MANUF.
 - 13219 DOWNPOUT ROOF BY METAL BUILDING SYSTEM MANUF.
 - 22019 COMPARTMENT FLOOR
 - 24011 EXTERIOR LIGHT

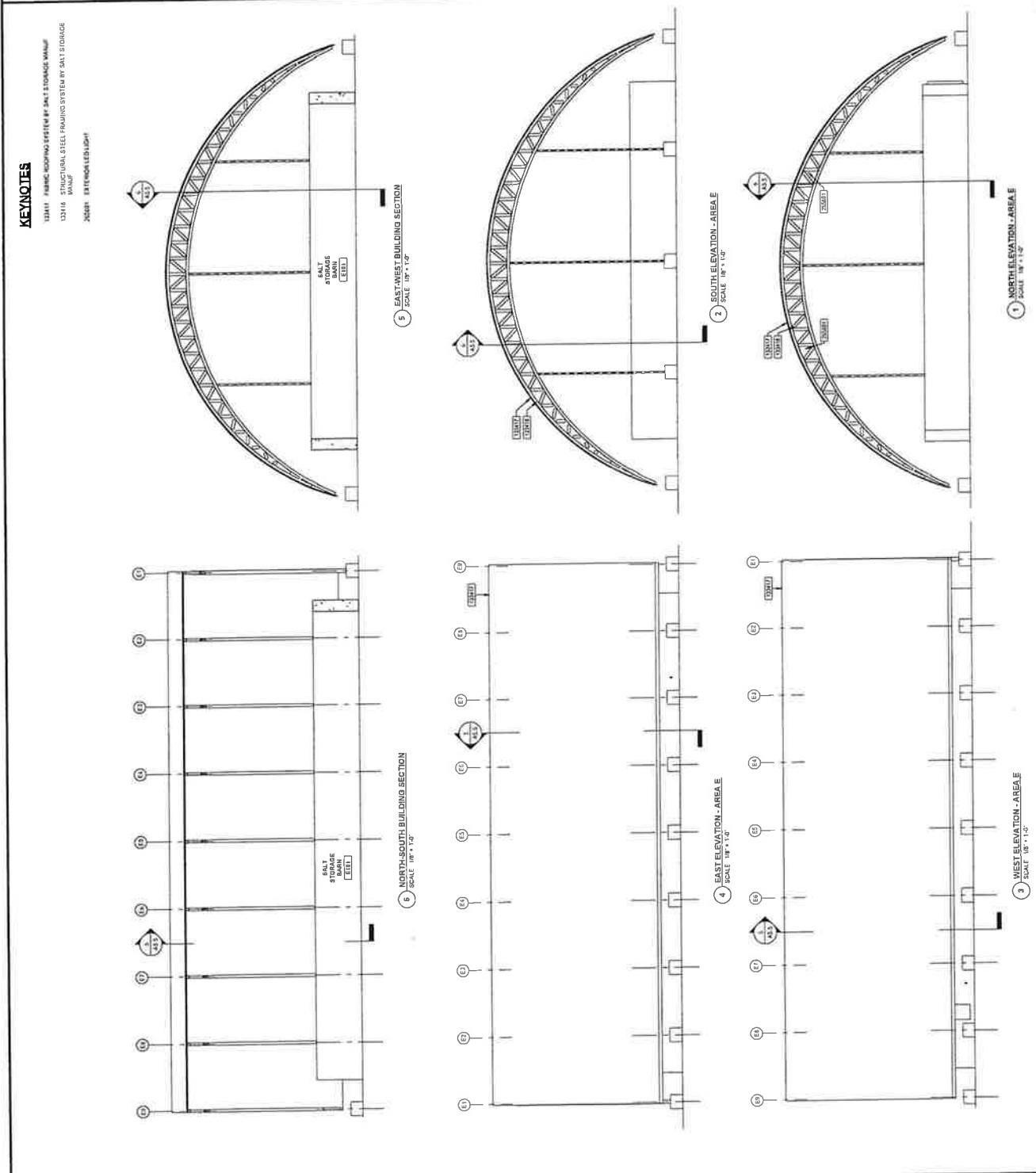


GENERAL NOTES:

- A. REFER TO DL1 FOR ADDITIONAL GENERAL NOTES AND SPECIFICATIONS
- B. SEE 110 BATTERY MANUFACTURING BLDG.
- C. TRUSS SPACING TO BE DETERMINED
- D. 1 1/2" SQUARE GALV. CORR. STEEL TRUSS
- E. BRACING OR SPACING PER ASCE 10 OR ASCE 9.2.11. FABRIC TYPE: ASTM A500 GRADE 485, 1 1/2" DIA. ROUND. GROUND BENTWAY LONG. 30.625' 1 1/2" DIA. ROUND. WIND EXPOSURE C. COLLATERAL LOAD C. 1.9 EXPOSED. NO CONNECTIONS TO EXISTING STRUCTURE. ALL DIMENSIONS AND DRAWINGS INCLUDED. VENT IN BACK END.
- F. 110 OPEN END WALL
- G. 110 OPEN END WALL
- H. 110 OPEN END WALL
- I. 110 OPEN END WALL
- J. APPROXIMATELY 24' UNDA FEET TOP 8' TALL PRECAST CONCRETE WALLS TO BE INSTALLED ON CONCRETE PAD AND PER CONNECTIONS PER TO EXTEND 2' ABOVE CONCRETE PAD. WALLS TO BE CONCRETE WITH MINIMUM BEARING CAPACITY OF 1,100 PSF.
- K. APPROXIMATELY 24' UNDA FEET TOP 8' TALL PRECAST CONCRETE WALLS TO BE INSTALLED ON CONCRETE PAD AND PER CONNECTIONS PER TO EXTEND 2' ABOVE CONCRETE PAD. WALLS TO BE CONCRETE WITH MINIMUM BEARING CAPACITY OF 1,100 PSF.
- L. APPROXIMATELY 24' UNDA FEET TOP 8' TALL PRECAST CONCRETE WALLS TO BE INSTALLED ON CONCRETE PAD AND PER CONNECTIONS PER TO EXTEND 2' ABOVE CONCRETE PAD. WALLS TO BE CONCRETE WITH MINIMUM BEARING CAPACITY OF 1,100 PSF.
- M. APPROXIMATELY 24' UNDA FEET TOP 8' TALL PRECAST CONCRETE WALLS TO BE INSTALLED ON CONCRETE PAD AND PER CONNECTIONS PER TO EXTEND 2' ABOVE CONCRETE PAD. WALLS TO BE CONCRETE WITH MINIMUM BEARING CAPACITY OF 1,100 PSF.
- N. APPROXIMATELY 24' UNDA FEET TOP 8' TALL PRECAST CONCRETE WALLS TO BE INSTALLED ON CONCRETE PAD AND PER CONNECTIONS PER TO EXTEND 2' ABOVE CONCRETE PAD. WALLS TO BE CONCRETE WITH MINIMUM BEARING CAPACITY OF 1,100 PSF.
- O. APPROXIMATELY 24' UNDA FEET TOP 8' TALL PRECAST CONCRETE WALLS TO BE INSTALLED ON CONCRETE PAD AND PER CONNECTIONS PER TO EXTEND 2' ABOVE CONCRETE PAD. WALLS TO BE CONCRETE WITH MINIMUM BEARING CAPACITY OF 1,100 PSF.

ADDITIONAL NOTES:

- A. 12" PIPES TO BE USED AS BACKWALL IN LEVEL OF 4' 11" ABOVE GRADE.
- B. APPROXIMATELY 24' UNDA FEET TOP 8' TALL PRECAST CONCRETE WALLS TO BE INSTALLED ON CONCRETE PAD AND PER CONNECTIONS PER TO EXTEND 2' ABOVE CONCRETE PAD. WALLS TO BE CONCRETE WITH MINIMUM BEARING CAPACITY OF 1,100 PSF.



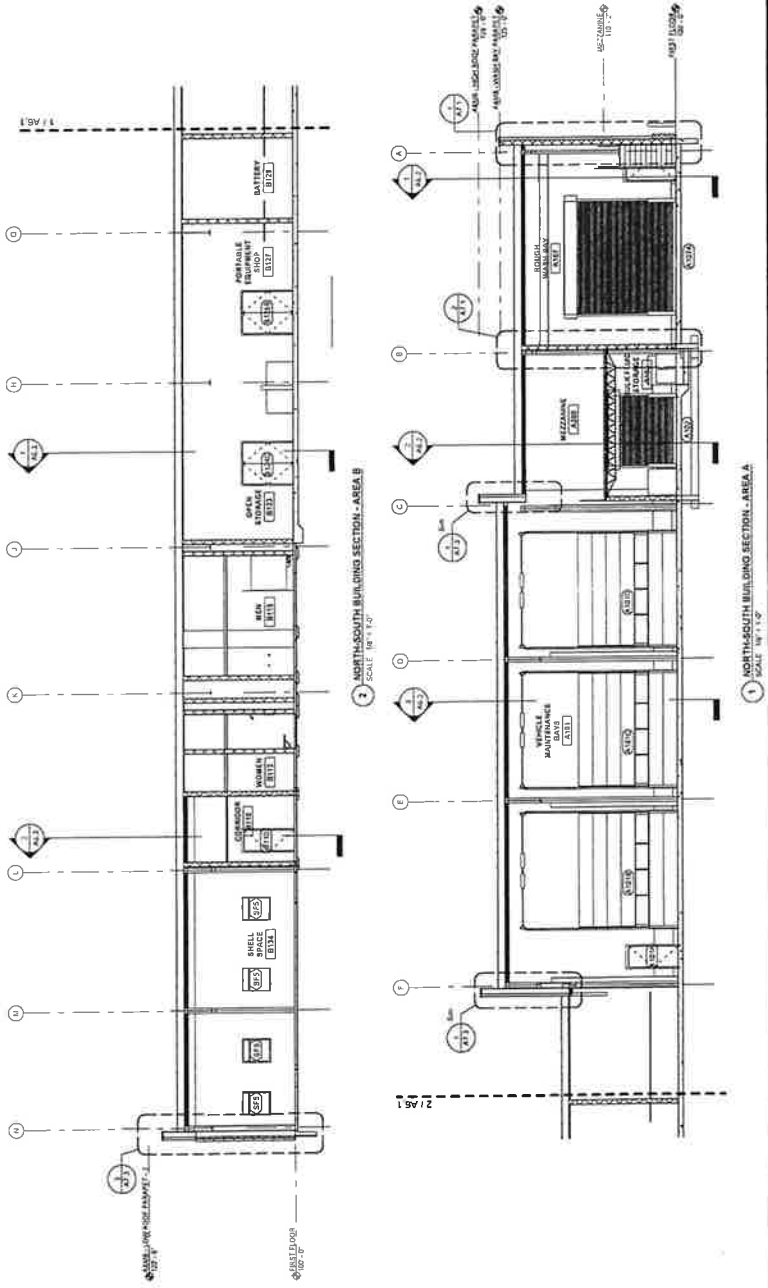
2063-1041-50

PROJECT NUMBER	2063-1041-50
DATE	05/12/2014
DESIGNED BY	DLZ
PROJECT NO.	2063-1041-50
NO.	
REVISION	
DATE	

NOT FOR
CONSTRUCTION



GENERAL NOTES:
A REFER TO 04.1 FOR ADDITIONAL GENERAL NOTES AND INFORMATION
B DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED
ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
UNLESS NOTED OTHERWISE.

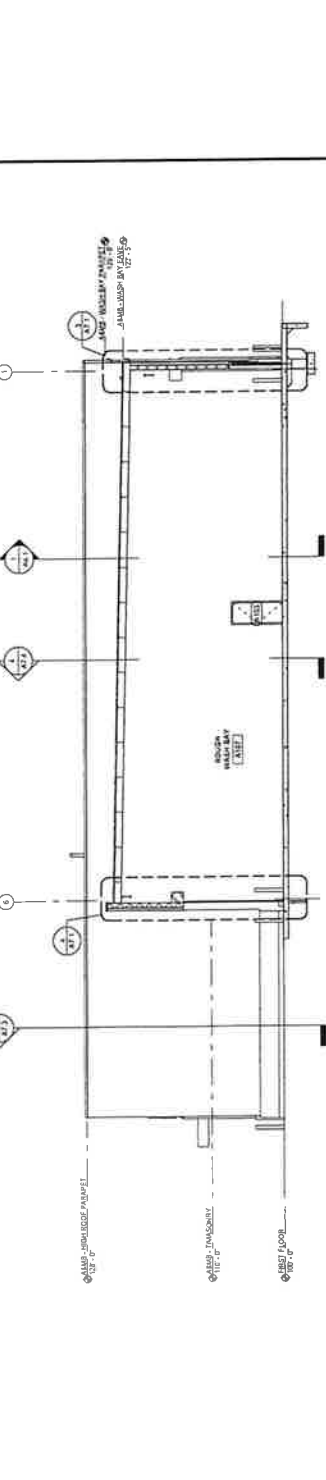
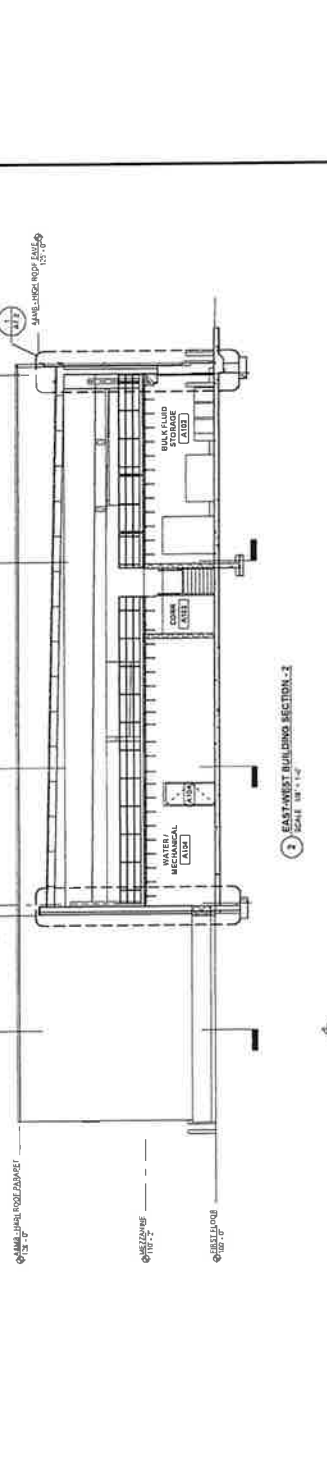
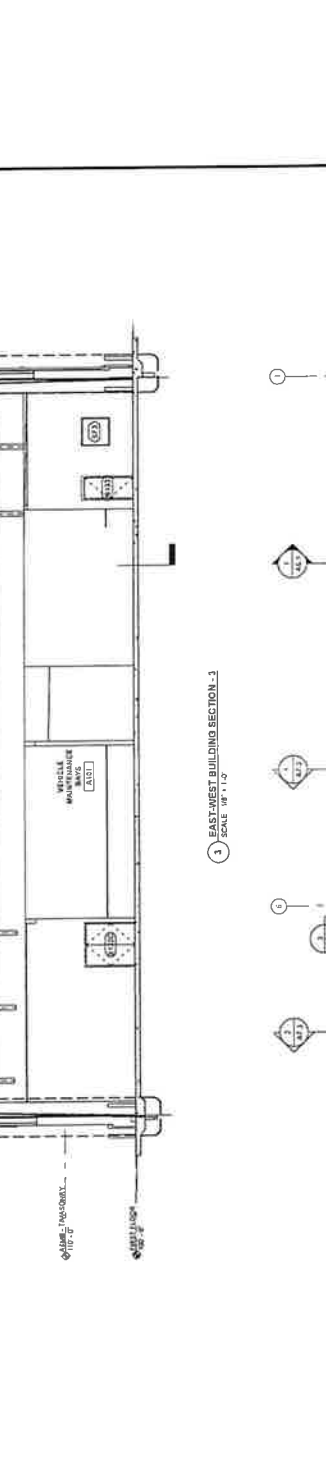


DRAWING NUMBER DAVVILLE	HENDRICKS COUNTY, INDIANA HIGHWAY MAINTENANCE FACILITY CAMPUS	PROJECT NUMBER 2063-1041-50	DATE		
			ISSUED	REVISED	
ARCHITECTURE	ADMINISTRATION AND MAINTENANCE BUILDING EAST-WEST	INDIANA	DATE	REVISION	BY

NOT FOR CONSTRUCTION

DLZ ARCHITECTURE - ENGINEERING - PLANNING
SURVEYING - CONSTRUCTION SERVICES
DLZ Indiana, LLC

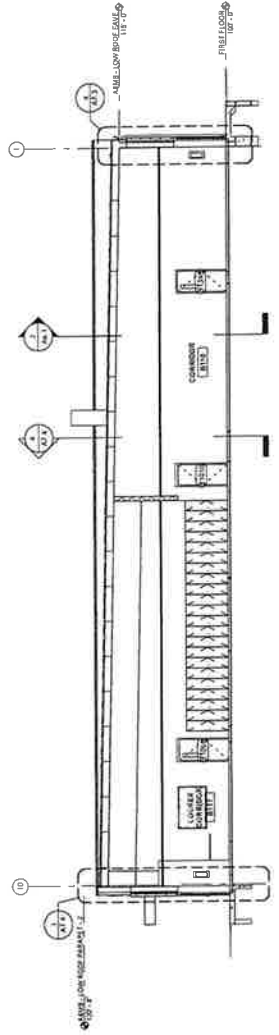
GENERAL NOTES:
 A REFER TO 011 FOR ADDITIONAL GENERAL NOTES AND INFORMATION
 B ALL DIMENSIONS ARE SHOWN UNLESS OTHERWISE NOTED
 C UNLESS OTHERWISE NOTED



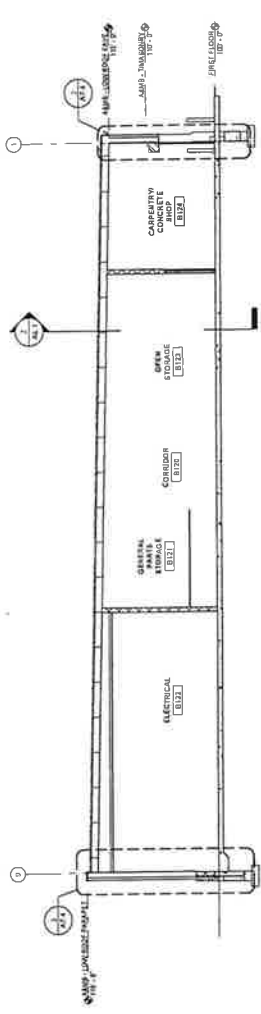
**NOT FOR
 CONSTRUCTION**



GENERAL NOTES:
 1. REFER TO ALL ADDITIONAL GENERAL NOTES AND INFORMATION
 2. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL WORKMAN AND
 3. ACCURATE FACE COURSE SHALL HAVE BALANCED DIMENSIONS
 UNLESS NOTED OTHERWISE



2 EAST-WEST BUILDING SECTION - 2
 SCALE: 1/4" = 1'-0"



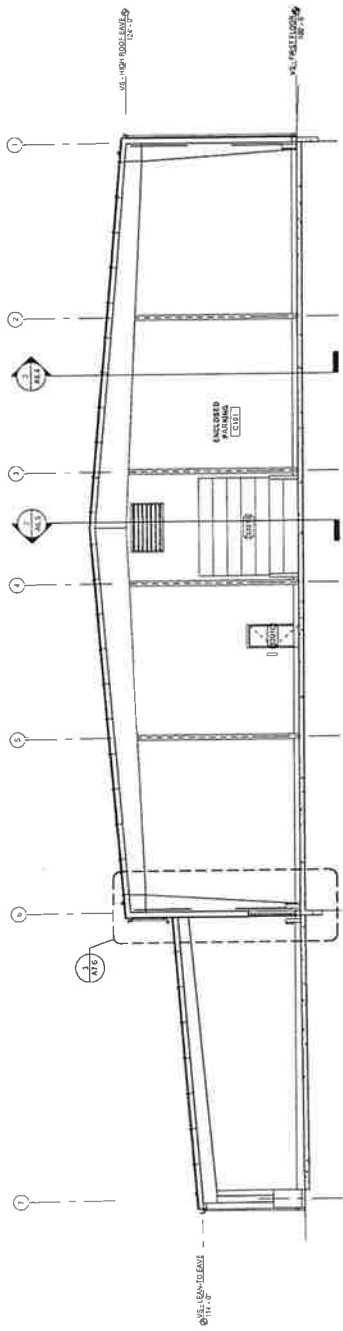
1 EAST-WEST BUILDING SECTION - 1
 SCALE: 1/4" = 1'-0"

DATE	DESCRIPTION
11/05/2023	ISSUED FOR PERMITS
08/01/2023	ISSUED FOR CONSTRUCTION
07/01/2023	ISSUED FOR BIDDING
06/01/2023	ISSUED FOR DESIGN DEVELOPMENT
05/01/2023	ISSUED FOR SCHEMATIC DESIGN
04/01/2023	ISSUED FOR PRELIMINARY DESIGN
03/01/2023	ISSUED FOR CONCEPT DESIGN
02/01/2023	ISSUED FOR SITE PLAN
01/01/2023	ISSUED FOR PRELIMINARY SITE PLAN

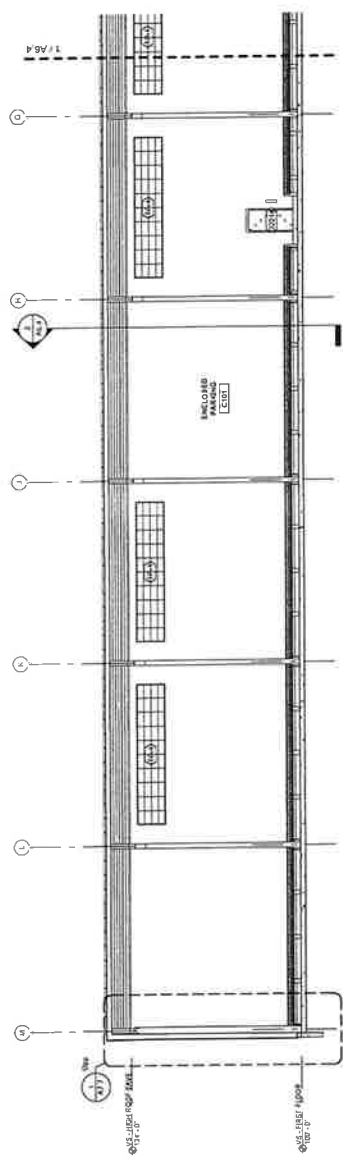
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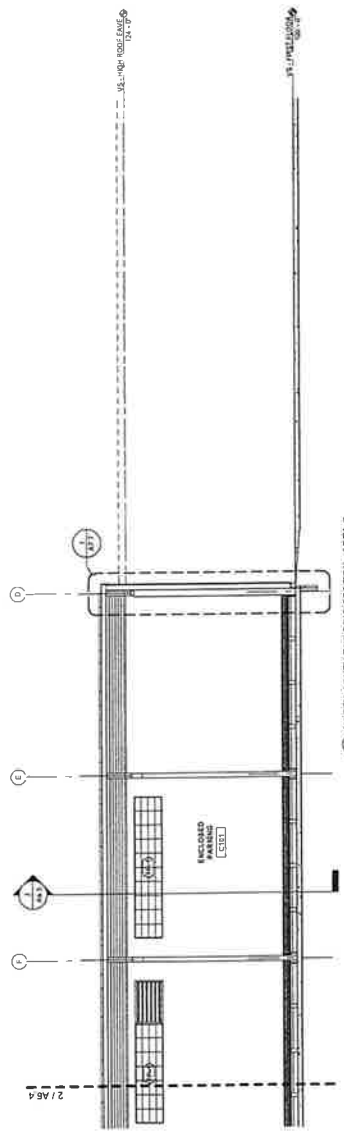
GENERAL NOTES:
 A. REFER TO ALL FOUR ADDITIONAL GENERAL NOTES AND INFORMATION.
 B. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 C. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 D. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 E. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 F. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 G. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 H. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 I. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 J. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 K. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 L. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 M. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 N. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 O. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 P. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 Q. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 R. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 S. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 T. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 U. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 V. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 W. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 X. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 Y. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 Z. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



1 EAST-WEST BUILDING SECTION - 1
 SCALE: 1/8" = 1'-0"



2 NORTH-SOUTH BUILDING SECTION - AREA D
 SCALE: 1/8" = 1'-0"



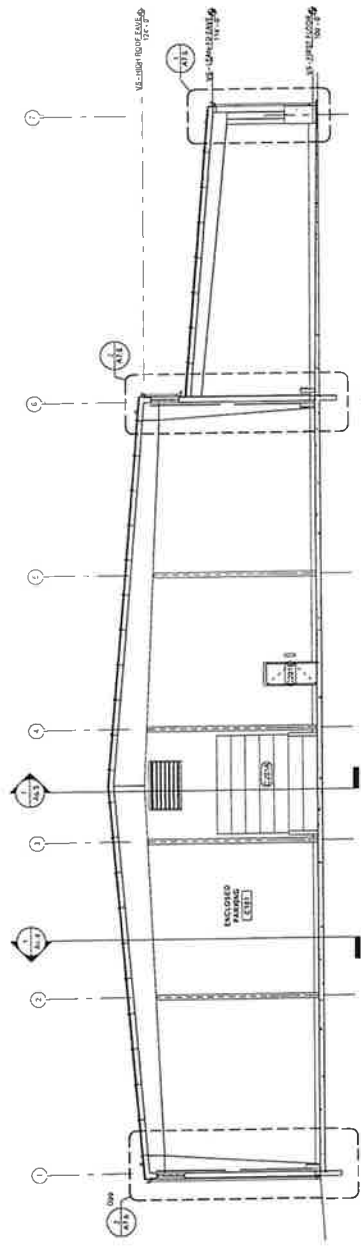
3 NORTH-SOUTH BUILDING SECTION - AREA C
 SCALE: 1/8" = 1'-0"



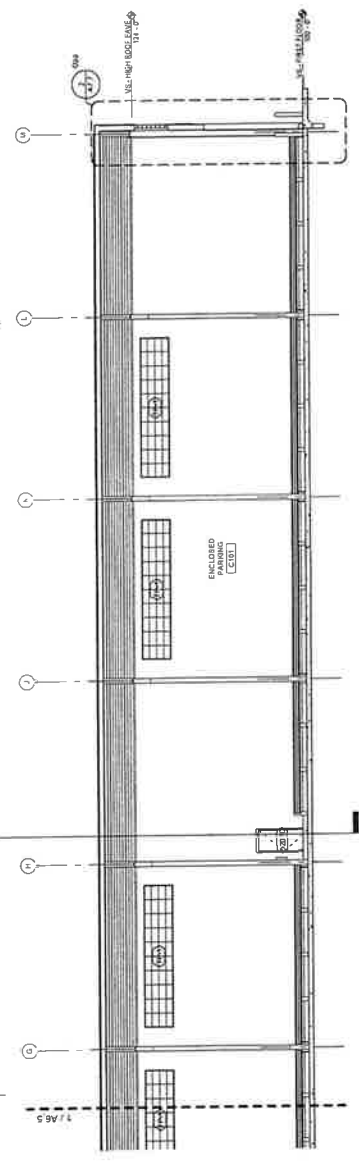
DATE	11/01/2023
REVISION	NO
PROCESSED BY	1
PROJECT SET	1
DATE	11/01/2023

NOT FOR CONSTRUCTION

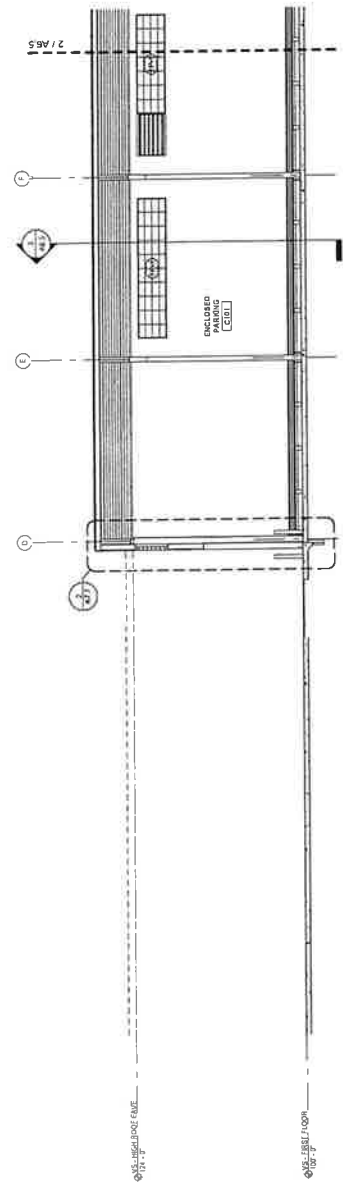
GENERAL NOTES:
 A. REFER TO ALL FOUR ADDITIONAL GENERAL NOTES AND INFORMATION.
 B. ALL EXPRESSED EDGES SHALL INCLUDE CHAMFERED EDGES UNLESS NOTED OTHERWISE.



1 EAST-SOUTH BUILDING SECTION - AREA 2
 SCALE: 1/8" = 1'-0"



2 NORTH-SOUTH BUILDING SECTION - AREA 1
 SCALE: 1/8" = 1'-0"



3 NORTH-SOUTH BUILDING SECTION - AREA C
 SCALE: 1/8" = 1'-0"







